

Key	
	Walls to be retained
	Parts to be stripped out, refer to the planning consent and listed planning consent (ref. 2019/0319/P and 2019/0374/L) for the removal of the non-original bay window.
	Parts to be stripped out
	Soil infill within crawl space to be removed
	Area to be Excavated
	Wall finishes and architectural features to be retained and protected throughout the construction programme (unless stated otherwise on drawings)
	Floor tiles to be retained, refurbished and protected throughout the construction programme
	Parquet flooring to be retained, refurbished and protected throughout the construction programme
	Existing floor finishes to be removed; any historical floor boards to be retained and protected throughout the construction programme
	Floor finishes and floor structure to be removed
	Existing concrete floor to be removed and lowered to suit proposal levels
<b>NOTES:</b>	
All works to be in accordance with Conservation Specifications.	
All redundant services to be removed.	
None of the existing fabric, including floor finishes, window joinery, door joinery, plasterwork, skirting and ironmongery are to be altered or removed unless otherwise shown on the drawings.	
<b>Demolition Workmanship:</b> Standard: Demolish structures in accordance with BS 6187.	
<b>Operatives:</b>	
- Appropriately skilled and experienced for the type of work.	
- Holding or in training to obtain relevant CITB Certificates of Competence.	
Site staff responsible for supervision and control of work. Experienced in the assessment of risks involved and methods of demolition to be used.	
<b>Dust Control:</b>	
General: Reduce airborne dust by periodically spraying demolition works with an appropriate wetting agent. Keep public roadways and footpaths clear of mud and debris.	
Lead dust: Submit method statement for control, containment and clean-up regimes.	
<b>Health Hazards:</b>	
Precautions: Protect site operatives and general public from hazards associated with vibration, dangerous fumes and dust arising during the course of the Works.	
Partly Demolished Structures:	
General: Leave in a stable condition, with adequate temporary support at each stage to prevent risk of uncontrolled collapse. Keep safe outside working hours.	
Temporary works: Prevent debris from overloading.	
Unauthorised persons: Prevent access.	
Dangerous Openings:	
General: Illuminate and protect. Keep safe outside working hours.	
<b>Asbestos Containing Materials:</b>	
Discovery: Give notice immediately of suspected asbestos containing materials discovered during demolition work. Avoid disturbing such materials.	
Methods for safe removal. Submit details and statutory risk assessments.	
Unforeseen Hazards: Unrecorded voids, tanks, chemicals, etc. discovered during demolition: Give notice.	
Methods for safe removal, filling, etc: Submit details.	
Site Condition at Completion:	
Debris: Clear away and leave the site in a tidy condition.	
Other requirements: Building occupied at all times and must be kept clear	
<b>Recycling</b>	
All Materials removed from site are to be recycled offsite where ever possible. This includes existing floor finishes noted for removal (i.e. existing vinyl and carpet), metal framework and concrete/blockwork.	

**WINDOWS**

Paint to windows to be stripped back, substrate to be made good and prepared to receive new paint application. All detailing to window reveal to be retained, refurbished and protected throughout the construction programme. Materials and finish to match existing.

**FLOOR FINISH**

Existing floor finish to be removed. Timber floor boards to be refurbished. Floor structure to be checked to ascertain levels. Timber floor boards to be locally removed temporarily to allow for structural works and to be reinstated once complete.

**ROOF**

Existing roof and associated structure to be removed. Any fixings/flushing to abutting wall to be carefully removed as to not damage brickwork.

**BUILT-IN FURNITURE**

Built-in furniture to be removed.

**CEILING**

Lath & plaster ceiling to be removed to enable structural works. New lath & plaster ceiling to be installed to match existing.

**WALL FINISH**

Existing wall finishes to be retained and refurbished; plaster to be made good as appropriate. Architectural moulds to be retained, made good and protected throughout the construction programme; where infill/ replacement is required details to match existing. All redundant services to be removed. Any redundant penetration to be infilled with matching materials. New penetrations introduced where required.

**CHIMNEY BREASTS & FIREPLACE**

Chimney breasts, fireplace and surrounding details to be refurbished and protected throughout the construction programme; where infill/replacement is required details to match existing.

**OPENING**

New opening to be formed in existing wall. Brickwork to be carefully cut-out and/or toothed in as required. Re-use salvaged brickwork where possible.

**SKIRTING**

Skirting to be refurbished, made good and protected throughout the construction programme; where infill/ replacement is required details to match existing.

**WALLS**

Walls to be removed. Substrate to wall, ceiling and floor to be made good with all materials to match existing.

**WINDOWS**

Paint to windows to be stripped back, substrate to be made good and prepared to receive new paint application. All detailing to window reveal to be retained, refurbished and protected throughout the construction programme. Materials and finish to match existing.

