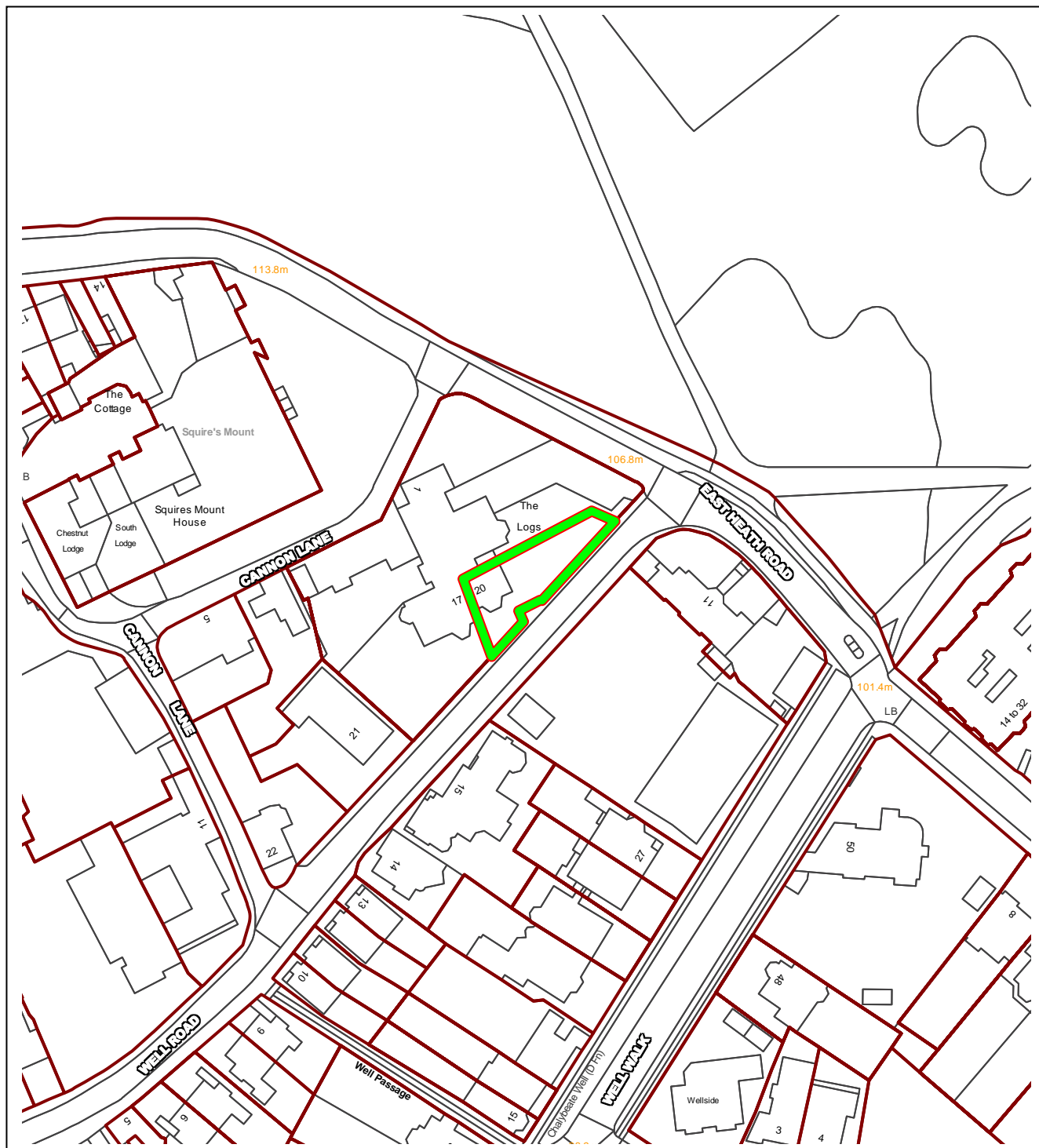


2018/6349/P & 2019/0421/L – 19 Well Road



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Photos



Entrance to application site from Well Road



Entrance to application site from Well Road



View of arched entrance from within application site



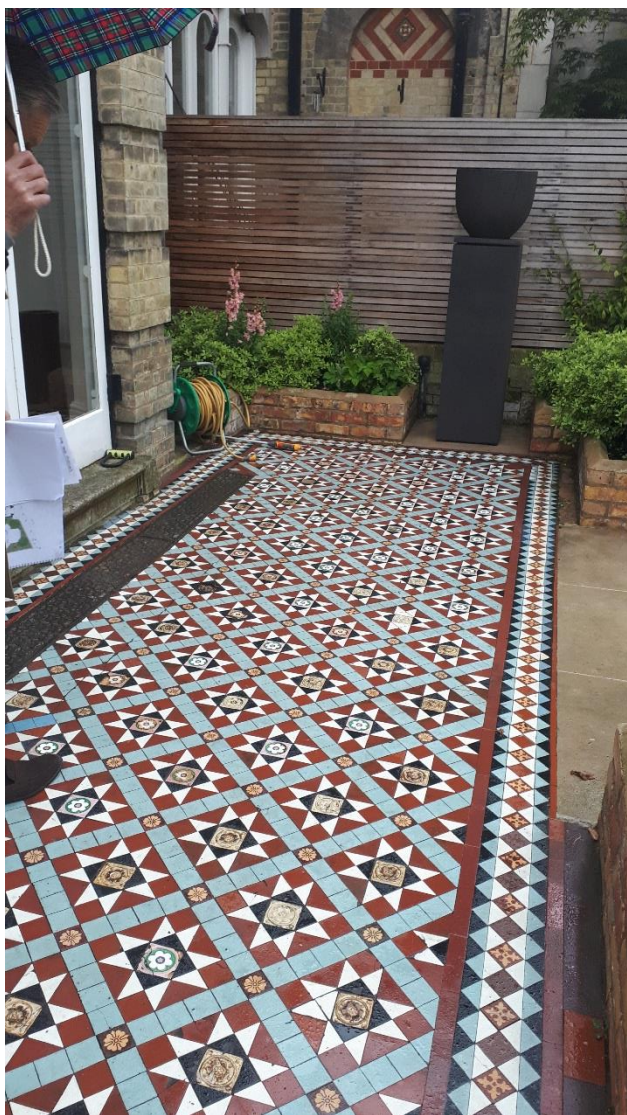
View of entrance steps from within application site



