

Key	
	Walls to be retained
	Parts to be stripped out. Any brickwork and roof tiles to be salvaged where possible
	Soil infill within crawl space to be removed
	Area to be Excavated

NOTES:

All works to be in accordance with Conservation Specifications.

All redundant services to be removed.

None of the existing fabric, including floor finishes, window joinery, door joinery, plasterwork, skirting and iron mongery are to be altered or removed unless otherwise shown on the drawings.

Demolition
Workmanship: Standard: Demolish structures in accordance with BS 6187.
Operatives:
- Appropriately skilled and experienced for the type of work.
- Holding or in training to obtain relevant CTEB Certificates of Competence.
Site staff responsible for supervision and control of work: Experienced in the assessment of risks involved and methods of demolition to be used.
Dust Control
General: Reduce airborne dust by periodically spraying demolition works with an appropriate wetting agent. Keep public roadways and footpaths clear of mud and debris.
Lead dust: Submit method statement for control, containment and clean-up regimes.
Health Hazards:
Precautions: Protect site operatives and general public from hazards associated with vibration, dangerous fumes and dust arising during the course of the Works.
Partly Demolished Structures:
General: Leave in a stable condition, with adequate temporary support at each stage to prevent risk of uncontrolled collapse. Keep safe outside working hours.
Temporary works: Prevent debris from overloading.
Unauthorised persons: Prevent access.
Dangerous Openings:
General: Illuminate and protect. Keep safe outside working hours.
Asbestos Containing Materials:
Discovery: Give notice immediately of suspected asbestos containing materials discovered during demolition work. Avoid disturbing such materials.
Methods for safe removal: Submit details and statutory risk assessments.
Unforeseen Hazards:
Unrecorded voids, tanks, chemicals, etc. discovered during demolition: Give notice.
Methods for safe removal, filling, etc: Submit details.
Site Condition at Completion:
Debris: Clear away and leave the site in a tidy condition.
Other requirements: Building occupied at all times and must be kept clear

Recycling
All Materials removed from site are to be recycled offsite where ever possible. This includes existing floor finishes noted for removal (i.e. existing vinyl and carpet), metal framework and concrete/blockwork.

ROOF
Roofing material to be removed and replaced to suit proposals.

CHIMNEYS
Existing face brickwork and chimney pots to be cleaned using water based system only; no chemical clean permitted. Brickwork to be re-pointed; any damaged brickwork to be repaired where possible or replaced with matching brickwork. Damaged chimney pots to be replaced to match existing.

ROOF
Condition of roof to be inspected. Any damaged tiles to be replaced to match existing. Roof tiles to be cleaned using a water based system, no chemical clean permitted. Any defects to be reported to architect.

WALL/DOOR
Door and associated ironmongery to be removed. Substrate to wall, ceiling and floor to be made good with all materials to match existing.

OPENING
New opening to be formed within existing roof. Roof supporting structure to be adapted to suit proposals. Any roof tiles to be salvaged where possible.

FLASHING
All flashing to be checked and repaired as required. Any damaged flashing to be replaced with matching material.

FLOOR FINISH
Existing floor finish to be removed. Timber floor boards to be refurbished. Floor structure to be checked to ascertain levels.

PICTURE RAIL
Picture rail to be refurbished, made good and protected throughout the construction programme; where infill/ replacement is required details to match existing.

WINDOWS
Paint to windows to be stripped back, substrate to be made good and prepared to receive new paint application. All detailing to window reveal to be retained, refurbished and protected throughout the construction programme. Materials and finish to match existing.

PANELLING
Panelling to be refurbished, made good and protected throughout the construction programme; where infill/ replacement is required details to match existing.

CEILING
Lath and plaster ceiling to be retained and refurbished. Architectural moulds to be retained, made good and protected throughout the construction programme; where infill/replacement is required details to match existing. All redundant services to be removed. Any redundant penetrations to be infilled with matching materials. New penetrations introduced where required.

