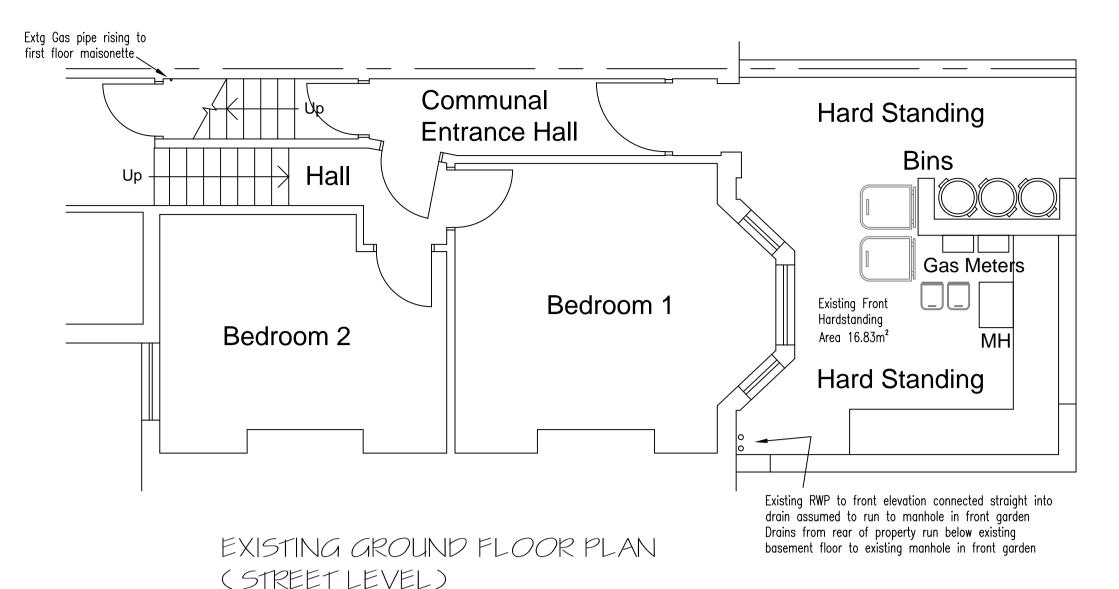
#### DECORATION

All new interior and exterior SW Joinery to be fully decorated including all concealed faces and edges. Knot. Prime. Stop. 2 Undercoats & Min Gloss/Satin top coat to cover as directed by client.

All new interior and exterior HW Joinery to receive clear sealant prior to fixing and minimum 2 coats clear/tinted Gloss/Satin Varnish as directed by client. All preparation to closely follow manufacturers instructions. Exterior walls to be painted with minimum 3 coats masonry paint to match existing building where applicable including making good around new work/alterations

#### WALL & FLOOR TILING

All internal wall and floor tiling to be carried out using the appropriate & correct adhesives and grout. Ensure all surfaces are clean, even and flat before commencing. Prepare floors with 'Schluter-Ditra' waterproof anti-movement matting and walls with 'Schluter-Kerdi' waterproof fibreglass matting or equal approved laid in strict accordance with manufacturers instructions. Ensure that the waterproof layers are lapped and intact before laying any tiles over. Where tiled shower floor bases are required the waterproof layer is to be dressed into an appropriate trapped floor gulley with removable trim to access trap for cleansing. All tile joints to be mitred and plastic edge trim avoided unless agreed beforehand by client. Baths to be filled with water during fixing to walls/floor and whilst tiling. Any specialist tiles/stone/marble to be sealed after fixing in strict accordance with suppliers instructions. All tiling/sanitaryware/taps etc to be properly & thoroughly cleaned after fixing and protected with bubblewrap and hardboard etc taped in position. These areas thereafter to have restricted access. All silicone sealant/beading to be applied by a specialist at the appropriate time and left to cure. Baths to be filled with water