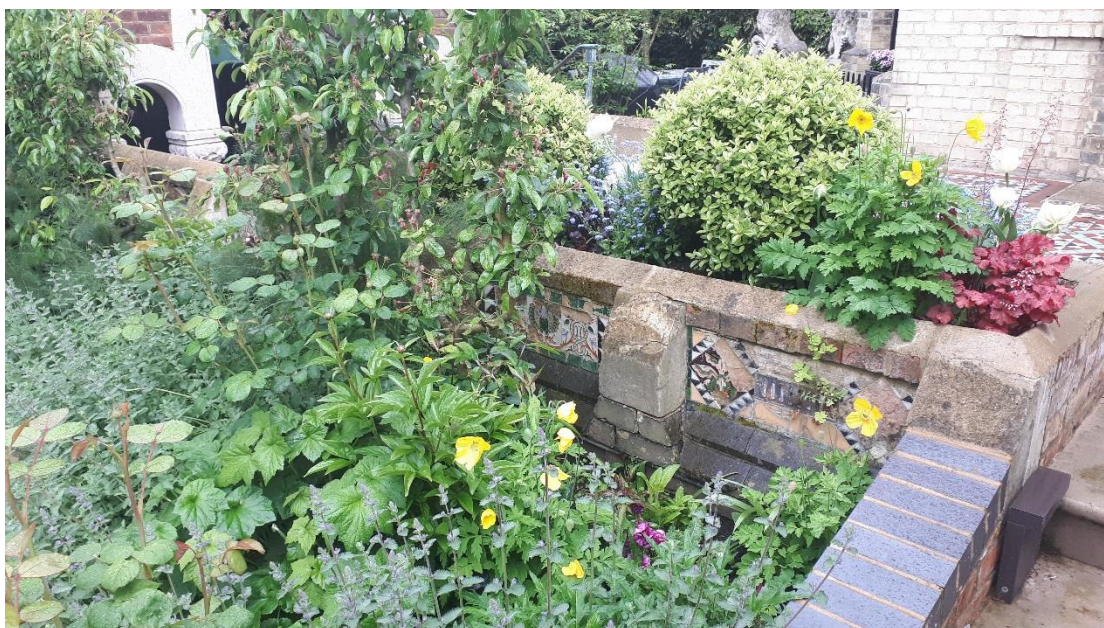
View of entrance steps



View of mosaic wall adjacent to entrance steps



View of tiles on patio



View of historic retaining walls



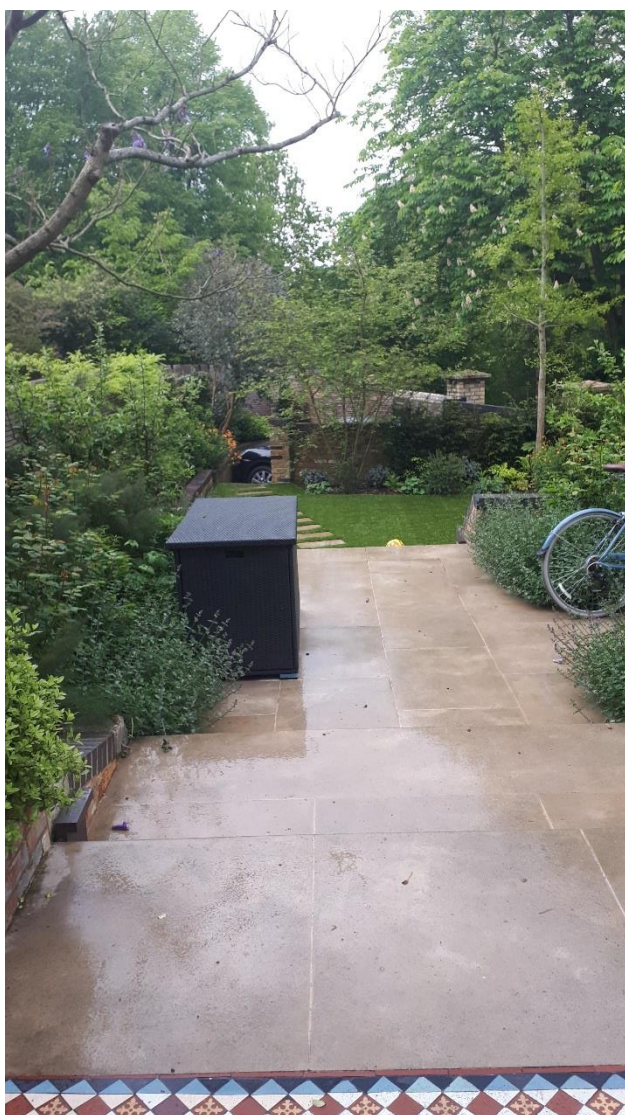
View of historic retaining walls



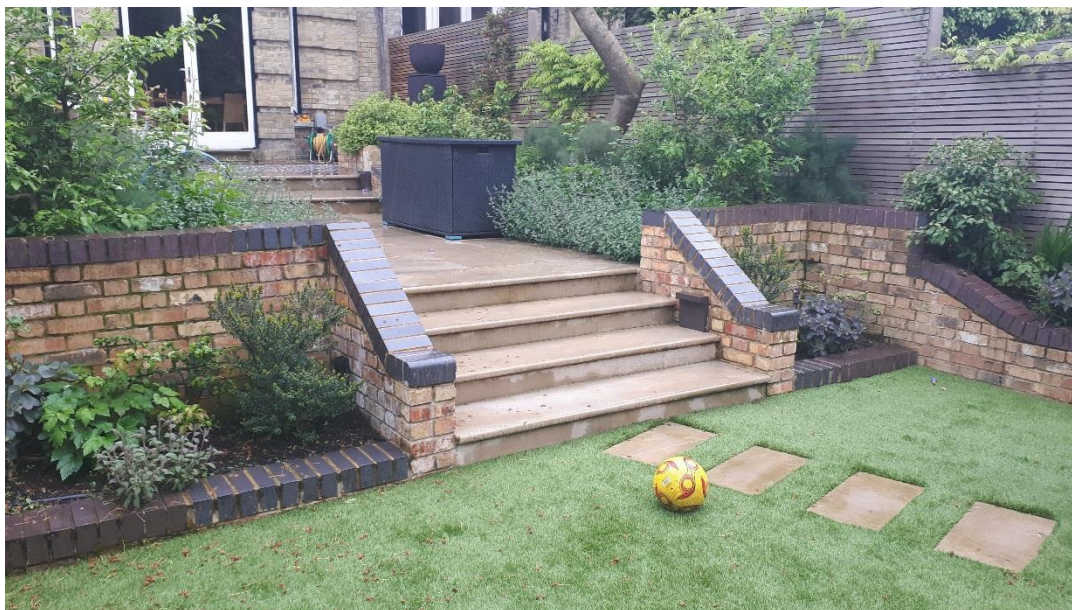
View of northern elevation of dwelling and front garden



View of front garden



View into garden looking north towards parking area



View of front garden (including retaining walls and astroturf)



View of front garden (including retaining walls and astroturf)



View of side wall along Well Road



View to neighbouring property

Delegated Report		Analysis sheet		Expiry Date:		15/02/2019	
(Members Briefing)		N/A / attached		Consultation Expiry Date:		20/12/2019	
Officer				Application Number(s)			
Kate Henry				1) 2018/6349/P 2) 2019/0421/L			
Application Address				Drawing Numbers			
19 Well Road London NW3 1LH				Please refer to draft decision notice			
PO 3/4		Area Team Signature		C&UD		Authorised Officer Signature	
Proposal(s)							
1) Extension to existing basement under front garden, including 2x lightwells 2) Extension to existing basement under front garden, including 2x lightwells; associated internal alterations							
Recommendation(s):		1) Grant conditional planning permission subject to section 106 legal agreement 2) Grant conditional listed building consent					
Application Type:		1) Full Planning Permission 2) Listed building consent					

Conditions or Reasons for Refusal:	Refer to Draft Decision Notice					
Informatives:						
Consultations						
Adjoining Occupiers:	No. notified	00	No. of responses	00	No. of objections	00
Summary of consultation responses:	Site notices were displayed on 25/01/2019 (consultation expiry date 18/02/2019) and notices were placed in the local press on 31/01/2019 (consultation expiry date 24/02/2019). No comments have been received.					
Hampstead CAAC	<p>Objection, summarised as follows:</p> <ul style="list-style-type: none">• Garden loss to new extension excessive• Joint with existing bay side would be an ill-designed feature• Extension height should be reduced and planting added to roof <p>Officer comment</p> <p><i>The proposed new basement would be subterranean and therefore there would be no loss of usable garden space above. The proposals involve the removal of the astroturf and replacement with subsoil, topsoil and turf, which represents an improvement (albeit the astroturf was laid without consent).</i></p> <p><i>The link to the new basement from the existing building is considered to be acceptable in heritage terms and minimising the impact on the significance of the listed building. The link would not be discernible from above ground because the proposed new basement would be subterranean where it adjoins the existing building.</i></p> <p><i>There will be SUDs above the proposed new basement which is considered to be acceptable in line with the Council’s guidance.</i></p>					
Historic England GLAAS	No archaeological requirement.					