**FLOOR**

Floor to be trimmed to suit proposals for new riser.

**CEILING**

Lath and plaster ceiling to be retained and refurbished. Architectural moulds to be removed and replaced to suit proposals. All redundant services to be removed. Any redundant penetrations to be infilled with matching materials. New penetrations introduced where required.

**WINDOWS**

Windows and associated ironmongery to be removed. Cill to be lowered forming new door opening. Brickwork to be carefully cut-out and/or toothed in as required. Re-use salvaged brickwork where possible.

**FLOOR FINISH**

Existing floor finish to be removed. Timber floor boards to be refurbished. Floor structure to be checked to ascertain levels.

**EXTERNAL WALL**

Existing face brickwork to be cleaned using water based system only; no chemical clean permitted. Masonry to be re-pointed; any damaged brickwork to be repaired where possible or replaced with matching brickwork.

**ROOF**

Existing roof and associated structure to be removed. Any fixings/flushing to abutting wall to be carefully removed as to not damage brickwork.

**FLOOR FINISH**

Existing floor finish to be removed. Timber floor boards to be refurbished. Floor structure to be checked to ascertain levels.

**CHIMNEY BREASTS & FIREPLACE**

Chimney breasts, fireplace and surrounding details to be refurbished and protected throughout the construction programme; where infill/replacement is required details to match existing.

**OPENING**

Previously approved opening in existing timber stud partition to be infilled. Materials to match existing.

**SIDE EXTENSION**

Load bearing walls and roof structure to be removed. Where brickwork is toothed in with masonry forming flank wall, this is to be carefully cut-out.

**BUILT-IN FURNITURE**

Built-in furniture to be removed.

**CEILING**

Lath and plaster ceiling to be retained and refurbished. Architectural moulds to be removed to suit proposals. All redundant services to be removed. Any redundant penetrations to be infilled with matching materials. New penetrations introduced where required.

**SKIRTING**

Skirting moulds to be removed to suit proposals.

**WALL FINISH**

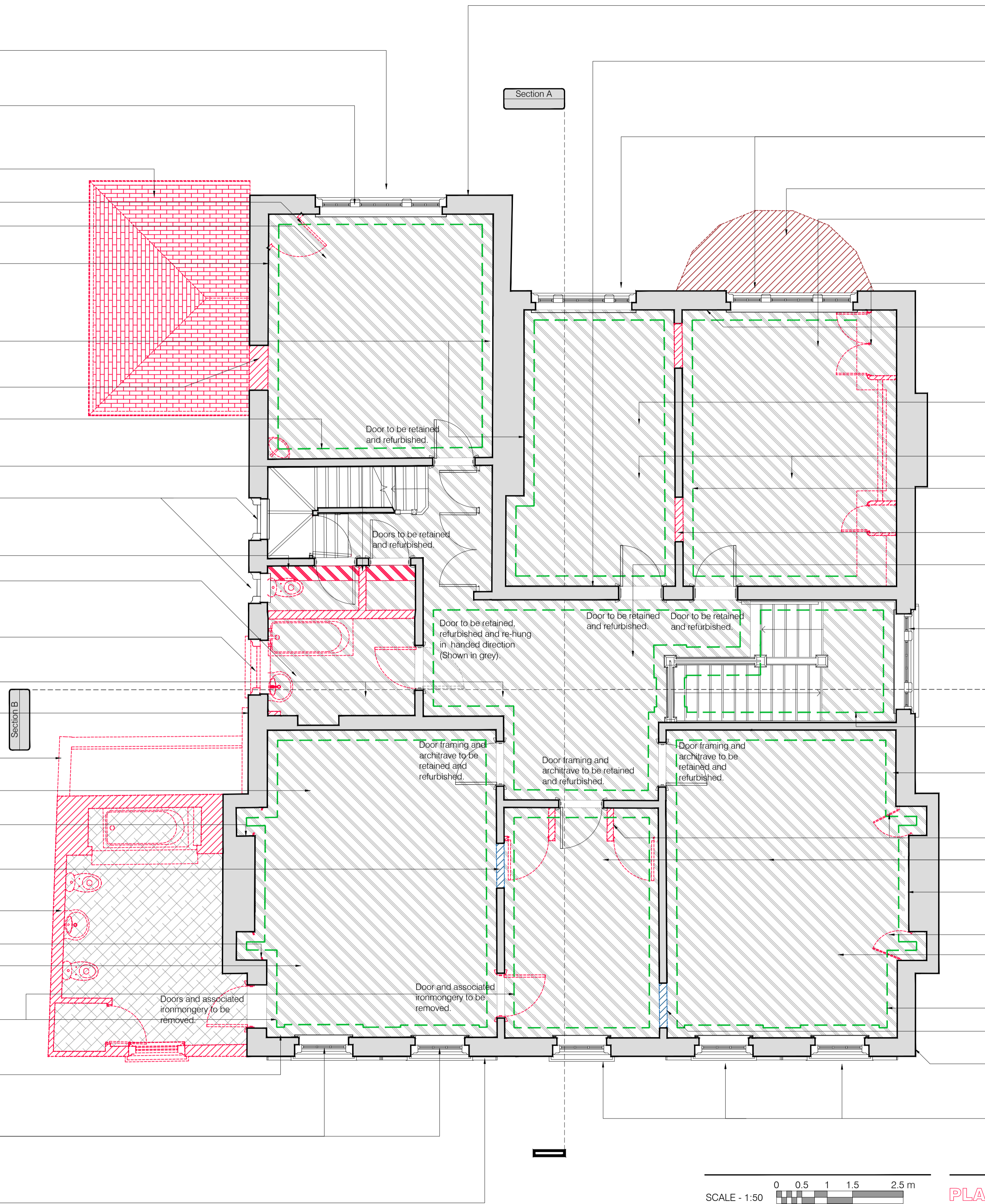
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**WINDOWS**

