# PROJECT 18 Chester Terrace, NW1 4ND CONTENTS PREPARED BY Paulina Kosciak

# · LUCINDA SANFORD ·

### INTERIOR, ARCHITECTURAL DESIGN & MANAGEMENT

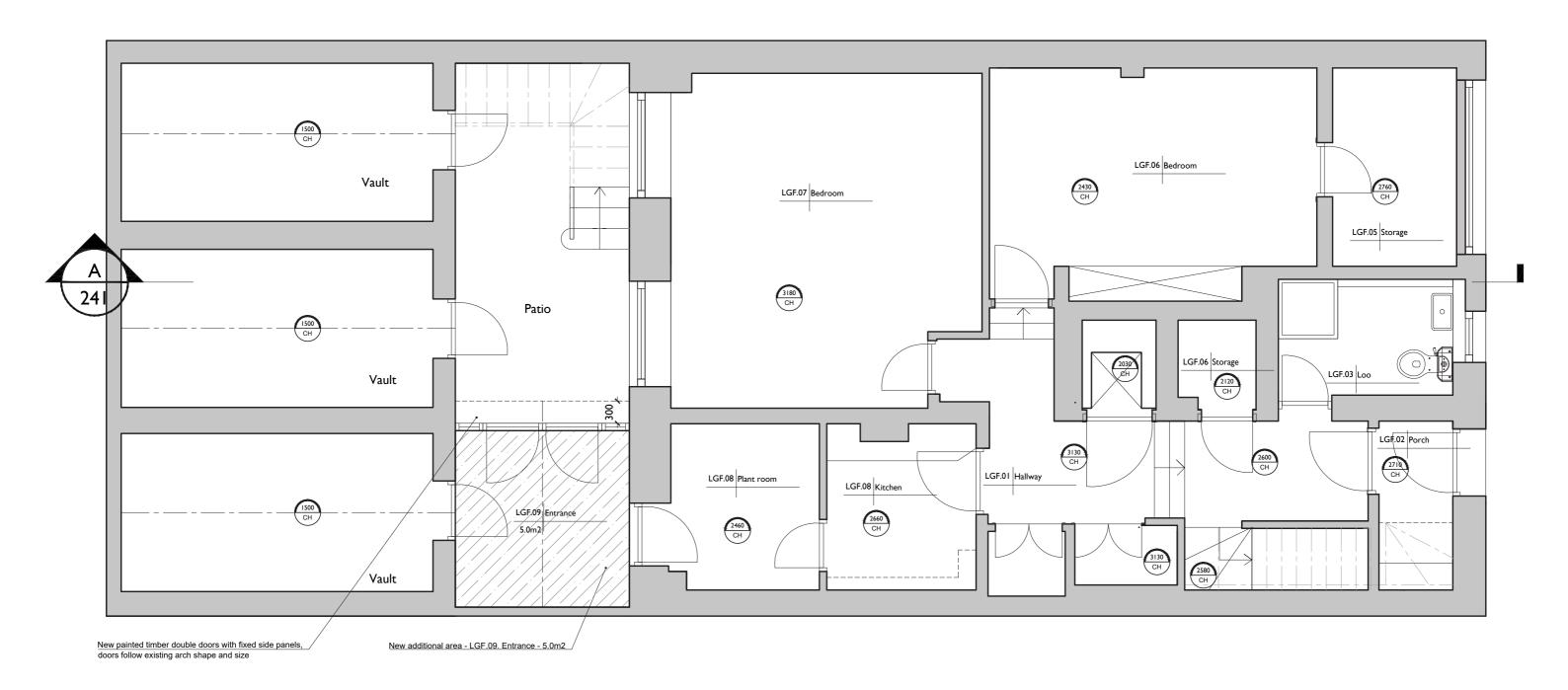
Proposed Architectural Design, dated 12.03.2020, Rev. E