Site Description

19 Well Road forms part of a larger building known as The Logs, which is grade II listed. The Logs is a large detached villa that has been subdivided into maisonettes and includes Nos. 17, 18, 19 and 20 Well Road and Nos. 1, 2 and 3 Cannon Lane. The building dates from c. 1868 and the wings were added c.1876.

The building occupies the south-western corner between Well Road and East Heath Road. No. 19 (the application site) occupies the south-eastern corner of the building and benefits from a pedestrian entrance to the south onto Well Road (via steps and a decorative archway which forms part of the list description along with the attached wall). There is also vehicular access to 2x parking spaces at the northern end of the private garden associated with the property which is located to the front (north) of the building.

The application site is within the Hampstead Neighbourhood Area. It is also within the Hampstead Conservation Area and the Hampstead Archaeological Priority Area. The following underground development constraints apply: Bagshot Beds; Subterranean (groundwater) flow; Slope stability.

Relevant History

19 Well Road

2019/3236/P & 2019/3478/L: Excavation to create spiral wine store below dining room at lower ground floor level. **Granted 19/02/2020.**

8804585: Alterations and additions comprising a new vehicular access and garage the erection of a conservatory and a bin store. **Granted 25/05/1989.**

8870524 & 8870525: (Conservation Area Consent) Internal and external alterations including the installation of new windows in the south and east elevations and velux windows in the roof slope in connection with the refurbishment of the building for continued use as a single dwelling house. **Granted 22/06/1988.**

8803685 & 8803686: External alterations including the installation of new windows in the south and east elevations and velux windows in the roof slope in connection with the refurbishment of the building for continued use as a single dwelling house. **Granted 22/06/1988.**

8870634: (Listed building consent) Alterations and additions comprising a new vehicular access and garage the erection of a conservatory and a bin store. **Granted 25/05/1989**

17/19 Well Road

8770424: (Listed building consent) Alterations to entrance gates and surrounding walls including demolition of existing gate and wooden fence. **Granted 20/04/1988.**

Relevant policies

National Planning Policy Framework (2019)

London Plan 2016

London Plan (Intend to publish) 2019

Camden Local Plan (2017)

A1 Managing the impact of development

A2 Open space

A3 Biodiversity

A4 Noise and vibration
A5 Basements
D1 Design
D2 Heritage
CC1 Climate change mitigation
CC2 Adapting to climate change
CC3 Water and flooding

Camden Planning Guidance

CPG Altering and extending your home (2019)
CPG Design (2019)
CPG Amenity (2018)
CPG Biodiversity (2018)
CPG Basements (2018)
CPG Trees (2019)

Hampstead Neighbourhood Plan (2018)

DH1 Design
DH2 Conservation areas and listed buildings
NE2 Trees
NE3 Biodiversity corridors
NE4 Supporting biodiversity
BA1 Basement Impact Assessments
BA2 Basement Construction Plans
BA3 Construction Management Plans

Hampstead Conservation Area statement (2001)

Assessment

1. The proposal

1.1. Planning permission is sought for the following:

- Extension to existing basement under front garden, including 2x new lightwells

1.2. Listed building consent is sought for the above works, as well as associated internal alterations.

1.3. The proposed basement would extend out from the front of the host building by up to 9.3 metres (including the lightwells). The main part of the basement would measure 5.7 metres wide and 6.6 metres long.

1.4. The proposed basement would be accessed from a new opening formed in a newly created lobby area at lower ground floor level in the host building and it would be separated from the main building by a corridor which measures 2.6 metres long.

1.5. The new basement would provide a bedroom, a utility area and a bathroom. Windows into the new lightwells would serve the bathroom and bedroom.

2. Revisions

2.1. The following revisions have been made during the course of the applications:

- Alterations to 2x lightwell design (reduction in window size; brickwork in front of lightwells raised in height; brise soleil grillage added to each window)

- Alterations to access to basement (creation of lobby area and step down)
- Internal alterations (door openings, partition wall position)
- Omission of excavation in lightwell to create storage
- SUDs fitted on roof of basement and below stone terracing
- Removal of 30sqm of astroturf and replacement with subsoil, new topsoil and laying turf for new lawns
- Contemporary planter walls to be rebuilt with reclaimed brickwork

3. Planning considerations

3.1. The key considerations material to the determination of this application are summarised as follows:

- Heritage and design
- Trees and landscaping
- Basement considerations
- Transport considerations
- Impact on neighbours
- Living standards for future occupiers

4. Heritage and design

4.1. The application site is located within the Hampstead Conservation Area, wherein the Council has a statutory duty, under section 72 of The Planning (Listed Buildings and Conservation Areas) Act 1990, to pay special attention to the desirability of preserving or enhancing the character or appearance of the conservation area. Furthermore, the application building is Grade II listed and the Council has a statutory duty, under Section 66 of The Planning (Listed Buildings and Conservation Areas Act) 1990, to have special regard to the desirability of preserving a listed building or its setting or any features of special architectural or historic interest which it possesses.

4.2. Policy D1 of the Local Plan seeks to secure high quality design in development and Policy D2 notes that the Council will preserve and, where appropriate, enhance Camden's rich and diverse heritage assets and their settings, including conservation areas and listed buildings.

4.3. Policy DH1 of the Hampstead Neighbourhood Plan requires development proposals to demonstrate how they respond and contribute positively to the distinctiveness and history of the character areas through their design and landscaping and it requires that development proposals ensure that design is sympathetic to established building lines and arrangements of front gardens, walls, railings or hedges. Policy DH2 requires that planning applications in conservation areas must have regard to the guidelines in the relevant Conservation Area Appraisal; and new development should take advantage of opportunities to enhance the conservation areas by protecting and, where appropriate, restoring original architectural features, including walls, windows, doors, etc., that would make a positive contribution to the Conservation Areas; and development proposals should seek to protect and/or enhance buildings (or other elements) which make a positive contribution to the conservation area.

4.4. The Hampstead Conservation Area statement notes that the application site is in Sub-area 2: 'Christ Church / Well Walk' and The Logs is described as: "...a bizarre pile of turrets,

chimneys, gables and bay windows in heavily modelled grey brick built in 1868, by JS Nightingale” (page 24).

4.5. Policy A5 of the Local Plan, which relates to basements, discourages proposals that would cause harm to:

- c) the character and amenity of the area;*
- d) the architectural character of the building; and*
- e) the significance of heritage assets*

4.6. The proposed basement would only manifest itself above ground through the two lightwells located at the far end of the basement which serve the bathroom and bedroom. The lightwells would be situated in the same place as existing brick planters in the front garden, either side of some stone steps (see picture below) and it is considered that they would appear as part of the overall landscaping rather than appearing as incongruous features.



4.7. The plans have been revised during the course of the application to mitigate the impact on the character and appearance of the host building, its setting and the wider area. The lightwell window sizes have been reduced, the brickwork around the lightwells would be raised in height (to further limit view of the windows) and brise soleil grillage would be added to each window to limit lightspill. On this basis, it is not considered that the proposal would cause undue harm to the setting of the listed building or the character and amenity of the wider area, including the Hampstead Conservation Area, in compliance with criteria (c) and (d) above.