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**ROOF**  
Existing roof and associated structure to be removed. Any fixings/flushing to abutting wall to be carefully removed as to not damage brickwork.

**CEILING**  
Lath and plaster ceiling to be retained and refurbished. Architectural moulds to be retained, made good and protected throughout the construction programme; where infill/replacement is required details to match existing. All redundant services to be removed. Any redundant penetrations to be infilled with matching materials. New penetrations introduced where required.

**BUILT-IN FURNITURE / CORNICE**  
Built-in furniture to be removed. Cornice line over to be adjusted to suit new proposals. Cornice to be removed as indicated. New profile to match existing.

**WALL FINISH**  
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**CEILING**  
Lath and plaster ceiling to be retained and refurbished. Architectural moulds to be removed to suit proposals. All redundant services to be removed. Any redundant penetrations to be infilled with matching materials. New penetrations introduced where required.

**FLOOR FINISH**  
Existing floor finish to be removed. Timber floor boards to be refurbished. Floor structure to be checked to ascertain levels.

**SKIRTING**  
Skirting to be refurbished, made good and protected throughout the construction programme; where infill/ replacement is required details to match existing.

**OPENING**  
New opening to be formed in existing timber stud partition. Plaster finish to be carefully cut-out.

**CEILING**  
Lath and plaster ceiling to be retained and refurbished. Architectural moulds to be retained, made good and protected throughout the construction programme; where infill/replacement is required details to match existing. All redundant services to be removed. Any redundant penetrations to be infilled with matching materials. New penetrations introduced where required.

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**BUILT-IN FURNITURE**  
Built-in furniture to be removed.

**FLOOR FINISH**  
Existing floor finish to be removed. Timber floor boards to be refurbished. Floor structure to be checked to ascertain levels.

**CHIMNEY BREASTS & FIREPLACE**  
Chimney breasts, fireplace and surrounding details to be refurbished and protected throughout the construction programme; where infill/replacement is required details to match existing.

**BUILT-IN FURNITURE**  
Built-in furniture to be removed.

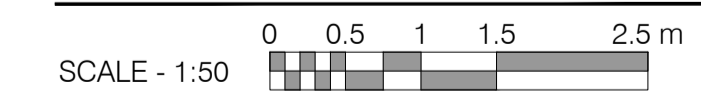
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Lath and plaster ceiling to be retained and refurbished. Architectural moulds to be removed to suit proposals. All redundant services to be removed. Any redundant penetrations to be infilled with matching materials. New penetrations introduced where required.

**SKIRTING**  
Skirting moulds to be removed to suit proposals.

**OPENING**  
Previously approved opening in existing timber stud partition to be infilled. Materials to match existing.

**EXTERNAL WALL**  
Existing face brickwork to be cleaned using water based system only; no chemical clean permitted. Masonry to be re-pointed; any damaged brickwork to be repaired where possible or replaced with matching brickwork.

**WINDOWS**  
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Rev:	Comments:	By:	Date:
E	Minor Material Amendments	RM	20-03-2019
F	Minor Material Amendments	MSL	27-03-2020

Client: 28 Scrutton Street, London, UK, EC2A 4RP

Project Title: 24 Heath Drive, London, NW3 7SB

Drawing Title: Stripping-Out First Floor

Scale: 1:50@A1 Date: JAN 18 Drawn: ST Checked: HV

**PLANNING**

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Project No.: 508-16 Drawing No.: 1501 Revision: F

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