0044 20 37708284 paulina@lucindasanford.com www.lucindasanford.com

Unit 11 Rotherhithe Business Estate 214 Rotherhithe New Road London SE16 3EH







·LUCINDA	SANFORD.		
INTERIOR, ARCHITECTURAL DESIGN & MANAGEMENT			

Proposed LOWER GROUND FLOOR

PROJECT / CLIENT Chester Terrace 18, NWI 4ND

DATE CREATED DRAWING No. 31.01.2019 DRAWN BY SCALE 1:50@A3

120

SS

REVISION HISTORY 13.02.2020

Drawing amended

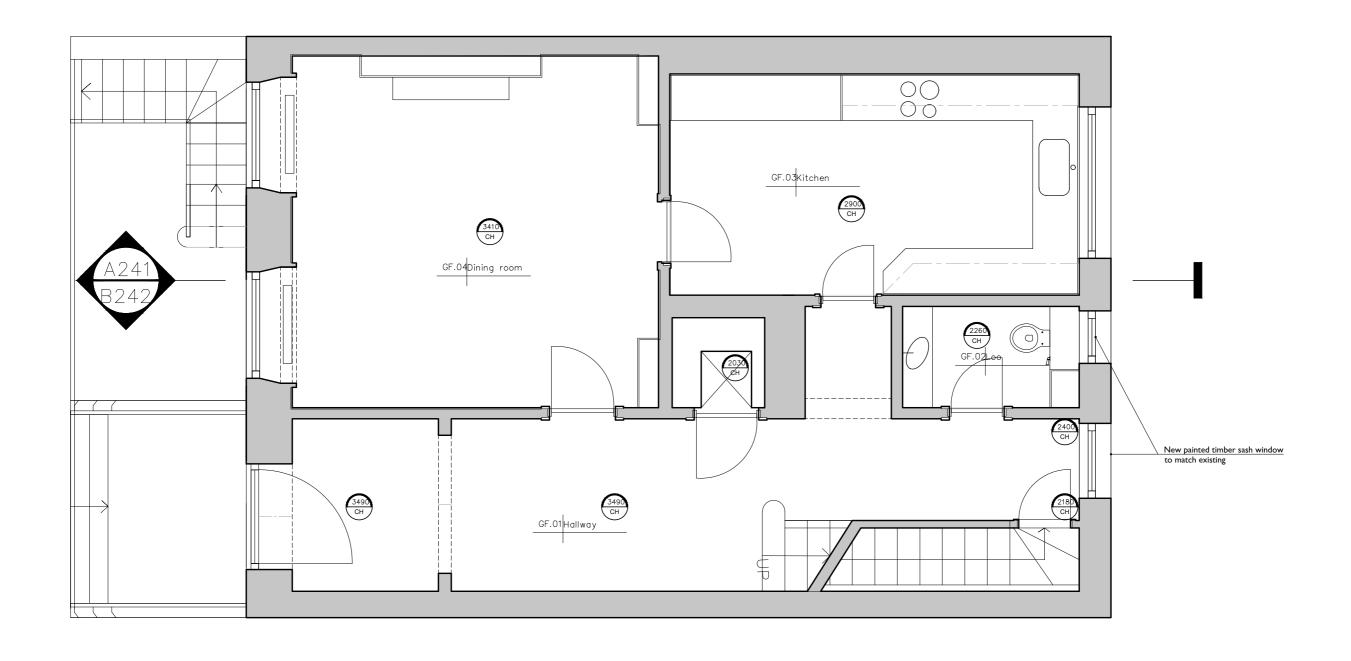
- A. Check all dimensions and conditions on site.
- B. Precise positions & dimensions of all fixtures and fittings is subject to confirma
- C. Allow for the protection of all finishes and fittings that are to be retained.
- D. All drawings are to be read in conjunction with the relevant specification.

UNIT 11 ROTHERHITHE BUSINESS ESTATE ROTHERHITHE NEW ROAD

LONDON SEI 6 3RH 020 7237 9098

BOYANA@LUCINDASANFORD.COM WWW.LUCINDASANFORD.COM







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Proposed GROUND FLOOR

PROJECT / CLIENT Chester Terrace 18, NW1 4ND DRAWING No. 121

DRAWN BY

SS

DATE CREATED | REVISION HISTORY 31.01.2019

SCALE

1:50@A3

03.01.2020 |Drawing amended

A. Check all dimensions and conditions on site.

- B. Precise positions & dimensions of all fixtures and fittings is subject to confirmation on site.
- C. Allow for the protection of all finishes and fittings that are to be retained.
- D. All drawings are to be read in conjunction with the relevant specification.

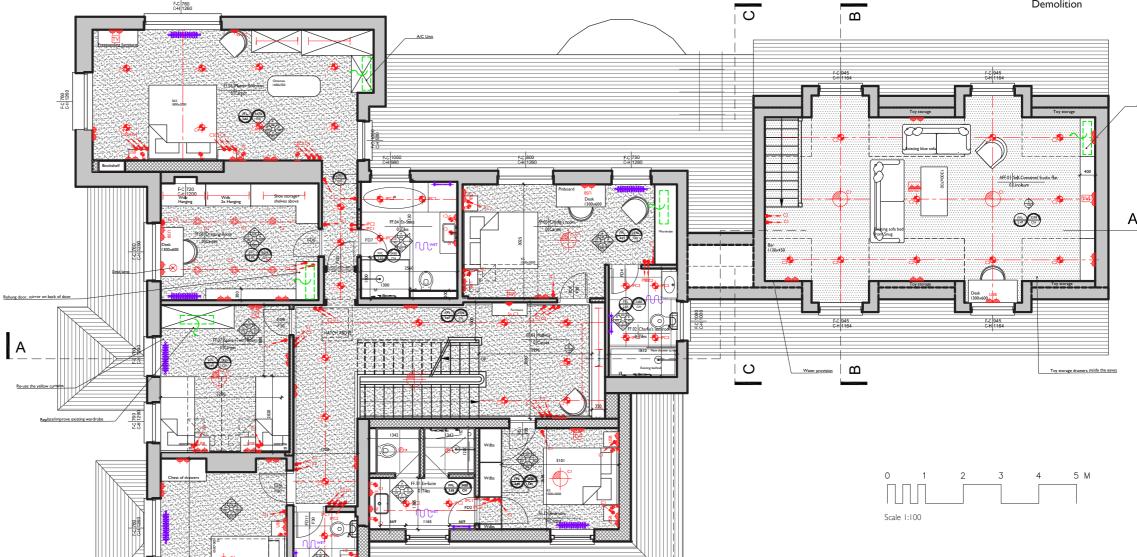
| UNIT 11 ROTHERHITHE BUSINESS ESTATE ROTHERHITHE NEW ROAD LONDON SE16 3RH 020 7237 9098