4.8. With regards to the significance of the listed building [the heritage asset (criterion (e))], the accompanying text to Policy A5 notes the following: *“Basement development below a listed building can harm the fabric, structural integrity, layout, inter-relationships and hierarchy of spaces and architectural features of the building. Furthermore, the addition of a floor level beneath the original lowest floor level of a listed building (basement, cellar, or vault) may affect the hierarchy and historic integrity of the floor levels within the building. The development of a basement beneath a listed building can also necessitate the removal of significant parts of the original structure and fabric of the building”* (para 6.142).

4.9. In this case, the proposed new basement would not be built below the host building; instead it would extend out to the front (below ground) and would connect to the existing lower ground floor of the host building via the corridor link. This means there would be a clear separation between the original building and the new basement, which would reduce the impact on the listed building in terms of the interrelationships and hierarchy of spaces therein. The only loss of historic fabric would be through the creation of the new entrance to the proposed basement, which is not considered to be unduly harmful in conservation terms.

4.10. In considering the impact on the significance of the listed building it is worth remembering that the host building has been significantly altered over its lifetime, particularly through its subdivision into separate maisonettes in the C20th. It is considered that the significance of the building lies in the scale of the overall building (originally built as a single private residence) and its Victorian embellishment and detailing. The building is also significant in terms of the fact it was built for a well-known civil engineer (Edward Gotto) and it has aesthetic significance within the landscape as the application site adjoins Hampstead Heath. It is not considered that the plan form of the building contributes to its significance, as it has been so heavily altered and the overall plan form is now impossible to discern from within any individual dwelling, and therefore the proposal to extend the lower ground floor out to the front is not considered to cause harm to the significance of the listed building.

4.11. Policy A5 goes on to set out specific criteria against which to assess basement development. It notes that basement development should:

f) not comprise of more than one storey;

4.12. Paragraph 6.131 of the Local Plan notes that the Council considers a single storey for a basement to be approximately 3 to 4 metres in height. In this case, the maximum height of the proposed new basement is 3.1 metres, which is acceptable in terms of criterion (f).

g) not be built under an existing basement;

4.13. In this case, the proposed new basement would not be built below the host building; instead it would extend out to the front of the host building and would connect to the host building via the corridor link so as not to cause undue harm to the fabric, structural integrity, layout, inter-relationships and hierarchy of spaces and architectural features of the listed building. The proposal is considered to comply with criterion (g).

h) not exceed 50% of each garden within the property;

4.14. The proposed new basement would be located to the front (north) of the host building. The existing front garden to the property measures approximately 148 square metres (this figure does not include the entrance steps or the parking area) and the proposed basement would measure approximately 46 square metres, which represents approximately 31%. As such, the proposal complies with criterion (h).

i) be less than 1.5 times the footprint of the host building in area;

4.15. The footprint of the host building is approximately 103 square metres and the proposed basement would measure approximately 46 square metres in total, which is less than 1 times the footprint of the host building. The proposal therefore complies with criterion (i). [N.B. the limit would be 154.5 square metres).

j) extend into the garden no further than 50% of the depth of the host building measured from the principal rear elevation;

4.16. The proposed basement would be located to the front of the host building rather than the rear, due to the nature of the plot whereby the main garden to serve the host property is to the front of the host building rather than at the rear. On this basis, this criterion is not relevant to the determination of this application.

k) not extend into or underneath the garden further than 50% of the depth of the garden;

4.17. The front garden measures up to 24 metres long and the proposed new basement would extend out from the host building by less than 10 metres. As such, the proposal complies with this criterion.

l) be set back from neighbouring property boundaries where it extends beyond the footprint of the host building;

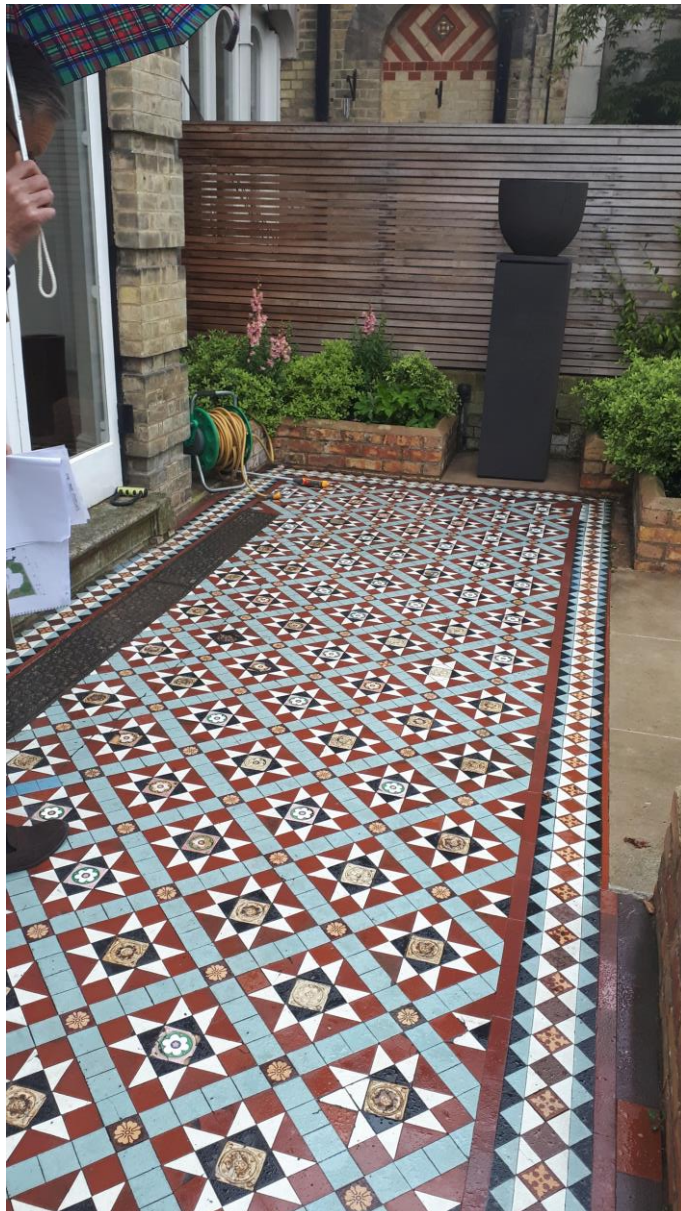
4.18. The proposed basement is set away from neighbouring property boundaries and the proposal therefore complies with criterion (l).

m) avoid the loss of garden space or trees of townscape or amenity value.

4.19. This is discussed in more detail in the Trees and Landscaping section. However, suffice to say, the proposed works would not cause undue harm to trees and vegetation on the site. The proposal therefore complies with criterion (m).

4.20. The proposed basement accords with the requirements of Policy A5 of the Local Plan in terms of its impact on the character and appearance of the host building, the wider area, and the significance of heritage assets. It also complies in terms of the size criteria. The proposal is therefore considered to be acceptable in accordance with Policy A5.

4.21. There are encaustic and geometric floor tiles at the rear of the property on the patio which are considered to be of historic interest and which could be damaged by the proposed works (see picture below). On request, a method statement has been provided to detail the proposed recording, cataloguing, lifting and subsequent relaying of the tiles. A suitable planning condition is suggested to require that the proposed works accord with the methods outlined in the statement, and that all tiles are re-used, unless otherwise agreed in writing with the local planning authority.