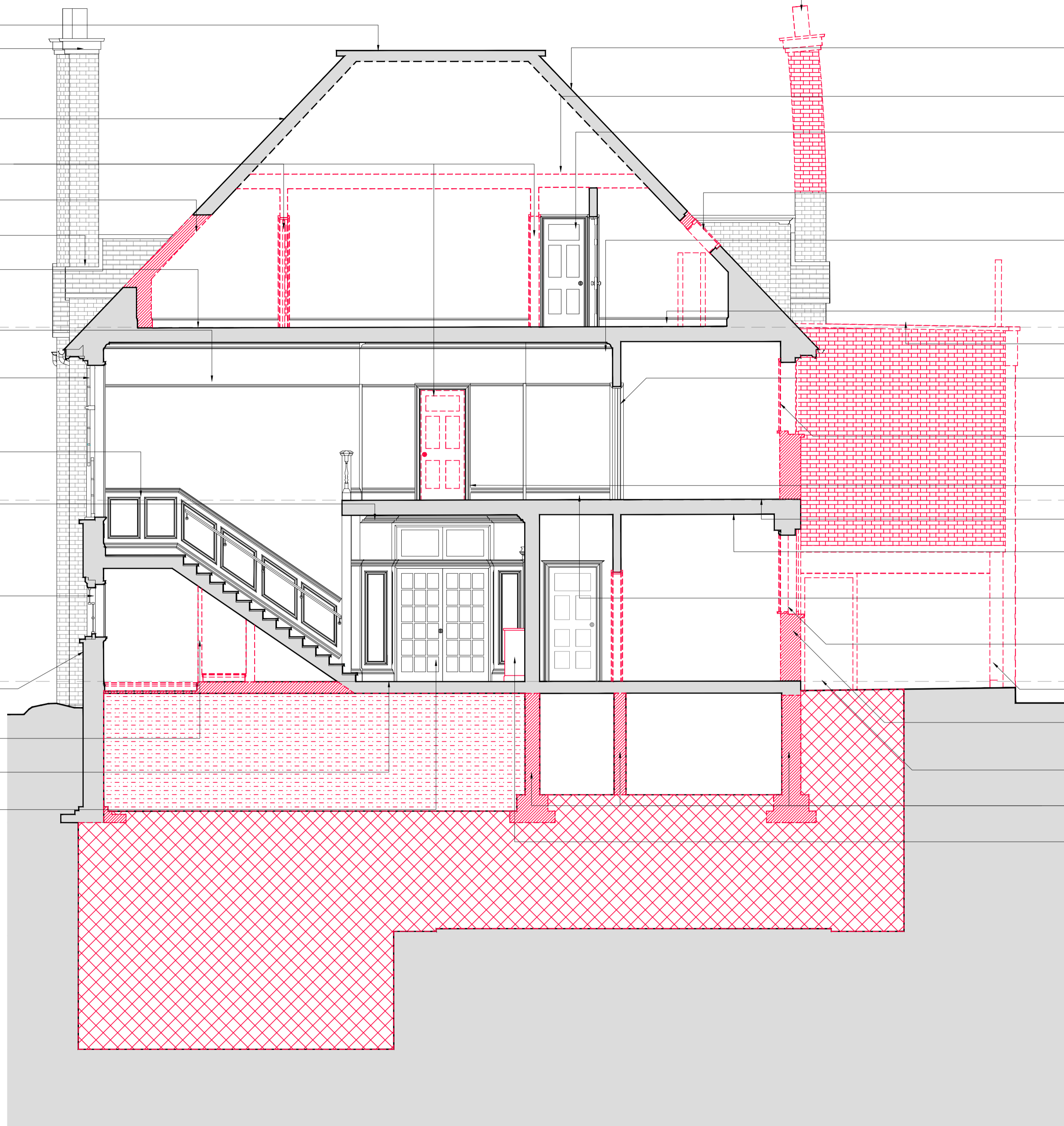
WINDOWS
Paint to windows to be stripped back, substrate to be made good and prepared to receive new paint application. All detailing to window reveal to be retained, refurbished and protected throughout the construction programme. Materials and finish to match existing.

EXTERNAL WALL
Existing face brickwork to be cleaned using water based system only; no chemical clean permitted. Masonry to be re-pointed; any damaged brickwork to be repaired where possible or replaced with matching brickwork.