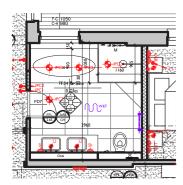
BOYANA@LUCINDASANFORD.COM



Proposed wall







OP.2

ΓLE
ROPOSED
RST FLOOR PLAN

PROJECT / CLIENT Greenaway House, Rose Lane AL4 8RA

DRAWING No. DATE CREATED 122 10.05.2019 DRAWN BY SCALE KK 1:100@A3

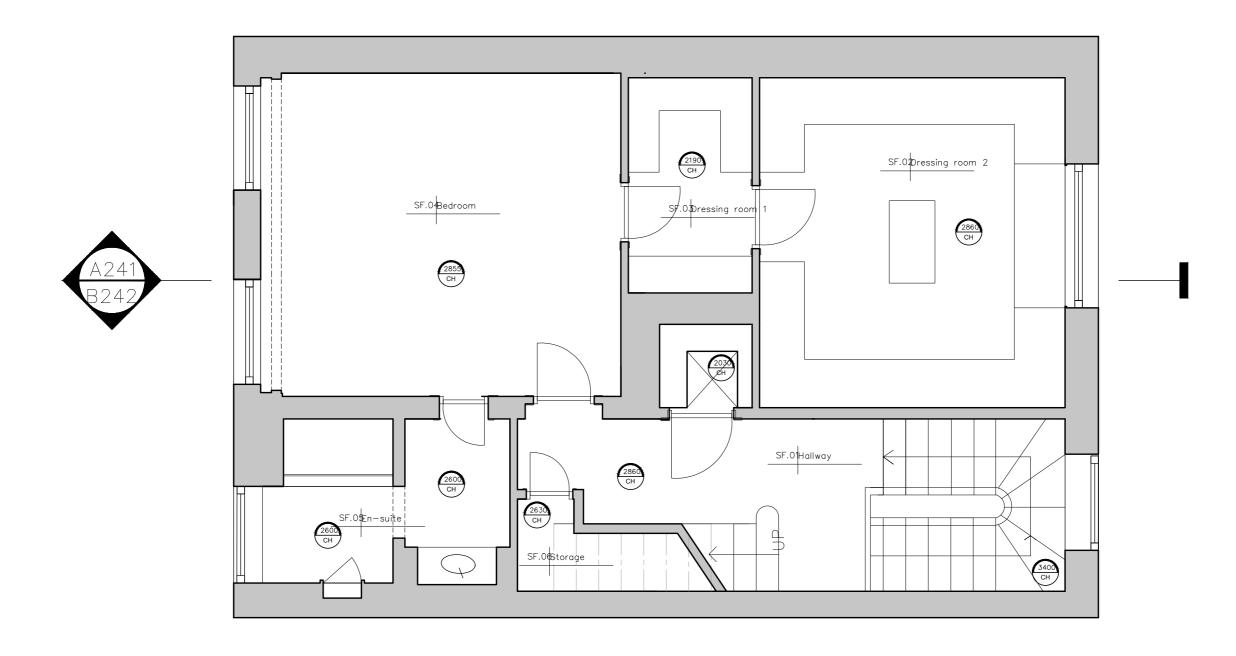
### REVISION HISTORY

- A. Check all dimensions and conditions on site. B. Precise positions & dimensions of all fixtures and fittings is subject to confirmation
- C. Allow for the protection of all finishes and fittings that are to be retained.
- D. All drawings are to be read in conjunction with the relevant specification.
- E. For design purposes only.

UNIT II ROTHERHITHE BUSINESS ESTATE ROTHERHITHE NEW ROAD LONDON SEI6 3RH

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Second Floor Plan remains without changes