- 4.22. On request a method statement has also been provided to detail the proposed recording and protection of historic masonry, including the ceramic features in the retaining walls in the front garden (see picture below). A suitable planning condition is suggested to require that the proposed works accord with the methods outlined in the statement, and that all materials are re-used, unless otherwise agreed in writing with the local planning authority.



- 4.23. There is also concern that the proposed works could cause harm to the decorative archway and attached wall to the south of the host building (see picture below). On request, details have been provided relating to the proposed monitoring of the historic archway and attached wall during construction works. A suitable condition is suggested to require full details of the number, size, position, method of fixing, remediation and time period for the monitoring, prior to the commencement of development, to ensure it is carried out in a satisfactory manner.



4.24. Conditions are also suggested relating to securing details of all new doors, windows, brise soleil and materials prior to the commencement of development, to ensure that the final detailing is appropriate to the listed building and its setting.

4.25. Overall, subject to the suggested conditions, the proposal is considered to preserve and enhance the character and appearance of the Hampstead Conservation Area and to preserve the listed building and its setting and any features of special architectural or historic interest which it possesses. The proposals therefore accord with the aims of Policies D1, D2 and A5 of the Local Plan and Policies DH1, DH2 and BA1 of the Hampstead Neighbourhood Plan.

5. Trees and landscaping

5.1. Policy A3 of the Local Plan seeks to protect and secure additional trees and vegetation. The policy notes that the Council will resist the loss of trees and vegetation of significant amenity, historic, cultural or ecological value including proposals which may threaten the continued wellbeing of such trees and vegetation. The Council will also require trees and vegetation which are to be retained to be satisfactorily protected during the demolition and construction phase of development.

5.2. Policy A5 of the Local Plan also requires applicants to demonstrate that proposals for basements:

(r) provide satisfactory landscaping, including adequate soil depth;

(u) do not prejudice the ability of the garden to support trees where they are part of the character of the area

5.3. Policy BA1 of the Hampstead Neighbourhood Plan requires that basement developments under gardens should leave a minimum distance of 15 metres from any veteran tree or from a boundary that is an historic tree line unless it can be demonstrated that any harm to the trees would not be significant or could be mitigated. Policy NE2 seeks to protect trees that are

important to local character, streetscape, biodiversity and the environment; and Policy NE4 requires proposals to support biodiversity measures.

- 5.4. An Arboricultural Impact Assessment (AIA) has been provided with the application. It notes that there are 6 trees at the application site. Trees T2, T3, T4, T5 and T6 are identified as being Category B trees (i.e. trees of moderate quality with an estimated remaining life expectancy of at least 20 years) and Tree T1 is identified as being a Category C tree (i.e. a tree of low quality with an estimated remaining life expectancy of at least 10 years). Tree T1 (a semi-mature Foxglove) needs to be removed to accommodate the proposed development; however, the report notes that the RPAs of Trees T2-T6 would not be affected by the proposals, subject to adequate tree protection methods being employed during construction. Tree protection methods are referred to in the AIA; however, there is not sufficient detail. The impact on trees at the application site is judged to be acceptable, subject to a suggested condition to require full details of tree protection methods to be submitted to and agreed in writing with the local planning authority prior to the commencement of works.
- 5.5. CPG Basements notes that basement development should provide an appropriate proportion of planted material to allow for rainwater to be absorbed and/or to compensate for the loss of biodiversity caused by the development. This will usually consist of a green roof or detention pond on the top of the underground structure and it will be expected that a minimum of 1 metre of soil be provided above basement development that extends beyond the footprint of the building, to enable garden planting and to mitigate the effect on infiltration capacity. It also notes that the use of sustainable urban drainage systems (SUDS) is sought in all basement developments that extend beyond the footprint of the original building. Policy CC3 of the Local Plan also promotes the use of water efficiency measures.
- 5.6. The front garden of the host property has been re-landscaped in recent years, including the laying of hard surfacing and astroturf. However, these works were carried out without listed building consent and are therefore unauthorised.
- 5.7. The proposed basement would not have 1 metre of soil above it; however, the applicant has provided the following justification for this. They note that digging deeper would have a greater impact on ground movements and there is a greater risk of undermining the foundations of the listed building, which could cause harm to the listed building. Furthermore, digging deeper would require the removal of more earth and would involve the use of more concrete, which is less sustainable.
- 5.8. The plans have, however, been revised during the course of the application to include SUDs on the roof of the basement and below the stone terracing; and the existing astroturf at the site would be removed and replaced with subsoil, new topsoil and new turf for the lawns. The proposal is therefore considered to be acceptable, subject to a suggested condition to require the submission and approval of full details of hard and soft landscaping at the site prior to the commencement of development; and to require the submission and approval of full details of the SUDs system.
- 5.9. Overall, subject to the suggested conditions, the proposals are considered to be acceptable in this regard.

6. Basement considerations

- 6.1. Policy A5 of the Local Plan notes that the Council will only permit basement development where it is demonstrated to its satisfaction that the proposal would not cause harm to:
- a) neighbouring properties;*
 - b) the structural, ground, or water conditions of the area;*
- 6.2. The policy goes on to note that applicants will need to demonstrate that proposals for basements:

- (n) do not harm neighbouring properties, including requiring the provision of a Basement Impact Assessment which shows that the scheme poses a risk of damage to neighbouring properties no higher than Burland Scale 1 'very slight';*
- (o) avoid adversely affecting drainage and run-off or causing other damage to the water environment;*
- (p) avoid cumulative impacts;*

- 6.3. The application is accompanied by a Basement Impact Assessment (BIA), which has been independently audited by Campbell Reith, in line with the requirements of CPG Basements. The BIA screening exercise identified potential issues that were carried forward to scoping. Subsequent to the issue of the initial audit, additional information was provided by the applicant.
- 6.4. Campbell Reith conclude that the BIA adequately identifies the potential impacts from the basement proposals and provides suitable mitigation. They also confirm that the Ground Movement Assessment establishes that ground movement will not exceed Burland Category 1 (Very Slight).
- 6.5. Initially, Campbell Reith suggested that a Basement Construction Plan (BCP) be secured by section 106 legal agreement; however, following the submission of further supporting information, which included confirmation of the temporary works strategy and the monitoring proposal, the BCP is no longer required.
- 6.6. A suitably worded condition is suggested to require that the works are carried out in accordance with the methods outlined in the BIA documents. A further condition is suggested to ensure that a suitably qualified engineer is appointed to oversee the works.
- 6.7. Subject to the suggested conditions, the proposal is considered to be acceptable in this respect

Transport considerations

- 6.8. Policy T4 of the Local Plan promotes the sustainable movement of goods and materials and seeks to minimise the movement of goods and materials by road, and Policy A4 seeks to minimise the impact on local amenity from the demolition and construction phases of development.
- 6.9. The proposal would involve the excavation and removal of material from the site and would therefore involve a lot of vehicle movements to and from the site. A Construction Management Plan (CMP) will be secured by section 106 legal agreement to ensure that the development can be implemented without being detrimental to amenity or the safe and efficient operation of the highway network in the local area.
- 6.10. Subject to securing the CMP by legal agreement, the proposal is considered to be acceptable in this respect.