#### FI FCTRICAL SAFETY

All wiring & electrical work to be designed, installed, inspected & tested in accordance with BS7671, 17th & 18th Edition IEE Reas & Pt P of Building Regulations by competent qualified electricians registered with an approved authorised Pt P self certification scheme. Electrical Installation & Test Certificates to BS7671 to be issued to Client by installer within 30 Days of Completion

#### INTERNAL & EXTERNAL LIGHTING

All new lighting is to be energy efficient. LED lamps/fittings are recommended. Lamps having a luminous efficacy greater than 40 lumens/circuit Watt to be provided in all rooms, circulation spaces. outhouses, lofts, garages & conservatories and the like. All external lights to have lamps of the above efficacy or be automatically extinguished when there is enough daylight & when not required at night

#### VENTILATION

All habitable rooms to have 5% of floor area natural ventilation via opening doors or windows to external air. (Min ventilation rate for whole dwelling 0.3L/sec per m<sup>2</sup> of total floor area) Background ventilation of 40,000mm<sup>2</sup> required equally distributed. In addition kitchens to have at least a 30L/sec cooker hood ducted to external air or a separate 60L/sec full extract fan Mechanical Extraction also to be provided as follows: Utility Rooms—30L/sec Bath & Shower Rooms-15L/sec. Separate WC's to have either a window giving 5% floor area & background vent or 6L/sec extract fan. All extract fans to be linked to light switch & with 15 Min overrun unless room has an 

## GLAZING ~ SAFETY

Bed 2

Chimney breast to be removed and supported

above at high level with beam parallel to wall

with pier (330x215) to be rebuilt at front end

Brick up recesses in Party Wall & make good

Extg Gas pipe rising to

Any glass in a window within 800mm of floor level or 1500 if in a door or within 300mm each side of a door to be Lamingted to BS 6206 unless pane of glass is less than 250mm wide & under 0.5sgm in area. Any opening part of a window within 800mm of floor to be provided with a horizontal guarding rail and vertical balustrade below with maximum 99mm apertures

## FIRE ALARMS/SMOKE DETECTORS ~ SD SMOKE HD HEAT

Smoke Detectors to be mains wired to Pt P compliance. If one is activated then all must sound off. Provide in circulation areas where indicated by the symbol above and within 7.5m of doors to all habitable rooms. They should be ceiling mounted Min 300mm from walls or light fittings and be kept away from Heating or Air/Con appliances/outlets. System to be installed to accord with auidance in BS 5839-1:2002 & -6:2004. Smoke & Heat Detectors to comply with BS 5446-1:2000 & -2:2003 respectively

#### FIRE DOORS

All Flat Entrance Doors and other internal doors opening onto common stairs to be Half Hour Fire Resisting FD30S with perko self closing devices and fitted into frames/linings with 15x40mm stops glued and screwed in place and intumescent strips rebated into head and jambs of linings to form seal in the event of a fire. If not provided stops must be 25x40mm. All other doors forming protected flat entrance halls must be FD20 Fire Resisting (Self Closing Not Required)

#### ACCESSIBLE SOCKETS & SWITCHES

Wall mounted sockets outlets, TV & Phone points etc to be located Min 400mm & Max 1000mm above floor level and no nearer room corners than 350mm. Switches for permanently wired appliances, unless at a higher level for particular appliances, to be located within 400 & 1200mm above floor level. All sockets and isolation switches to clearly show that they are on/off. All switches and controls that require precise hand movements are located between 750 & 1200mm above floor level. Controls that require close vision are to be located between 1200 and 1400 above floor level with thermostats being at the top of the range

## **DOWNLIGHTERS**

Down lighters are to be fully enclosed to maintain acoustic and fire separation whilst maintaining space separation to prevent overheating as recommended by the manufacturer

