

PLANNING STATEMENT

228 BELSIZE ROAD, LONDON NW6 4BT



Figure 1. Existing Photo of the Property

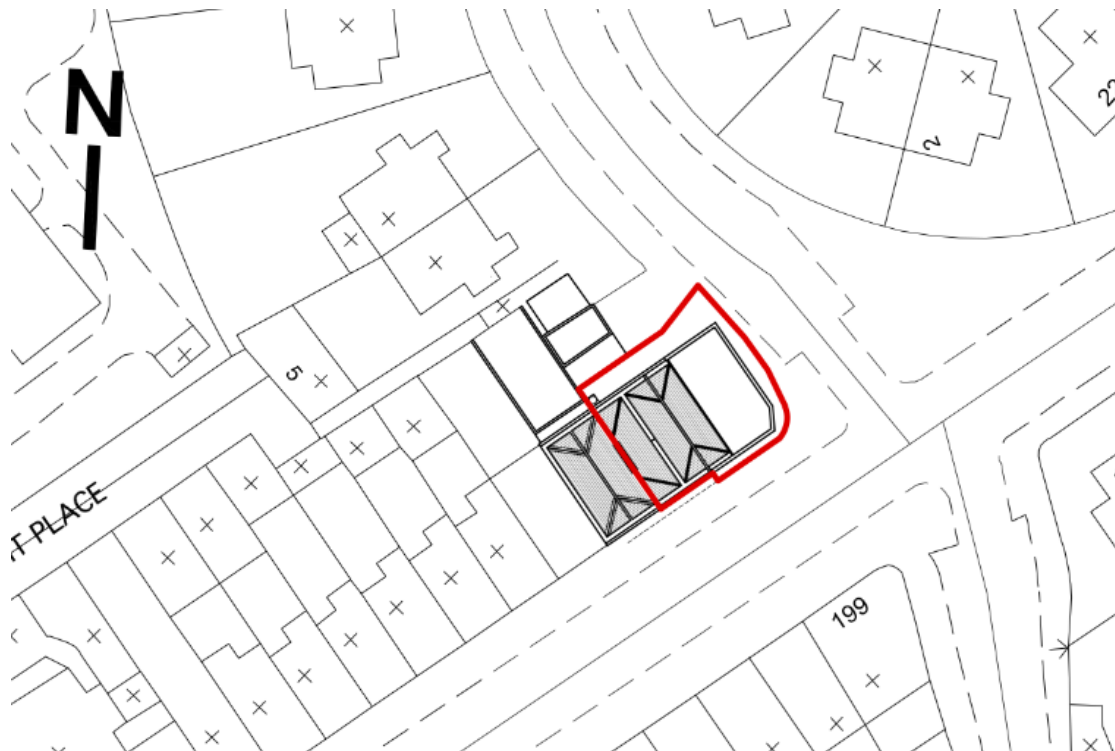


Figure 2. Location Plan of the Property¹

¹ Please note the above drawings are not in scale

This is a Minor Material Amendment Application following Granting (Subject to a Section 106 Legal Agreement) of Planning Permission No. 2015/5832/P on the 17th of May 2017. The approved application proposed the demolition of the existing single storey extension and the erection of a 3-storey plus basement building to provide enlargement of the existing Class A3 restaurant at ground and basement level and the provision of 2no. 1-bed and 2no. 2-bed units on the first and second floors to replace the existing 3no. studios and 1no. 1-bed units. It also proposed alteration to the shopfront.

This application seeks approval for some minor material amendments to the approved plans. The changes are summarized below.

- Repositioning of approved windows and addition of new ones, as per the elevations (No P11-13) to serve the new flat's arrangements.
- Redesigning of the approved front and side shopfront of the ground floor restaurant.
- Re opening of the existing entrance door of the restaurant at the front elevation, which is blocked at the approved plans. This door will be repositioned but will keep being used as the main entrance, strengthening the character of the front elevation, without weakening the corner entrance.