7. Impact on neighbours

- 7.1. Policy A1 of the Local Plan seeks to protect the quality of life of occupiers and neighbours. The factors to consider include: visual privacy and outlook; sunlight, daylight and overshadowing; artificial light levels; noise and vibration. Policy A4 seeks to ensure that noise and vibration is controlled and managed. Policy A5 (q) requires applicants to demonstrate that proposals for basements do not harm the amenity of neighbours.
- 7.2. The main properties that are likely to be affected by the proposals are the other dwellings within The Logs. All other nearby residential properties are considered to be sufficiently removed from the application site so as not to be unduly affected by the proposed works.
- 7.3. It is not considered that the basement itself would cause undue harm to neighbouring

properties. Although the proposal would increase the amount of floorspace in the host dwelling, there is unlikely to be significant additional comings and goings associated with the single family dwellinghouse as a result of the additional subterranean rooms. Furthermore, although the basement includes 2x lightwells, the proposals have been revised to limit the visual appearance of these and to limit lightspill and the lightwells are not within close proximity of any neighbouring dwellings.

7.4. Policy A4 seeks to minimise the impact on local amenity from the demolition and construction phases of development. As noted above, given the nature of the proposed works, the Council will secure the submission of a CMP by a section 106 legal agreement, which should serve to minimise the impact on neighbouring properties during the construction period.

7.5. Overall, the proposals are considered to be acceptable in this respect.

8. Living standards for future occupiers

8.1. Policy D1 of the Local Plan requires that new development provides a high standard of living accommodation. The new basement would provide a bedroom, a utility area and a bathroom. Only the bedroom and bathroom would have windows and these would face into the lightwells that include brise soleil and brick walls to limit lightspill. On this basis, the levels of natural light within the new basement are likely to be low. However, this is considered to be acceptable, on balance, given that the proposals are not for the creation of a self-contained unit (which would not be considered acceptable); instead the newly created space would still be connected to the main living space which does benefit from natural light.

Recommendation:

- 1) Grant conditional planning permission subject to section 106 legal agreement
- 2) Grant listed building consent

The decision to refer an application to Planning Committee lies with the Director of Regeneration and Planning. Following the Members Briefing panel on Monday 23rd March 2020, nominated members will advise whether they consider this application should be reported to the Planning Committee. For further information, please go to www.camden.gov.uk and search for 'Members Briefing'.

Application ref: 2018/6349/P
Contact:
Tel: 020 7974
Date: 17 March 2020

Development Management
Regeneration and Planning
London Borough of Camden
Town Hall
Judd Street
London
WC1H 9JE

Phone: 020 7974 4444

planning@camden.gov.uk
www.camden.gov.uk/planning

Walters Consultancy Ltd
109 Castlehaven Road
London
NW1 8SJ

Dear Sir/Madam

FOR INFORMATION ONLY - THIS IS NOT A FORMAL DECISION
Town and Country Planning Act 1990 (as amended)

DECISION SUBJECT TO A SECTION 106 LEGAL AGREEMENT

Address:
19 Well Road
London
NW3 1LH

Proposal: Extension to existing basement under front garden, including 2x lightwells

Drawing Nos: WR.000; WR.E001; WR.E001A; WR E002; WR E003; WR E004; WR E004A; WR E005; WR E005A; WR E006; WR E007; WR E008; WR E009; WR E010; WR E010A; WR E011; WR P001; WR P001A; WR P002; WR P002A; WR P003; WR P004; WR P004A; WR P005; WR P005A; WR P006; WR P007; WR P008; WR E009; WR P009A; WR P010; WR P010A; WR P011; WR P011A; WR P012; WR P012A; WR E002 with annotation relating to re-building of ceramic retaining wall; Design & Access Statement (dated December 2018); Heritage Statement (dated December 2018); Arboricultural Survey (BS5837:2012) & Impact Assessment (dated 5th December 2018); Basement Impact Assessment Report (dated 12th September 2019); Ground Investigation Report (dated 30th November 2018); Structural Engineers Report (dated 12/09/2019); Construction Management Plan (dated November 2018); Letter from Chord Environmental Ltd (Hydrogeological report) (dated 16 May 2019); Morph Construction Ltd: New basement structural opening (undated); Movement monitors of retaining walls; Movement monitors on arch; Method Statement: Recording, and Protection of Historic Masonry including Portico and Steps (dated 16 May 2019); Method Statement: Recording, Cataloguing, Lifting and Subsequent Relaying of Encaustic and Geometric Floor Tiles (dated 16 May 2019); Email from Ted Walters (planning agent) (dated 15 February 2020)

The Council has considered your application and decided to grant permission subject to the conditions and informatives (if applicable) listed below **AND** subject to the successful conclusion of a Section 106 Legal Agreement.

The matter has been referred to the Council's Legal Department and you will be contacted shortly. If you wish to discuss the matter please contact **Aidan Brookes** in the Legal Department on **020 7 974 1947**.

Once the Legal Agreement has been concluded, the formal decision letter will be sent to you.

Condition(s) and Reason(s):

- 1 The development hereby permitted must be begun not later than the end of three years from the date of this permission.

Reason: In order to comply with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended).

- 2 The development hereby permitted shall be carried out in accordance with the following approved plans: WR.000; WR.E001; WR.E001A; WR E002; WR E003; WR E004; WR E004A; WR E005; WR E005A; WR E006; WR E007; WR E008; WR E009; WR E010; WR E010A; WR E011; WR P001; WR P001A; WR P002; WR P002A; WR P003; WR P004; WR P004A; WR P005; WR P005A; WR P006; WR P007; WR P008; WR E009; WR P009A; WR P010; WR P010A; WR P011; WR P011A; WR P012; WR P012A; WR E002 with annotation relating to re-building of ceramic retaining wall; Design & Access Statement (dated December 2018); Heritage Statement (dated December 2018); Arboricultural Survey (BS5837:2012) & Impact Assessment (dated 5th December 2018); Basement Impact Assessment Report (dated 12th September 2019); Ground Investigation Report (dated 30th November 2018); Structural Engineers Report (dated 12/09/2019); Construction Management Plan (dated November 2018); Letter from Chord Environmental Ltd (Hydrogeological report) (dated 16 May 2019); Morph Construction Ltd: New basement structural opening (undated); Movement monitors of retaining walls; Movement monitors on arch; Method Statement: Recording, and Protection of Historic Masonry including Portico and Steps (dated 16 May 2019); Method Statement: Recording, Cataloguing, Lifting and Subsequent Relaying of Encaustic and Geometric Floor Tiles (dated 16 May 2019); Email from Ted Walters (planning agent) (dated 15 February 2020).

Reason: For the avoidance of doubt and in the interest of proper planning.

- 3 All new external work shall be carried out in materials that resemble, as closely as possible, in colour and texture those of the existing building, unless otherwise specified in the approved application.

Reason: To safeguard the appearance of the premises and the character of the immediate area in accordance with the requirements of Policies D1 and D2 of the London Borough of Camden Local Plan 2017 and Policies DH1 and DH2 of the Hampstead Neighbourhood Plan 2018.

- 4 No demolition or development shall commence until a Tree Protection Plan has been submitted to and approved in writing by the Local Planning Authority and until the measures of tree protection identified in the approved Tree Protection Plan have been fully implemented. The Tree Protection Plan shall thereafter be retained and maintained for the duration of the demolition and construction period.

Reason: Development must not commence before this condition is discharged to ensure the retention of, and avoid irrevocable damage to, the retained trees on the site that represent an important visual amenity for the locality and the wider surrounding area in accordance with Policy A3 of the Camden Local Plan 2017 and Policy BA1 of the Hampstead Neighbourhood Plan 2018.

- 5 No demolition or development shall commence until full details of hard and soft landscaping and means of enclosure (boundary treatments) of all un-built, open areas have been submitted to and approved by the local planning authority in writing. Such details shall include details of any proposed earthworks including grading, mounding and other changes in ground levels. The relevant part of the works shall not be carried out otherwise than in accordance with the details thus approved.