Hard Standing

Light Well

Existing RWP & drain relaid

with new RW Gully and drain

into existing front manhole

Bins

Wrought iron railings around light

(1.1m high & 0.1m spacings Max)

well to match those at No 21

Gap between lightwell wall and

RWP's & Media cables etc

## ~ NOTES ~

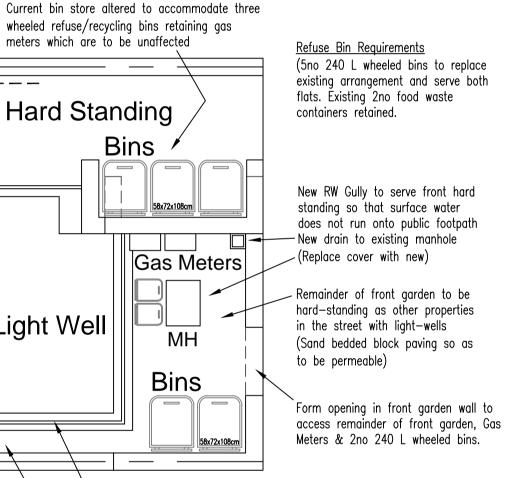
All Work to Clients & Local Authority Approval & All Relevant BS's to be complied with. Work Only to Written Dimensions unless directed to scale by Design Team. Report Discrepancy's and Obtain Permission Prior to Proceeding. Contractor Shall be Responsible to Rectify Any Variations carried out without Prior Approval. Any Disturbance to be Made Good to Match Existing or as Directed. Architraves, Cornices, Doors & Skirtings etc to Match Existing and be Purpose Made where an acceptable standard product is not readily available. Services to be Altered and Extended as Required

#### WINDOWS & FXTFRIOR DOORS

Materials for frames, hinges etc to match existing unless a complete new installation is called for. All to be provided with suitable locking devices to match the existing or multi point locking devices complying to insurance industry standards. Easy-clean hinges to be stainless steel types or equal approved with a full opening device where necessary for emergency escape purposes. Glazing to comply with safety glass rules, be double glazed with low-e, anti-glare & Argon fill all incorporated to achieve a U value as close to 1.4W/m<sup>2</sup>K as possible but not exceeding 2.0W/m<sup>2</sup>K. Provide the Maximum gap to sealed units possible for frame material selected. Obscured glass to be selected by client from samples to be provided by contractor. Draught stripping to be the best quality fitted into grooves/rebates as applicable. Frames to incorporate a thermal break except where wooden. Obtain Clients written Approval for all details including window/door configuration

#### EMERGENCY ESCAPE

All habitable rooms to have emergency exits of at least a window having a clear opening area of 0.33sgm & Min 450mm high or wide. The bottom of which should be within 1100mm of floor level. If safety guarding is provided to a window the clear opening are must be measured above the guarding



#### Exta Gas pipe rising to Extg Electric cable rising to meters at high level first floor maisonette. Existing Electrical Service intake for both maisonettes enter building at this point within hall floor rising to Utility/Robes meter cupboard at high level in ground floor entrance Existing Gas pipes for Living/Dining/Kitchen both maisonettes enter Gas Meters building at this point just below cellar ceiling Bathroom WVP Residential Storage RWG SVP Single water main pipe enters building just - Up below cellar ceiling MH



## PROPOSED GROUND FLOOR PLAN (STREET LEVEL)

# boundary wall to allow access to

Waste plumbing from shower room run within

below ceiling across to new SVP location in

recess in room below. FAI to SVP behind WC

floor void where possible then dropping

Extg Electric cable rising

to meters at high level.

New doorway in load bearing

spine wall. 195x75 C24 timber

lintel over framed onto 100x75

C16 timber studs within

partition thickness

Reception

(Bedroom 3)

Communal

**Entrance Hall** 

## CAVITY WALLS

Outer leaf to be 112.5mm second hand stock brickworkto match the existing & to be agreed with client. 100mm cavity completely filled with 100mm 'Drytherm 32' mineral fibre insulation cavity batts. Inner leaf to be 100mm 4.2N 'Plasmor Aglite' blockwork unless Structural Engineers details specify a higher requirement. Finish internally with 12.5mm Plasterboard on dabs with 2.5mm hard plaster set coat. Cavity wall ties to BS1243 (as amended) @ 450 Vert & 750 Horz c/c staggered. 225 Vert c/c to reveals and 'Thermabate' or equal insulated DPC cavity closures including below cills. Mortar joints to be in 1:1:6 mix cement/plasticizer/sand. All work below, DPC level to be in sulphate resisting materials unless soil report or Local Authority indicate otherwise. DPC cavity trays, stepped as necessary and code 5 lead flashings above all abutments

