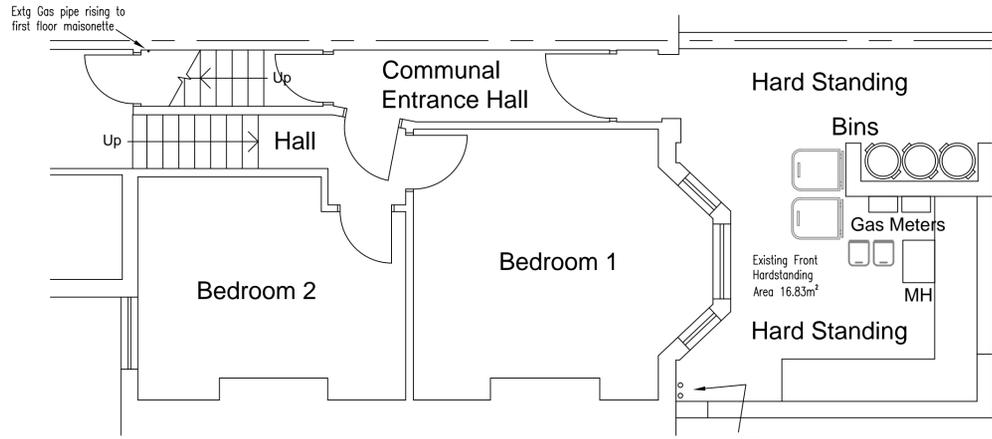


DECORATION

All new interior and exterior SW Joinery to be fully decorated including all concealed faces and edges. Knot, Prime, Stain, 2 Undercoats & Min 1 Glass/Satin top coat to cover as directed by client.
 All new interior and exterior HW Joinery to receive clear sealant prior to fixing and minimum 2 coats clear/tinted Glass/Satin Varnish as directed by client. All preparation to closely follow manufacturers instructions. Exterior walls to be painted with minimum 3 coats masonry paint to match existing building where applicable including making good around new work/alterations

WALL & FLOOR TILING

All internal wall and floor tiling to be carried out using the appropriate & correct adhesives and grout. Ensure all surfaces are clean, even and flat before commencing. Prepare floors with 'Schluter-Ditra' waterproof anti-movement matting and walls with 'Schluter-Kerdi' waterproof fibreglass matting or equal approved laid in strict accordance with manufacturers instructions. Ensure that the waterproof layers are lapped and intact before laying any tiles over. Where tiled shower floor bases are required the waterproof layer is to be dressed into an appropriate trapped floor gully with removable trim to access trap for cleaning. All tile joints to be mitred and plastic edge trim avoided unless agreed beforehand by client. Baths to be filled with water during fixing to walls/floor and whilst tiling. Any specialist tiles/stone/marble to be sealed after fixing in strict accordance with suppliers instructions. All tiling/sanitaryware/taps etc to be properly & thoroughly cleaned after fixing and protected with bubblewrap and hardboard etc taped in position. These areas thereafter to have restricted access. All silicone sealant/beading to be applied by a specialist at the appropriate time and left to cure. Baths to be filled with water



EXISTING GROUND FLOOR PLAN (STREET LEVEL)

ELECTRICAL SAFETY

All wiring & electrical work to be designed, installed, inspected & tested in accordance with BS7671, 17th & 18th Edition IEE Regs & Pt P of Building Regulations by competent qualified electricians registered with an approved authorised Pt P self certification scheme. Electrical Installation & Test Certificates to BS7671 to be issued to Client by installer within 30 Days of Completion

INTERNAL & EXTERNAL LIGHTING

All new lighting is to be energy efficient. LED lamps/fitings are recommended. Lamps having a luminous efficacy greater than 40 lumens/circuit Watt to be provided in all rooms, circulation spaces, outhouses, lofts, garages & conservatories and the like. All external lights to have lamps of the above efficacy or be automatically extinguished when there is enough daylight & when not required at night

VENTILATION

All habitable rooms to have 5% of floor area natural ventilation via opening doors or windows to external air. (Min ventilation rate for whole dwelling 0.3l/sec per m² of total floor area) Background ventilation of 40,000m³ required equally distributed. In addition kitchens to have at least a 30l/sec cooker hood ducted to external air or a separate 60l/sec full extract fan Mechanical Extraction also to be provided as follows: Utility Rooms-30l/sec Bath & Shower Rooms-15l/sec. Separate WC's to have either a window giving 5% floor area & background vent or 6l/sec extract fan. All extract fans to be linked to light switch & with 15 Min overrun unless room has an opening window

GLAZING ~ SAFETY

Any glass in a window within 800mm of floor level or 1500 if in a door or within 300mm each side of a door to be laminated to BS 6206 unless pane of glass is less than 250mm wide & under 0.5sqm in area. Any opening part of a window within 800mm of floor to be provided with a horizontal guarding rail and vertical balustrade below with maximum 99mm apertures