Reason: In the interests of ecological value and visual amenity in accordance with Policies A3, A5, D1 and D2 of the Camden Local Plan 2017 and Policies NE2 and NE4 of the Hampstead Neighbourhood Plan 2018.

- 6 All hard and soft landscaping works shall be carried out in accordance with the approved details by no later than the end of the planting season following completion of the development. Any trees or areas of planting which, within a period of 5 years from the completion of the development, die, are removed or become seriously damaged or diseased, shall be replaced as soon as is reasonably possible and, in any case, by not later than the end of the following planting season, with others of similar size and species.

Reason: In the interests of ecological value and visual amenity and to ensure that the landscaping is carried out within a reasonable period of time in accordance with Policies A3, A5, D1 and D2 of the Camden Local Plan 2017 and Policies NE2 and NE4 of the Hampstead Neighbourhood Plan 2018.

- 7 No demolition or development shall commence until such time as a suitably qualified chartered engineer with membership of the appropriate professional body has been appointed to inspect, approve and monitor the critical elements of both permanent and temporary basement construction works throughout their duration to ensure compliance with the design which has been checked and approved by a building control body. Details of the appointment and the appointee's responsibilities shall be submitted to and approved in writing by the local planning authority prior to the commencement of development. Any subsequent change or reappointment shall be confirmed forthwith for the duration of the construction works.

Reason: To safeguard the appearance and structural stability of neighbouring buildings and the character of the immediate area in accordance with the requirements of Policy A5 of the Camden Local Plan 2017.

- 8 The works hereby approved shall be carried out in accordance with the methods outlined in the Basement Impact Assessment Report (dated 12th September 2019); Ground Investigation Report (dated 30th November 2018); Structural Engineers Report (dated 12/09/2019).

Reason: To safeguard the appearance and structural stability of neighbouring buildings and the character of the immediate area in accordance with the requirements of Policy A5 of the Camden Local Plan 2017.

- 9 Prior to commencement of development details of the sustainable urban drainage system (SUDS) shall be submitted to and approved in writing by the local planning authority. The system shall be implemented as part of the development and thereafter retained and maintained.

Reason: To reduce the rate of surface water run-off from the buildings and limit the impact on the storm-water drainage system in accordance with Policies A5, CC1, CC2 and CC3 of the London Borough of Camden Local Plan 2017.

Informative(s):

- 1 Your proposals may be subject to control under the Building Regulations and/or the London Buildings Acts that cover aspects including fire and emergency escape, access and facilities for people with disabilities and sound insulation between dwellings. You are advised to consult the Council's Building Control Service, Camden Town Hall, Judd St, Kings Cross, London NW1 2QS (tel: 020-7974 6941).
- 2 You are advised that any works of alterations or upgrading not included on the approved drawings which are required to satisfy Building Regulations or Fire Certification may require a further application for listed building consent.
- 3 This approval does not authorise the use of the public highway. Any requirement to use the public highway, such as for hoardings, temporary road closures and suspension of parking bays, will be subject to approval of relevant licence from the Council's Streetworks Authorisations & Compliance Team London Borough of Camden 5 Pancras Square c/o Town Hall, Judd Street London WC1H 9JE (Tel. No 020 7974 4444) . Licences and authorisations need to be sought in advance of proposed works. Where development is subject to a Construction Management Plan (through a requirement in a S106 agreement), no licence or authorisation will be granted until the Construction Management Plan is approved by the Council.
- 4 All works should be conducted in accordance with the Camden Minimum Requirements - a copy is available on the Council's website at <https://beta.camden.gov.uk/documents/20142/1269042/Camden+Minimum+Requirements+%281%29.pdf/bb2cd0a2-88b1-aa6d-61f9-525ca0f71319> or contact the Council's Noise and Licensing Enforcement Team, 5 Pancras Square c/o Town Hall, Judd Street London WC1H 9JE (Tel. No. 020 7974 4444)

Noise from demolition and construction works is subject to control under the Control of Pollution Act 1974. You must carry out any building works that can be heard at the boundary of the site only between 08.00 and 18.00 hours Monday to Friday and 08.00 to 13.00 on Saturday and not at all on Sundays and Public Holidays. You must secure the approval of the Council's Noise and Licensing Enforcement Team prior to undertaking such activities outside these hours.

- 5 Your attention is drawn to the fact that there is a separate legal agreement with the Council which relates to the development for which this permission is granted. Information/drawings relating to the discharge of matters covered by the Heads of Terms of the legal agreement should be marked for the attention of the Planning Obligations Officer, Sites Team, Camden Town Hall, Argyle Street, WC1H 8EQ.

In dealing with the application, the Council has sought to work with the applicant in a positive and proactive way in accordance with paragraphs 186 and 187 of the National Planning Policy Framework.

Yours faithfully

Supporting Communities Directorate

Walters Consultancy Ltd
109 Castlehaven Road
London
NW1 8SJ

Application Ref: **2019/0421/L**
Please ask for: **Kate Henry**
Telephone: 020 7974 **3794**

17 March 2020

DRAFT

Dear Sir/Madam

DECISION

Planning (Listed Building and Conservation Areas) Act 1990

Listed Building Consent Granted

Address:
19 Well Road
London
NW3 1LH

DECISION

Proposal: Extension to existing basement under front garden, including 2x lightwells; associated internal alterations

Drawing Nos: WR.000; WR.E001; WR.E001A; WR E002; WR E003; WR E004; WR E004A; WR E005; WR E005A; WR E006; WR E007; WR E008; WR E009; WR E010; WR E010A; WR E011; WR P001; WR P001A; WR P002; WR P002A; WR P003; WR P004; WR P004A; WR P005; WR P005A; WR P006; WR P007; WR P008; WR E009; WR P009A; WR P010; WR P010A; WR P011; WR P011A; WR P012; WR P012A; WR E002 with annotation relating to re-building of ceramic retaining wall; Design & Access Statement (dated December 2018); Heritage Statement (dated December 2018); Arboricultural Survey (BS5837:2012) & Impact Assessment (dated 5th December 2018); Basement Impact Assessment Report (dated 12th September 2019); Ground Investigation Report (dated 30th November 2018); Structural Engineers Report (dated 12/09/2019); Construction Management Plan (dated November 2018); Letter from Chord Environmental Ltd (Hydrogeological report) (dated 16 May 2019); Morph Construction Ltd: New basement structural opening (undated); Movement monitors of retaining walls; Movement monitors on arch; Method Statement: Recording, and Protection of Historic Masonry including Portico and Steps (dated 16 May 2019); Method Statement: Recording, Cataloguing, Lifting and

Executive Director Supporting Communities



Subsequent Relaying of Encaustic and Geometric Floor Tiles (dated 16 May 2019); Email from Ted Walters (planning agent) (dated 15 February 2020)
WR.000; WR.E001; WR.E001A; WR E002; WR E003; WR E004; WR E004A; WR E005; WR E005A; WR E006; WR E007; WR E008; WR E009; WR E010; WR E010A; WR E011; WR P001; WR P001A; WR P002; WR P002A; WR P003; WR P004; WR P004A; WR P005; WR P005A; WR P006; WR P007; WR P008; WR E009; WR P009A; WR P010; WR P010A; WR P011; WR P011A; WR P012; WR P012A; WR E002 with annotation relating to re-building of ceramic retaining wall; Design & Access Statement (dated December 2018); Heritage Statement (dated December 2018); Arboricultural Survey (BS5837:2012) & Impact Assessment (dated 5th December 2018); Basement Impact Assessment Report (dated 12th September 2019); Ground Investigation Report (dated 30th November 2018); Structural Engineers Report (dated 12/09/2019); Construction Management Plan (dated November 2018); Letter from Chord Environmental Ltd (Hydrogeological report) (dated 16 May 2019); Morph Construction Ltd: New basement structural opening (undated); Movement monitors of retaining walls; Movement monitors on arch; Method Statement: Recording, and Protection of Historic Masonry including Portico and Steps (dated 16 May 2019); Method Statement: Recording, Cataloguing, Lifting and Subsequent Relaying of Encaustic and Geometric Floor Tiles (dated 16 May 2019); Email from Ted Walters (planning agent) (dated 15 February 2020)

The Council has considered your application and decided to grant subject to the following condition(s):

Conditions And Reasons:

- 1 The works hereby permitted shall be begun not later than the end of three years from the date of this consent.