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Proposed SECOND FLOOR

PROJECT / CLIENT Chester Terrace 18, NW1 4ND

DRAWING No. 123

DRAWN BY

SS

DATE CREATED | REVISION HISTORY 31.01.2019

SCALE

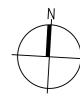
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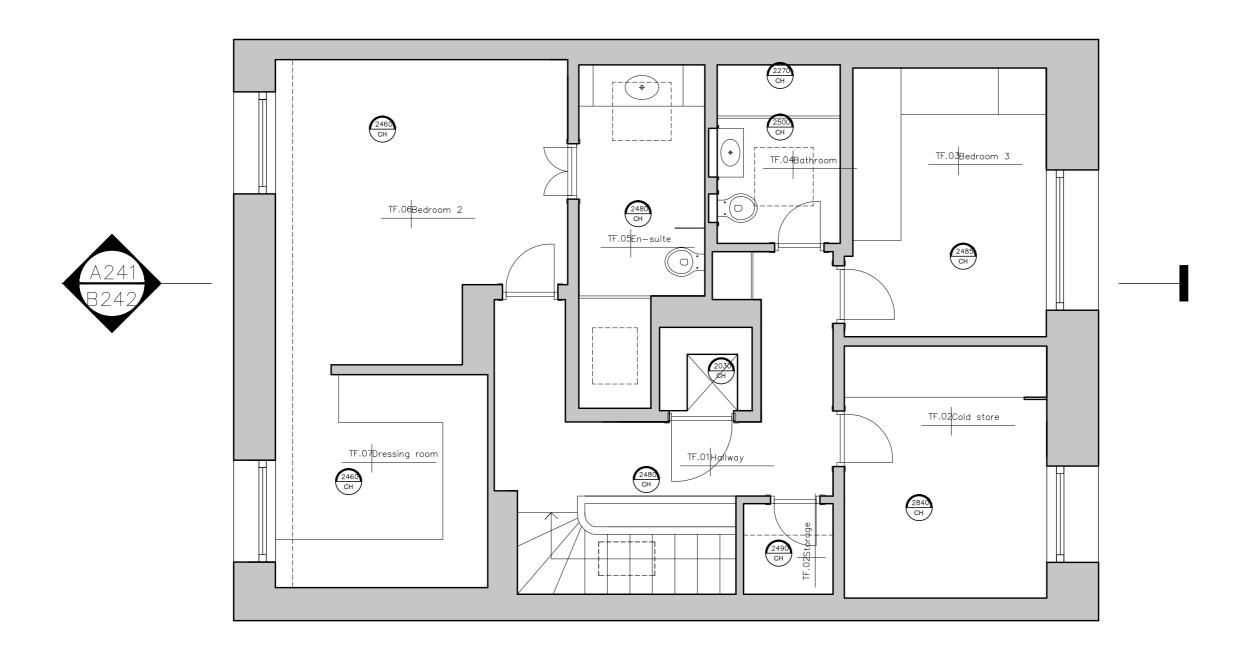
24.12.2019 Drawing amended

A. Check all dimensions and conditions on site.

- B. Precise positions & dimensions of all fixtures and fittings is subject to confirmation on site.
- C. Allow for the protection of all finishes and fittings that are to be retained.
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Third Floor Plan remains without changes



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Proposed THIRD FLOOR

PROJECT / CLIENT Chester Terrace 18, NW1 4ND

DRAWING No. 124

DRAWN BY

SS

DATE CREATED | REVISION HISTORY 31.01.2019

1:50@A3

SCALE

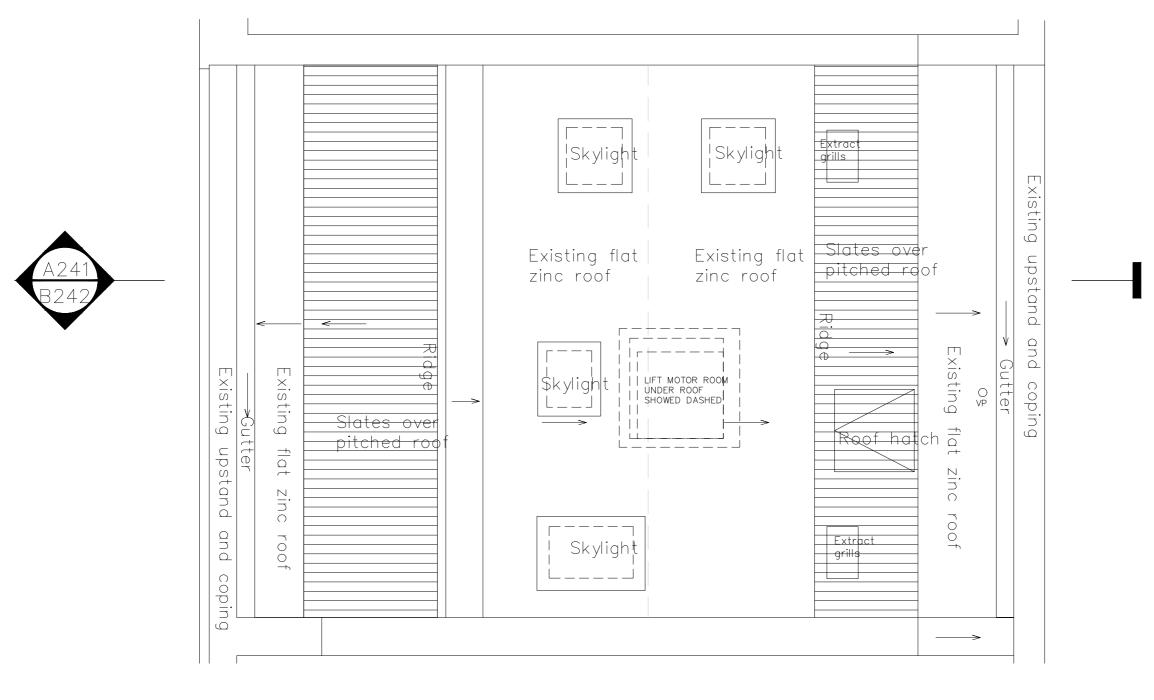
24.12.2019 Drawing amended

A. Check all dimensions and conditions on site.

- B. Precise positions & dimensions of all fixtures and fittings is subject to confirmation on site.
- C. Allow for the protection of all finishes and fittings that are to be retained.
- D. All drawings are to be read in conjunction with the relevant specification.