WALLS
Walls to be removed. Substrate to wall, ceiling and floor to be made good with all materials to match existing.

PARQUET FLOORING
Existing floor finish to be retained, refurbished and protected throughout the construction programme.

DOOR
Paint to door to be stripped back, substrate to be made good and prepared to receive new paint application. All detailing to door reveal to be retained, refurbished and protected throughout the construction programme. Materials and finish to match existing.



LEANING CHIMNEY
Chimney stack to be re-built as per Structural Engineer's recommendation. Brickwork to be carefully removed and re-used. Any damaged bricks and chimney pots to be replaced to match existing.

ROOF
Condition of roof to be inspected. Any damaged tiles to be replaced to match existing. Roof tiles to be cleaned using a water based system, no chemical clean permitted. Any defects to be reported to architect.

CEILING
Existing ceiling finish and joists to be removed and replaced with new joists, as per Structural Engineer's proposal of the consented scheme.

DOOR
Paint to door to be stripped back, substrate to be made good and prepared to receive new paint application. All detailing to door reveal to be retained, refurbished and protected throughout the construction programme. Materials and finish to match existing.

ROOFLIGHT
Existing rooflight and associated ironmongery to be removed. Roof supporting structure to be adapted to suit proposals for infill. All materials to match existing. Salvaged roof tiles to be re-used where possible.

CEILING
Lath and plaster ceiling to be retained and refurbished. Architectural moulds to be retained, made good and protected throughout the construction programme; where infill/replacement is required details to match existing. All redundant services to be removed. Any redundant penetrations to be infilled with matching materials. New penetrations introduced where required.

FLOOR FINISH
Existing floor finish to be removed. Timber floor boards to be refurbished. Floor structure to be checked to ascertain levels.

ROOF
Existing roof and associated structure to be removed. Any fixings/flushing to abutting wall to be carefully removed as to not damage brickwork.

DOOR
Paint to door to be stripped back, substrate to be made good and prepared to receive new paint application. All detailing to door reveal to be retained, refurbished and protected throughout the construction programme. Materials and finish to match existing.

WINDOWS
Windows and associated ironmongery to be removed. Cill to be lowered forming new door opening. Brickwork to be carefully cut-out and/or toothed in as required. Re-use salvaged brickwork where possible.

ARCHITRAVE
All detailing to door reveal to be retained, refurbished and protected throughout the construction programme.

FLOOR FINISH
Existing floor finish to be removed. Timber floor boards to be refurbished. Floor structure to be checked to ascertain levels.

CEILING
Lath and plaster ceiling to be retained and refurbished. All redundant services to be removed. Any redundant penetrations to be infilled with matching materials.

SKIRTING
Skirting to be refurbished, made good and protected throughout the construction programme; where infill/ replacement is required details to match existing.

WINDOWS
Windows and associated ironmongery to be removed. Cill to be lowered forming new door opening. Brickwork to be carefully cut-out and/or toothed in as required. Re-use salvaged brickwork where possible.

SIDE EXTENSION
Load bearing walls and roof structure to be removed. Where brickwork is toothed in with masonry forming flank wall, this is to be carefully cut-out.

EXTERNAL WALL
Existing face brickwork to be cleaned using water based system only; no chemical clean permitted. Masonry to be re-pointed; any damaged brickwork to be repaired where possible or replaced with matching brickwork.

WALL/ DOOR
Wall, door and associated ironmongery to be removed. Brickwork to be toothed in where necessary.

WALLS
Walls to be removed in accordance with Structural Engineer's Design and method statement.

RADIATOR HOUSING
Radiator housing to be removed and replaced with new radiator in accordance with M&E Engineer's Design.

SCALE - 1:50

Rev:	Comments:	By:	Date:
D	Minor Material Amendments	RM	13-03-2019
E	Minor Material Amendments	MSL	27-03-2020

Client:
Sarah Bard Sassoon

Project Title:
24 Heath Drive, London, NW3 7SB

Drawing Title:
Strip-Out
Section B

Scale: 1:50@A1 Date: JAN 18 Drawn: ST Checked: HV

Project No.: 508-16 Drawing No.: 1701 Revision: E

PLANNING

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Strip-Out
Section B

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