Reason: In order to comply with the provisions of Section 18 of the Planning (Listed Buildings and Conservation Areas) Act 1990.

- 2 The development hereby permitted shall be carried out in accordance with the following approved plans: WR.000; WR.E001; WR.E001A; WR E002; WR E003; WR E004; WR E004A; WR E005; WR E005A; WR E006; WR E007; WR E008; WR E009; WR E010; WR E010A; WR E011; WR P001; WR P001A; WR P002; WR P002A; WR P003; WR P004; WR P004A; WR P005; WR P005A; WR P006; WR P007; WR P008; WR E009; WR P009A; WR P010; WR P010A; WR P011; WR P011A; WR P012; WR P012A; WR E002 with annotation relating to re-building of ceramic retaining wall; Design & Access Statement (dated December 2018); Heritage Statement (dated December 2018); Arboricultural Survey (BS5837:2012) & Impact Assessment (dated 5th December 2018); Basement Impact Assessment Report (dated 12th September 2019); Ground Investigation Report (dated 30th November 2018); Structural Engineers Report (dated 12/09/2019); Construction Management Plan (dated November 2018); Letter from Chord Environmental Ltd (Hydrogeological report) (dated 16 May 2019); Morph Construction Ltd: New basement structural opening (undated); Movement monitors of retaining walls; Movement monitors on arch; Method Statement: Recording, and Protection of Historic Masonry including Portico and Steps (dated 16 May 2019); Method Statement: Recording, Cataloguing, Lifting and Subsequent Relaying of

Encaustic and Geometric Floor Tiles (dated 16 May 2019); Email from Ted Walters (planning agent) (dated 15 February 2020).

Reason: In order to safeguard the special architectural and historic interest of the building in accordance with the requirements of Policy D2 of the Camden Local Plan 2017 and Policy DH2 of the Hampstead Neighbourhood Plan 2018.

- 3 All new work and work of making good shall be carried out to match the existing adjacent work as closely as possible in materials and detailed execution.

Reason: In order to safeguard the special architectural and historic interest of the building in accordance with the requirements of Policy D2 of the Camden Local Plan 2017 and Policy DH2 of the Hampstead Neighbourhood Plan 2018.

- 4 Before the relevant part of the work is begun, detailed drawings, or samples of materials as appropriate, in respect of the following, shall be submitted to and approved in writing by the local planning authority:

a) Details including sections at 1:10 of all windows (including jambs, head and cill), brise soleil, and external doors;

b) Manufacturer's specification details of all facing materials (to be submitted to the Local Planning Authority) and samples of those materials (to be provided on site).

The relevant part of the works shall be carried out in accordance with the details thus approved and all approved samples shall be retained on site during the course of the works.

Reason: In order to safeguard the special architectural and historic interest of the building in accordance with the requirements of Policy D2 of the Camden Local Plan 2017 and Policy DH2 of the Hampstead Neighbourhood Plan 2018.

- 5 The works hereby approved shall be carried out in accordance with the methods outlined in the submitted 'Method Statement: Recording, Cataloguing, Lifting and Subsequent Relaying of Encaustic and Geometric Floor Tiles (dated 16 May 2019)' and subsequent email from Ted Walters dated 15/02/2020, and all the tiles shall be re-used, unless otherwise agreed in writing with the Local Planning Authority.

Reason: In order to safeguard the special architectural and historic interest of the building and its setting in accordance with the requirements of Policy D2 of the Camden Local Plan 2017 and Policy DH2 of the Hampstead Neighbourhood Plan 2018.

- 6 The works hereby approved shall be carried out in accordance with the methods outlined in the submitted 'Method Statement: Recording, Cataloguing, Lifting and Subsequent Relaying of Encaustic and Geometric Floor Tiles (dated 16 May 2019)' and subsequent email from Ted Walters dated 15/02/2020, and all the tiles shall be re-used, unless otherwise agreed in writing with the Local Planning Authority.

Reason: In order to safeguard the special architectural and historic interest of the

building and its setting in accordance with the requirements of Policy D2 of the Camden Local Plan 2017 and Policy DH2 of the Hampstead Neighbourhood Plan 2018.

- 7 No demolition or development shall commence until full details of the monitoring and recording of the listed building, decorative entrance and attached wall have been submitted to and approved in writing by the local planning authority. Such details shall include the number, size, position, method of fixing and necessary remediation works of the necessary equipment, and proposed timescales. The relevant part of the works shall not be carried out otherwise than in accordance with the details thus approved.

Reason: In order to safeguard the special architectural and historic interest of the listed structures in accordance with the requirements of Policy D2 of the Camden Local Plan 2017 and Policy DH2 of the Hampstead Neighbourhood Plan 2018.

Informative(s):

- 1 You are advised that any works of alterations or upgrading not included on the approved drawings which are required to satisfy Building Regulations or Fire Certification may require a further application for listed building consent.
- 2 This approval does not authorise the use of the public highway. Any requirement to use the public highway, such as for hoardings, temporary road closures and suspension of parking bays, will be subject to approval of relevant licence from the Council's Streetworks Authorisations & Compliance Team London Borough of Camden 5 Pancras Square c/o Town Hall, Judd Street London WC1H 9JE (Tel. No 020 7974 4444) . Licences and authorisations need to be sought in advance of proposed works. Where development is subject to a Construction Management Plan (through a requirement in a S106 agreement), no licence or authorisation will be granted until the Construction Management Plan is approved by the Council.
- 3 All works should be conducted in accordance with the Camden Minimum Requirements - a copy is available on the Council's website at <https://beta.camden.gov.uk/documents/20142/1269042/Camden+Minimum+Requirements+%281%29.pdf/bb2cd0a2-88b1-aa6d-61f9-525ca0f71319> or contact the Council's Noise and Licensing Enforcement Team, 5 Pancras Square c/o Town Hall, Judd Street London WC1H 9JE (Tel. No. 020 7974 4444)

Noise from demolition and construction works is subject to control under the Control of Pollution Act 1974. You must carry out any building works that can be heard at the boundary of the site only between 08.00 and 18.00 hours Monday to Friday and 08.00 to 13.00 on Saturday and not at all on Sundays and Public Holidays. You must secure the approval of the Council's Noise and Licensing Enforcement Team prior to undertaking such activities outside these hours.

In dealing with the application, the Council has sought to work with the applicant in a positive and proactive way in accordance with paragraph 38 of the National Planning Policy Framework 2019.

You can find advice about your rights of appeal at:

<http://www.planningportal.gov.uk/planning/appeals/guidance/guidancecontent>

Yours faithfully

Director of Regeneration and Planning

DRAFT

DECISION