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Roof Plan remains without changes



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Proposed ROOF PLAN

PROJECT / CLIENT Chester Terrace 18, NW1 4ND

DRAWING No. 125

DRAWN BY

SS

DATE CREATED | REVISION HISTORY 06.11.2019

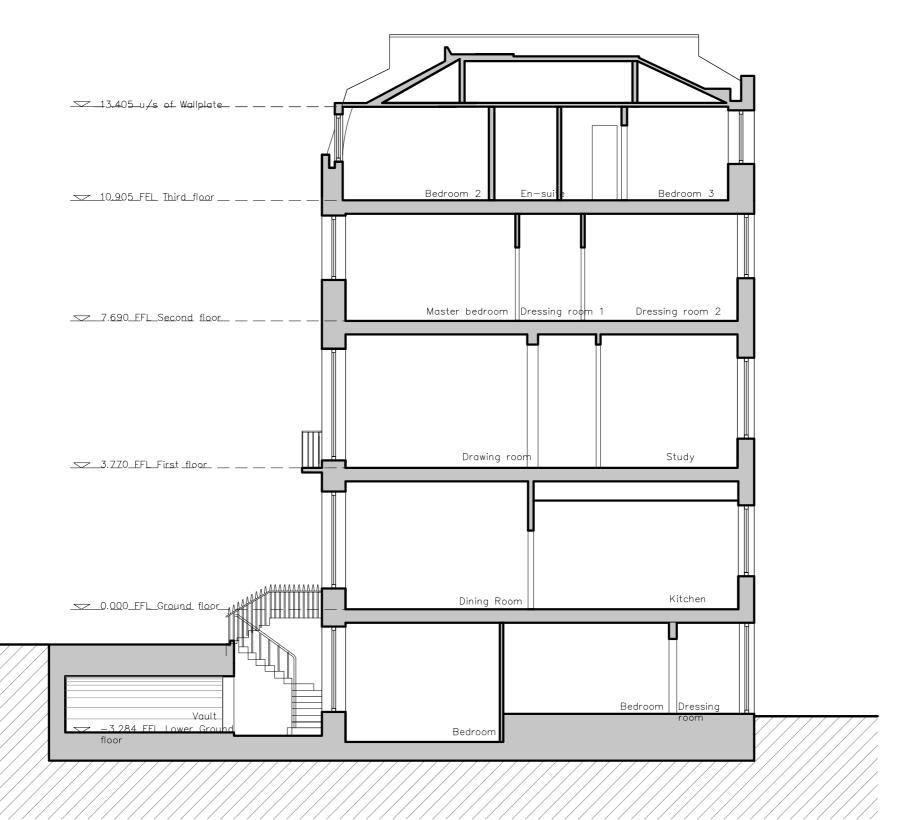
1:50@A3

SCALE

Drawing amended

- A. Check all dimensions and conditions on site.
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Scale 1:100