## DPC's & DPM's

All DPC's to BS 743 Min 150mm above finished ground levels, stepped as required to suit site levels. All on mortar bed. Vertically lap or tank as appropriate. Inner leaf DPC not to be above floor level and to be lapped to floor DPM's. Use Hi-Load DPC's below any concrete floors or floor beams. DPM's to be 1200 gauge polythene or equal approved & protected with soft sand blinding where necessary. All DPC's & DPM's to be lapped to existing at all abutments

# 

All to be to BS 8301. 100mm ø plastic underground drains laid @ 1:40 falls in 150mm pea shingle bed and surround. Min 600mm cover below driveways or encase in concrete. Build pipes into walls where passing through with joints within 150mm of wall face and then at approximately 600mm from first joint to form a rocker pipe. All gulley's to be rodable back inlet types with fixed covers/gratings, large radius bends at base of soil stacks, provide one way valves to drains or flexible anti climb fins to stacks to prevent rodents climbing pipes to exit drains. All drains to be accessible and rodable. 450mm Ø plastic or 450x450mm semi-engineering brick inspection chambers on 150mm concrete bases. Concrete backfill to plastic IC's. Maximum depth 1.2m. Covers 450mm Ø or 430mm sg. All internal IC's etc to be fitted with double seal bolt down air tight covers and frames. Refer to plan for further requirements and/or greater depths etc. All paved areas to be provided with drainage in the form of gulley's or channels discharging to a separate surface water drainage system together with rainwater from roofs

## PIPE & VENT DUCTWORK

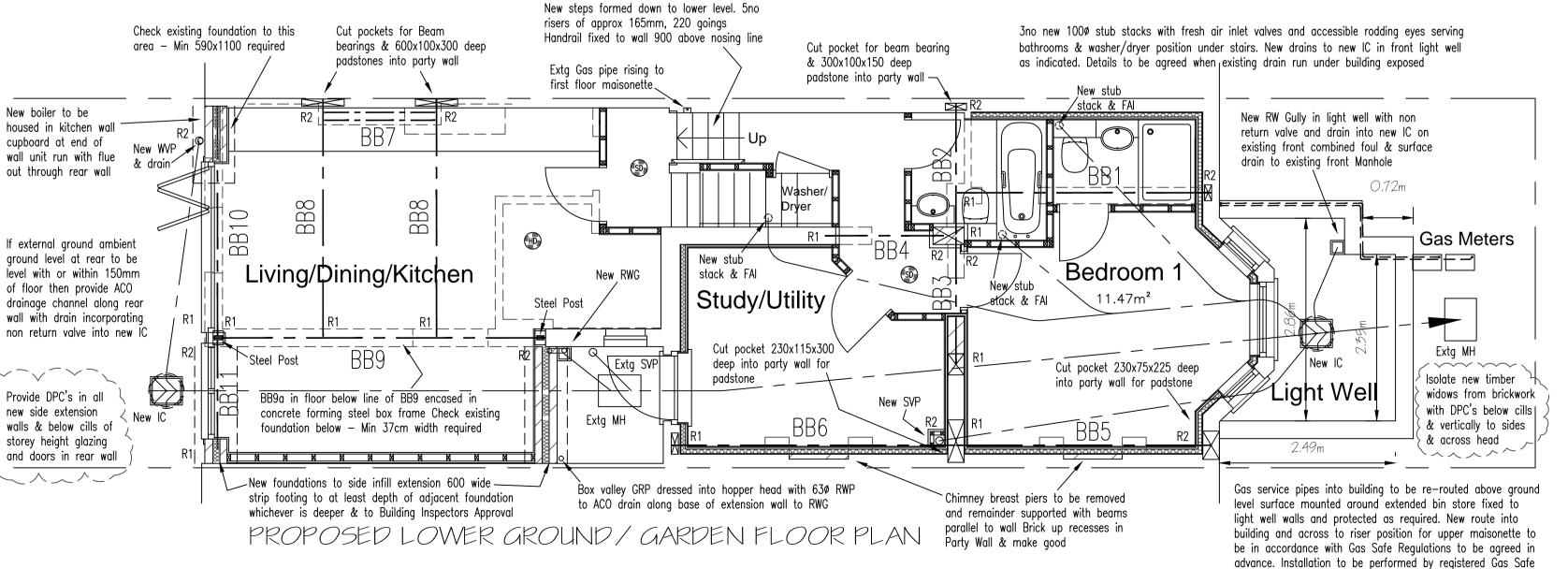
Encase all ducts and stack pipes etc in 2 layers 12.5mm plasterboard fixed to break joint & with plaster skim finish. 100mm 'Knauf' earthwool Acoustic Roll infill throughout. 50x50 SW framework. Access panels in 2 layers 15mm Masterboard or similar fire retardant material screw fixed into 25mm rebated frame. Low level to stacks. Intumescent fire collars to all pipes passing through compartment floors into another part of the building used by a different occupant