FIRE ALARMS/SMOKE DETECTORS ~ SMOKE HEAT

Smoke Detectors to be mains wired to Pt P compliance. If one is activated then all must sound off. Provide in circulation areas where indicated by the symbol above and within 7.5m of doors to all habitable rooms. They should be ceiling mounted Min 300mm from walls or light fittings and be kept away from Heating or Air/Con appliances/outlets. System to be installed to accord with guidance in BS 5839-1:2002 & -6:2004. Smoke & Heat Detectors to comply with BS 5446-1:2000 & -2:2003 respectively

FIRE DOORS

All Flat Entrance Doors and other internal doors opening onto common stairs to be Half Hour Fire Resisting FD30s with perko self closing devices and fitted into frames/linings with 15x40mm stops glued and screwed in place and intumescent strips rebated into head and jambs of linings to form seal in the event of a fire. If not provided stops must be 25x40mm. All other doors forming protected flat entrance halls must be FD20 Fire Resisting (Self Closing Not Required)

ACCESSIBLE SOCKETS & SWITCHES

Wall mounted sockets outlets, TV & Phone points etc to be located Min 400mm & Max 1000mm above floor level and no nearer room corners than 350mm. Switches for permanently wired appliances, unless at a higher level for particular appliances, to be located within 400 & 1200mm above floor level. All sockets and isolation switches to clearly show that they are on/off. All switches and controls that require precise hand movements are located between 750 & 1200mm above floor level. Controls that require close vision are to be located between 1200 and 1400 above floor level with thermostats being at the top of the range

DOWNLIGHTERS

Down lighters are to be fully enclosed to maintain acoustic and fire separation whilst maintaining space separation to prevent overheating as recommended by the manufacturer

~ NOTES ~

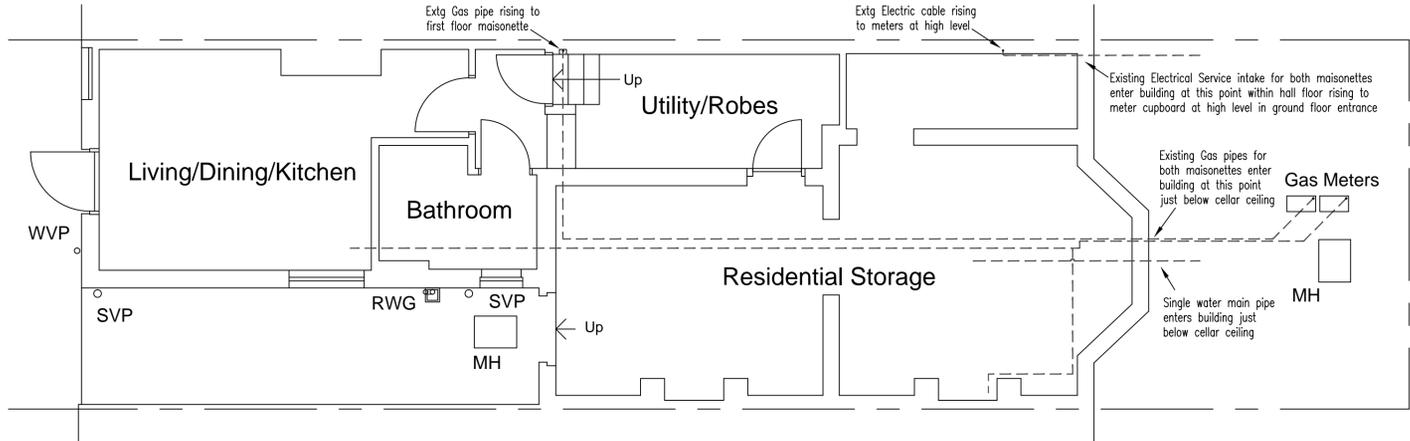
All Work to Clients & Local Authority Approval & All Relevant BS's to be complied with. Work Only to Written Dimensions unless directed to scale by Design Team. Report Discrepancies & Obtain Permission Prior to Proceeding. Contractor Shall be Responsible to Rectify Any Variations carried out without Prior Approval. Any Disturbance to be Made Good to Match Existing or as Directed. Architraves, Cornices, Doors & Skirtings etc to Match Existing and be Purpose Made where an acceptable standard product is not readily available. Services to be Altered and Extended as Required