Section A-A remains without changes

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Proposed
SECTION A-A

PROJECT / CLIENT Chester Terrace 18, NW1 4ND DRAWING No. 241

DRAWN BY

SS

DATE CREATED 06.11.2019

1:100@A3

SCALE

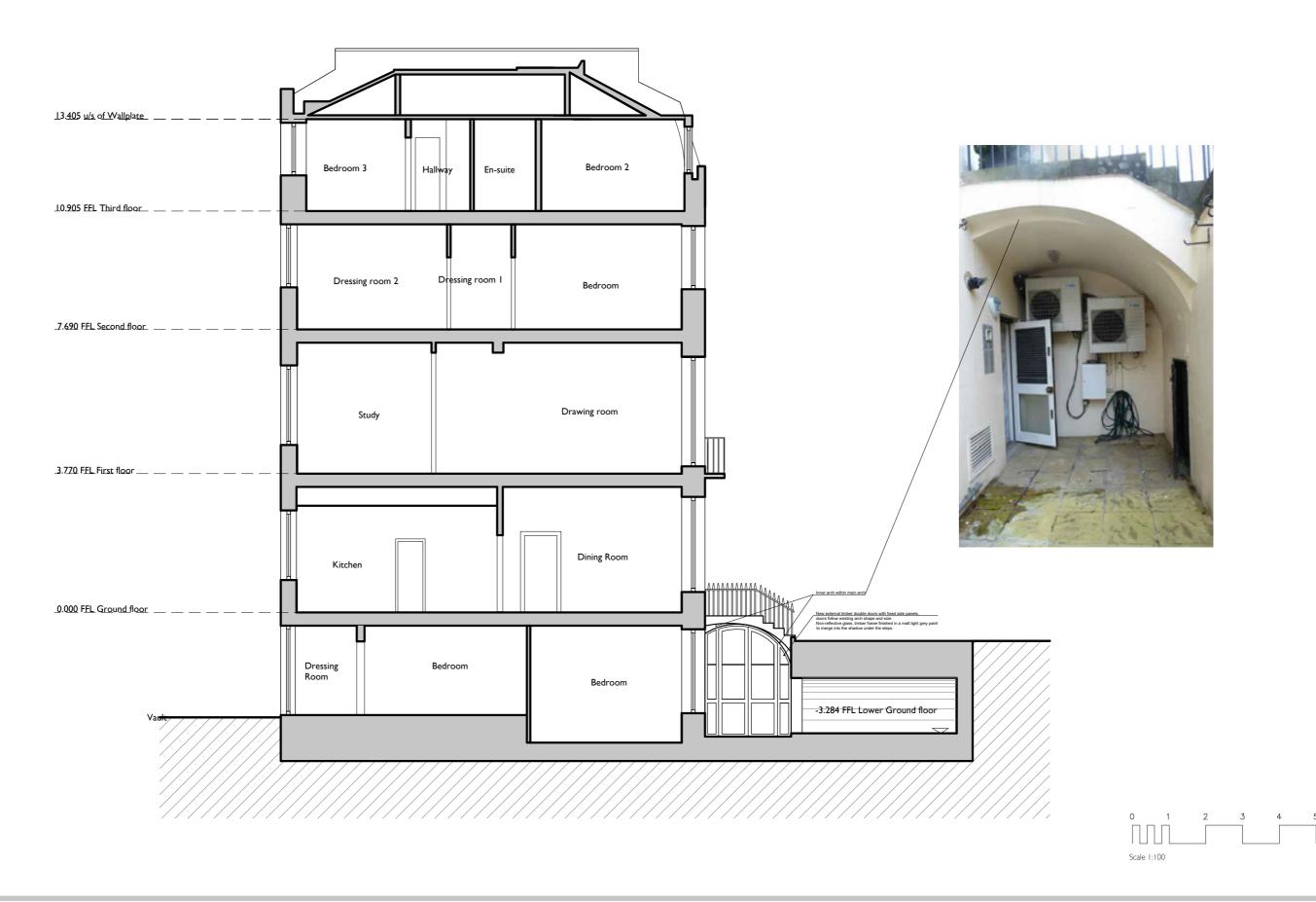
ED | REVISION HISTORY 19 | \* | 24.12.2

24.12.2019 Drawing amended

### NOTES

- A. Check all dimensions and conditions on site.
- B. Precise positions & dimensions of all fixtures and fittings is subject to confirmation on site.
- Allow for the protection of all finishes and fittings that are to be retained.
- D. All drawings are to be read in conjunction with the relevant specification.

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Proposed	
SECTION B-B	

TITLE

PROJECT / CLIENT
Chester Terrace 18,
NW1 4ND

DRAWING No. DATE CREATED
242 06.11.2019

DRAWN BY SCALE
SS 1:100@A3

A I 12.03.2020

Drawing amended

### NOTES

- A. Check all dimensions and conditions on site.
- B. Precise positions & dimensions of all fixtures and fittings is subject to confirmation on size
- C. Allow for the protection of all finishes and fittings that are to be retained.
- D. All drawings are to be read in conjunction with the relevant specification.

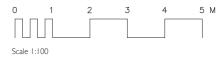
UNIT 11 ROTHERHITHE BUSINESS ESTATE ROTHERHITHE NEW ROAD LONDON SE16 3RH

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Front Elevation remains without changes



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ropos	ed
RONT	ELEVATION

PROJECT / CLIENT Chester Terrace 18, NW1 4ND

DRAWING No. 260

DRAWN BY

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DATE CREATED | REVISION HISTORY 06.11.2019

1:100@A3

SCALE

24.12.2019 Drawing amended

### NOTES

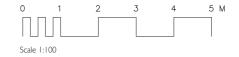
Α.	Check	all	dimensions	and	conditions	on	site

- B. Precise positions & dimensions of all fixtures and fittings is subject to confirmation on site.
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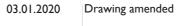
Propo	sed
REAR	<b>ELEVATION</b>

TITLE

PROJECT / CLIENT
Chester Terrace 18,
NWI 4ND

DRAWING No.	DATE CREATED
261	06.11.2019
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NOTES	

A.	Check all dimensions and conditions on site.

B.	Precise positions & dimensions of all fixtures and fittings is subject to confirmation
	on site.

C.	Allow for the protection of all finishes and fittings that are to be retained.

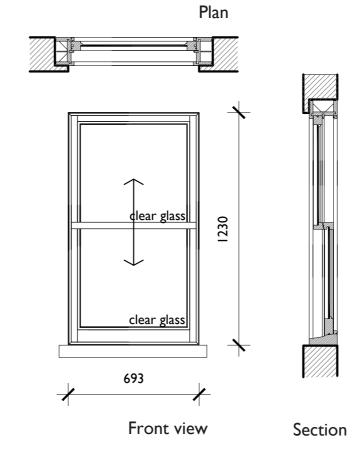
C.	Allow for the protection of all finishes and fittings that are to be retained.	
_ n	All describes are so be used in socionation with the relevant or difference	

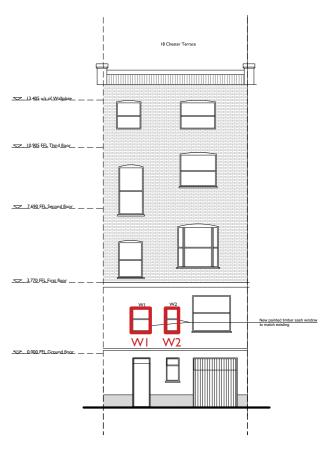
UNIT I I ROTHERHITHE BUSINESS ESTATE ROTHERHITHE NEW ROAD LONDON SEI6 3RH 020 7237 9098 BOYANA@LUCINDASANFORD.COM

