

Application ref: 2020/0657/L  
Contact: Rose Todd  
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Date: 23 March 2020

**Development Management**  
Regeneration and Planning  
London Borough of Camden  
Town Hall  
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Martin Edwards Architects  
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Perseverance Works  
38 Kingsland Road  
London  
E2 8DD

Dear Sir/Madam

## **DECISION**

Planning (Listed Building and Conservation Areas) Act 1990

### **Listed Building Consent Granted**

Address:  
**27 Downshire Hill**  
**London**  
**NW3 1NT**

**Proposal:**

The application proposes to clad the fabric of the existing stair enclosure with timber weatherboarding, traditionally nailed to timber battens, with insulation behind the new boarding.

Drawing Nos: Heritage, Design and Access Statement  
A0078 PA01 - Site location plan  
A0078 PA02 - Existing and Proposed Plans  
A0078 PA03 - Existing rear elevations  
A0078 PA04 - Proposed rear elevations  
A0078 PA05 - Proposed new casement window to rear elevation

The Council has considered your application and decided to grant Listed Building Consent subject to the following condition(s):

**Conditions And Reasons:**

- 1 The works hereby permitted shall be begun not later than the end of three years from the date of this consent.

Reason: In order to comply with the provisions of Section 18 of the Planning (Listed Buildings and Conservation Areas) Act 1990.

- 2 The development hereby permitted shall be carried out in accordance with the following approved plans:

Heritage, Design and Access Statement

A0078 PA01 - Site location plan

A0078 PA02 - Existing and Proposed Plans

A0078 PA03 - Existing rear elevations

A0078 PA04 - Proposed rear elevations

A0078 PA05 - Proposed new casement window to rear elevation

Reason: In order to safeguard the special architectural and historic interest of the building in accordance with the requirements of policy D2 of the Camden Local Plan 2017.

- 3 All new work and work of making good shall be carried out to match the existing adjacent work as closely as possible in materials and detailed execution.

Reason: In order to safeguard the special architectural and historic interest of the building in accordance with the requirements of policy D2 of the Camden Local Plan 2017.

Informative(s):

- 1 Reasons for granting listed building consent (delegated):

27 Downshire Hill is one of a pair of houses designed to appear as one house. The building dates from the early 19th century. Three storeys plus a basement, the property is built of yellow stock bricks under a hipped slate roof. Map regression shows that some stage in the latter part of the 19th century No 27 was extended to the rear. It is probable that at this time the original staircase was relocated from the main house into the rear extension. At some time subsequent to this the rear extension was rebuilt with new brickwork and in situ cast concrete beams with a Crittall metal-frame window to the top landing.

The rear extension lacks the architectural refinement of the original house and since the structure was rebuilt with a single brick skin external insulation is considered expedient.

The proposal is to clad the existing rear wing with dark-stained timber weatherboarding, to replace the Crittall window with a painted timber casement and to insulate and re-slate the roof to match that of the main house.

The application has been advertised in the press and by means of a site notice. No objections have been received.

The site's planning history has been taken into account when making this decision.

Special regard has been attached to the desirability of preserving the listed building and its features of special architectural or historic interest, under s.16 of the Planning (Listed Buildings and Conservation Areas) Act 1990 as amended by the Enterprise and Regulatory Reform Act (ERR) 2013.

As such, the proposal is in general accordance with policies D1 and D2 of the Camden Local Plan 2017. The proposed development also accords with the London Plan 2016 and the National Planning Policy Framework.

- 2 Your proposals may be subject to control under the Building Regulations and/or the London Buildings Acts that cover aspects including fire and emergency escape, access and facilities for people with disabilities and sound insulation between dwellings. You are advised to consult the Council's Building Control Service, Camden Town Hall, Judd St, Kings Cross, London NW1 2QS (tel: 020-7974 6941).
- 3 You are advised that any works of alterations or upgrading not included on the approved drawings which are required to satisfy Building Regulations or Fire Certification may require a further application for listed building consent.
- 4 Noise from demolition and construction works is subject to control under the Control of Pollution Act 1974. You must carry out any building works that can be heard at the boundary of the site only between 08.00 and 18.00 hours Monday to Friday and 08.00 to 13.00 on Saturday and not at all on Sundays and Public Holidays. You are advised to consult the Council's Noise and Licensing Enforcement Team, Camden Town Hall, Judd St, Kings Cross, London NW1 2QS (Tel. No. 020 7974 4444 or search for 'environmental health' on the Camden website or seek prior approval under Section 61 of the Act if you anticipate any difficulty in carrying out construction other than within the hours stated above.
- 5 This approval does not authorise the use of the public highway. Any requirement to use the public highway, such as for hoardings, temporary road closures and suspension of parking bays, will be subject to approval of relevant licence from the Council's Streetworks Authorisations & Compliance Team London Borough of Camden 5 Pancras Square c/o Town Hall, Judd Street London WC1H 9JE (Tel. No 020 7974 4444) . Licences and authorisations need to be sought in advance of proposed works. Where development is subject to a Construction Management Plan (through a requirement in a S106 agreement), no licence or authorisation will be granted until the Construction Management Plan is approved by the Council.
- 6 All works should be conducted in accordance with the Camden Minimum Requirements - a copy is available on the Council's website at <https://beta.camden.gov.uk/documents/20142/1269042/Camden+Minimum+Requirements+%281%29.pdf/bb2cd0a2-88b1-aa6d-61f9-525ca0f71319> or contact the Council's Noise and Licensing Enforcement Team, 5 Pancras Square c/o Town Hall, Judd Street London WC1H 9JE (Tel. No. 020 7974 4444)

Noise from demolition and construction works is subject to control under the

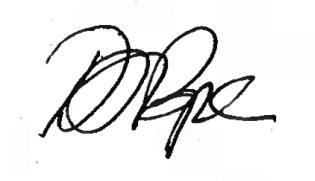
Control of Pollution Act 1974. You must carry out any building works that can be heard at the boundary of the site only between 08.00 and 18.00 hours Monday to Friday and 08.00 to 13.00 on Saturday and not at all on Sundays and Public Holidays. You must secure the approval of the Council's Noise and Licensing Enforcement Team prior to undertaking such activities outside these hours.

In dealing with the application, the Council has sought to work with the applicant in a positive and proactive way in accordance with paragraph 38 of the National Planning Policy Framework 2019.

You can find advice about your rights of appeal at:

<http://www.planningportal.gov.uk/planning/appeals/guidance/guidancecontent>

Yours faithfully

A handwritten signature in black ink, appearing to read 'DPope', is positioned above the printed name and title of the signatory.

Daniel Pope  
Chief Planning Officer