WINDOWS & EXTERIOR DOORS

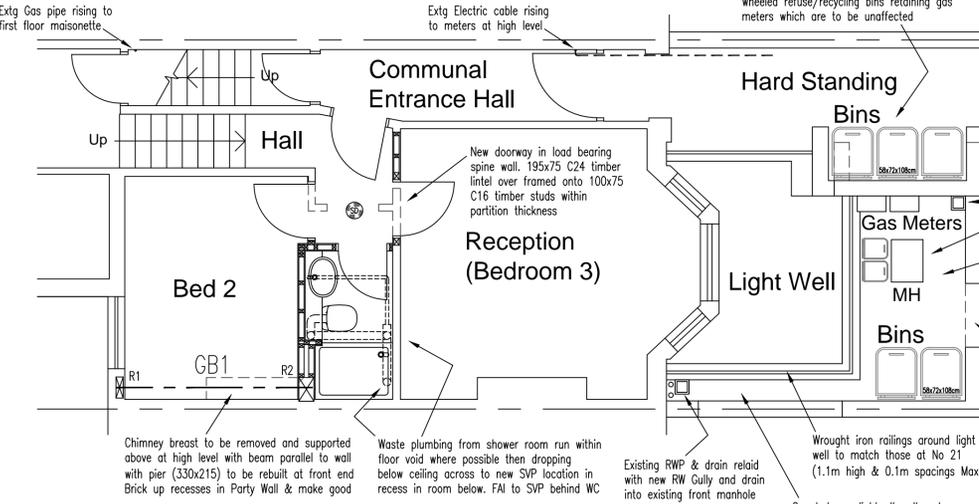
Materials for frames, hinges etc to match existing unless a complete new installation is called for. All to be provided with suitable locking devices to match the existing or multi point locking devices complying to insurance industry standards. Easy-clean hinges to be stainless steel types or equal approved with a full opening device where necessary for emergency escape purposes. Glazing to comply with safety glass rules, be double glazed with low-e, anti-glare & Argon fill incorporated to achieve a U value as close to 1.4W/m²K as possible but not exceeding 2.0W/m²K. Provide the Maximum gap to sealed units possible for frame material selected. Obscured glass to be selected by client from samples to be provided by contractor. Draught stripping to be the best quality fitted into grooves/rebates as applicable. Frames to incorporate a thermal break except where wooden. Obtain Clients written Approval for all details including window/door configuration

EMERGENCY ESCAPE

All habitable rooms to have emergency exits of at least a window having a clear opening area of 0.33sqm & Min 450mm high or wide. The bottom of which should be within 1100mm of floor level. If safety guarding is provided to a window the clear opening area must be measured above the guarding



EXISTING LOWER GROUND FLOOR/ GARDEN FLOOR PLAN



PROPOSED GROUND FLOOR PLAN (STREET LEVEL)

CAVITY WALLS

Outer leaf to be 112.5mm second hand stock brickwork to match the existing & to be agreed with client. 100mm cavity completely filled with 100mm 'Drytherm 32' mineral fibre insulation cavity batts. Inner leaf to be 100mm 4.2N 'Plasmar Agile' blockwork unless Structural Engineers details specify a higher requirement. Finish internally with 12.5mm Plasterboard on dabs with 2.5mm hard plaster set coat. Cavity wall ties to BS1243 (as amended) @ 450 Vert & 750 Horz c/c staggered. 225 Vert c/c to reveals and 'Thermabats' or equal insulated DPC cavity closures including below cills. Mortar joints to be in 1:1:6 mix cement/plasticizer/sand. All work below DPC level to be in sulphate resisting materials unless soil report or Local Authority indicate otherwise. DPC cavity trays, stepped as necessary and code 5 lead flashings above all abutments

DPC's & DPM's

All DPC's to BS 743 Min 150mm above finished ground levels, stepped as required to suit site levels. All on mortar bed. Vertically lap or tank as appropriate. Inner leaf DPC not to be above floor level and to be lapped to floor DPM's. Use Hi-Load DPC's below any concrete floors or floor beams. DPM's to be 1200 gauge polythene or equal approved & protected with soft sand blinding where necessary. All DPC's & DPM's to be lapped to existing at all abutments

DRAINAGE

All to be to BS 8301. 100mm Ø plastic underground drains laid @ 1:40 falls in 150mm pea shingle bed and surround. Min 600mm cover below driveways or encase in concrete. Build pipes into walls where passing through with joints within 150mm of wall face and then at approximately 600mm from first joint to form a rocker pipe. All gully's to be rodable back inlet types with 150mm pea shingle bed and surround. Min 600mm cover below driveways or encase in concrete. Build pipes into walls where passing through with joints within 150mm of wall face and then at approximately 600mm from first joint to form a rocker pipe. All gully's to be rodable back inlet types with 150mm pea shingle bed and surround. Min 600mm cover below driveways or encase in concrete. Build pipes into walls where passing through with joints within 150mm of wall face and then at approximately 600mm from first joint to form a rocker pipe. All gully's to be rodable back inlet types with 150mm pea shingle bed and surround. 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