# Window I

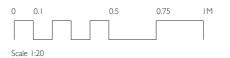
# Plan clear glass clear glass 1000 Front view Section

# Window 2





Rear elevation M 1:200



Proposed WINDOW 2 WINDOW 3

PROJECT / CLIENT Chester Terrace 18, NWI 4ND

DATE CREATED DRAWING No. 263 06.11.2019

SCALE

1:20@A3

DRAWN BY

SS

17.02.2020 Drawing amended

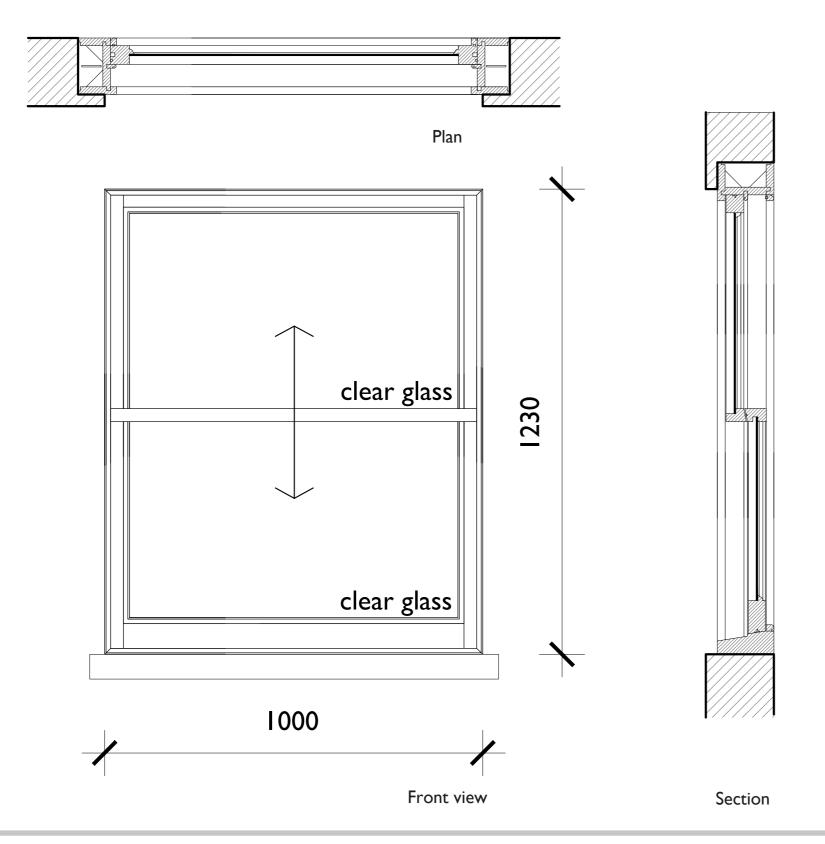
- A. Check all dimensions and conditions on site.
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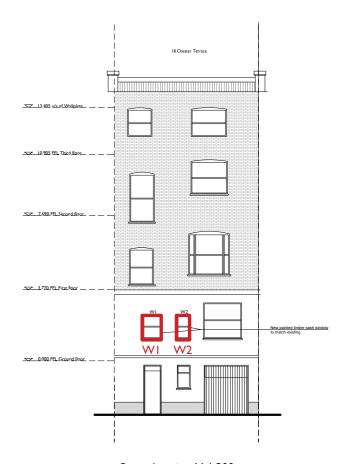
UNIT II ROTHERHITHE BUSINESS ESTATE ROTHERHITHE NEW ROAD

LONDON SEI6 3RH 020 7237 9098

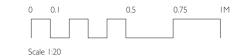
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# Window I - Single glazed window





Rear elevation M 1:200





Proposed WINDOW I

PROJECT / CLIENT Chester Terrace 18, NWI 4ND

DRAWING No. 263 DRAWN BY

SS

DATE CREATED 06.11.2019

SCALE

1:10@A3

17.02.2020

Drawing amended

A. Check all dimensions and conditions on site.

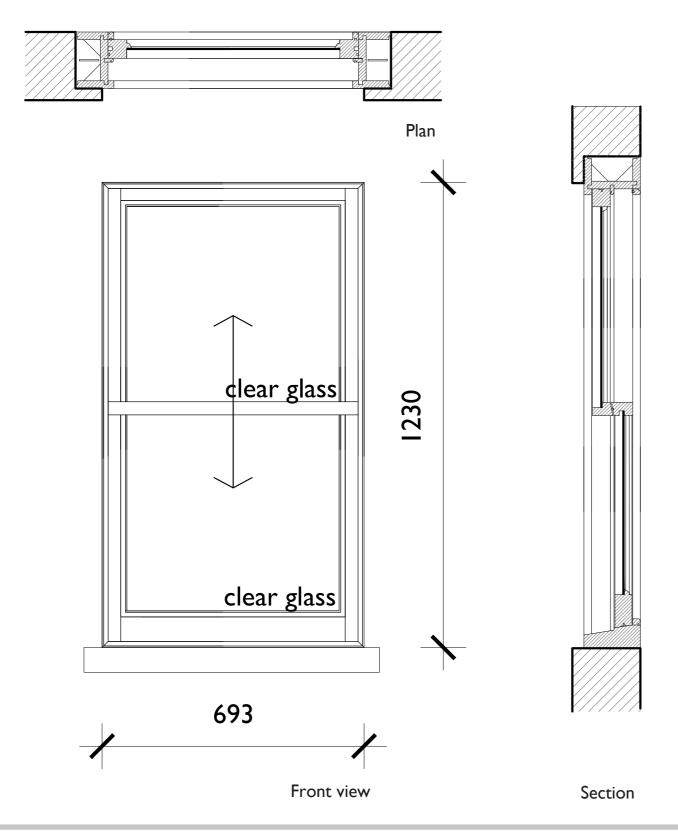
C. Allow for the protection of all finishes and fittings that are to be retained.