Figure 3. Existing Front Elevation Door



Figure 4. Proposed Front Elevation Door

- Re opening of two blocked, aligned first and second floor rear windows, as per the rear elevation and photo below. These windows provide valuable sun light and contribute to the cross ventilation of these dual aspect flats.



Figure 5. Existing and Approved 2nd Floor Blocked Rear Window

Please note that all new windows are proposed to be timber sash with double glazing. The design of all new openings matches the building's and area's existing character and complies with all sustainable policies.

- Blocking of the side entrance that leads only to the basement of the approved restaurant, since the access is now achieved only internally.
- Modifying a small part of the side elevation by lining up the layout of the ground floor with the layout of the upper floors.

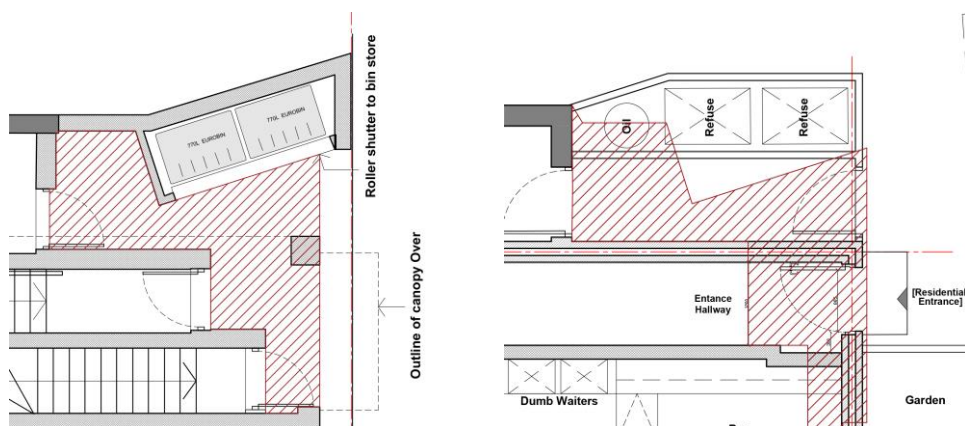


Figure 6. Approved (left) external space to be incorporated at the Proposed design (right)

The aim of this infill is to avoid the awkward external area that results by the layout of the approved ground floor plan. This space has basically no functional reason, especially with the new blocking of the side entrance that leads to the basement as previously stated. On the contrary this area weakens the character of the elevation -therefore the conservation area- and creates unsupervised spots with apparent safety impacts. This space is now designed as an internal, functional and supervised area, mostly used for several accesses (to the residence and the auxiliary space). Part of the area is incorporated into the bar.

- Part of the construction require a movement joint at the front elevation, which is proposed to be surrounded by Haddonstone Q350 or similar string course to match the building's and conservation area's existing character.
- Changes to roof form by introducing a new pitched element and reduction in green roof.

Submitted along with this application are proposed floor plans, sections and elevations that reflect some minor internal amendments, including minor changes of the flats' sizes, relocation of the main staircase and rationalization of the layout in order to make better use of space. These changes are deemed as not requiring planning consent, since only those works which affect the external appearance of the building would require planning permission. As such, the proposed minor modifications of the approved flat's layout would not require permission and are included in the application only for clarity.

The amended scheme does not include the construction of a basement, as this was considered non-viable in terms of building cost in relation to rent return from the new owner of the site. The existing basement remains as existing and appended to the ground floor

commercial unit. The new extension will be built with piled foundations – effectively piling through the ground with 7no 300mm diameter piles, which will cause minimal disruption to any archaeology that remains in the ground below. Therefore, the Planning Condition No11 relating to Archaeology is proposed to be removed with this application, as it is no longer relevant.

All changes are in line with policy DP24 for high quality design and aim to deliver better space that provides healthy and safe living. The external changes are sympathetic towards the building and respectful to the conservation area and constitute minor changes to an already approved scheme which aim to enhance the character of the building and the borough overall.