## WASTE PLUMBING

All to be to BS 5572. 100mm ø soil & vent stacks or stub stacks as directed. 100mm Ø WC branches with 50mm deep 'P' traps. All other traps accessible and cleanable. Waste & trap sizes as follows: — Basins & Bidets 32mm Ø, Sinks & Washing machines etc 40mm Ø all with 75mm deep traps. baths & Showers 40mm Ø with 50mm deep traps. No waste to be connected to a stack within 200mm of a WC branch. Increase pipe sizes from 32 to 40mm @ 1.7m, 40 to 50mm @ 3.0m. Any wastes over 4.0m provide anti-syphon traps or a vent connected to waste within 300mm of trap, rising continuously either to external air or back to stack above highest flood level. Wherever possible & always at head of drain stacks to be vented to external air via balloon cage 900mm above any ventilation openina within 3.0m. Code 5 lead collars/sleeves above roof abutments. Fresh air inlet valves only to be used in accordance with manufacturers instructions and Local Authority Approval. provide rodding eyes to all bends & junctions. Box in & conceal wastes etc in agreement with client/owner

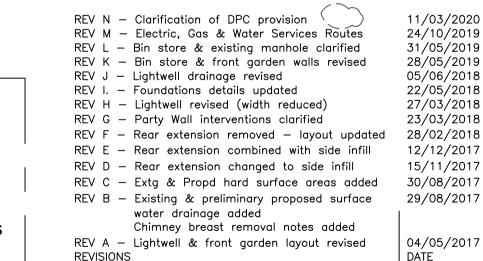
## PARTITIONS ~ TIMBER STUD

75x50mm SW studs @ 400c/c. Noggins @ 800c/c. 75x50 base and top plates. Double up joists below partitions unless otherwise specified. 12.5mm plasterboard & 2.5mm skim coat of plaster finish both sides with 75mm 'Knauf' earthwool Acoustic Roll infill throughout. All studwork within a bath or shower room (or other wet area) to be lined out on wet side with agua panel or equal approved purpose made boards



Water service to be temporarily re-routed to avoid excavation works insulated where exposed. Provide duct with draw string dropped down behind & below base of light well & basement floor to a depth of at least 600mm. Locate riser pipe to upper maisonette and reconnect water main at appropriate time in contract period. Provide new metered water supply to lower maisonette run within same duct route into building

Engineer/Plumber.



Architectural Design & Planning

32 Grange Road Plymouth PL7 2HY

**WORKS** t: 01752 341696 t: 07973 136876

11/03/2020

24/10/2019

31/05/2019

28/05/2019

05/06/2018

22/05/2018

27/03/2018

23/03/2018

12/12/2017

15/11/2017

30/08/2017

29/08/2017

04/05/2017

DATE

EXISTING & PROPOSED FLOOR PLANS

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