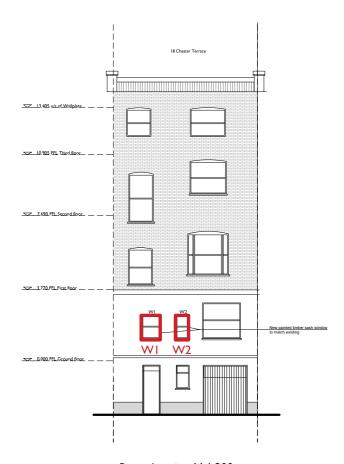
D. All drawings are to be read in conjunction with the relevant specification.

UNIT 11 ROTHERHITHE BUSINESS ESTATE ROTHERHITHE NEW ROAD LONDON SEI6 3RH

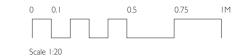
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# Window 2 - Single glazed window





Rear elevation M 1:200



Proposed WINDOW 2

PROJECT / CLIENT Chester Terrace 18, NWI 4ND

DRAWING No. 264 DRAWN BY SCALE

SS

DATE CREATED 06.11.2019

1:10@A3

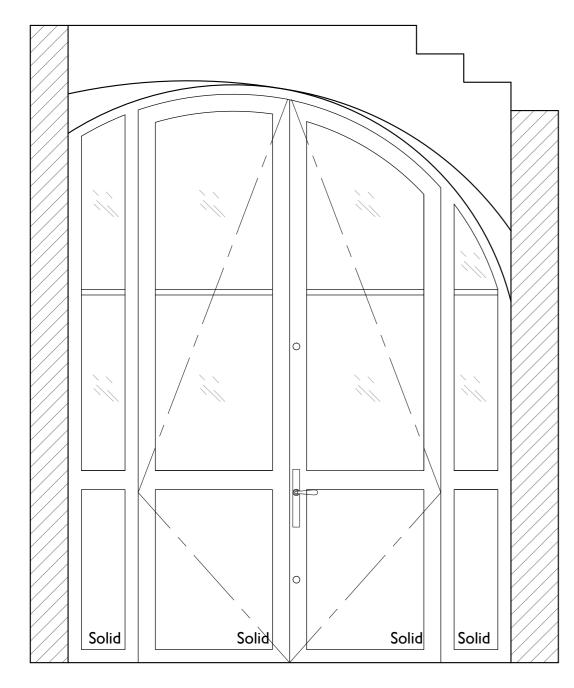
17.02.2020

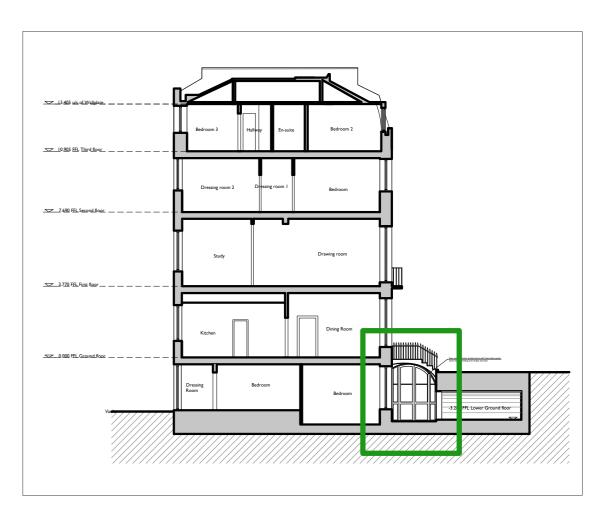
Drawing amended

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UNIT 11 ROTHERHITHE BUSINESS ESTATE ROTHERHITHE NEW ROAD LONDON SEI6 3RH

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LGF.09 Entrance plan Scale 1:50

New external timber double doors with fixed side panels, doors follow existing arch shape and size. Non-reflective glass, timber frame finished in a matt light grey paint to merge into the shadow under the steps.

LGF.09 Entrance Elevation A

Scale 1:20

·LUCINDA SANFORD· INTERIOR, ARCHITECTURAL DESIGN & MANAGEMENT

TITLE LGF.09 Entrance Elevation A

PROJECT / CLIENT Chester Terrace 18, NWI 4ND

DRAWING No. DATE CREATED 07.06.2019 SCALE DRAWN BY 1:20@A3

250

SS

REVISION HISTORY 12.03.2020

Drawing amended

NOTES

- B. Precise positions & dimensions of all fixtures and fittings is subject to confirmation
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