

# • LUCINDA SANFORD •

INTERIOR, ARCHITECTURAL DESIGN & MANAGEMENT

## PROJECT

18 Chester Terrace,  
NW1 4ND

## CONTENTS

Proposed Architectural Design, dated 12.03.2020, Rev. E

## PREPARED BY

**Paulina Kosciak**



0044 20 37708284

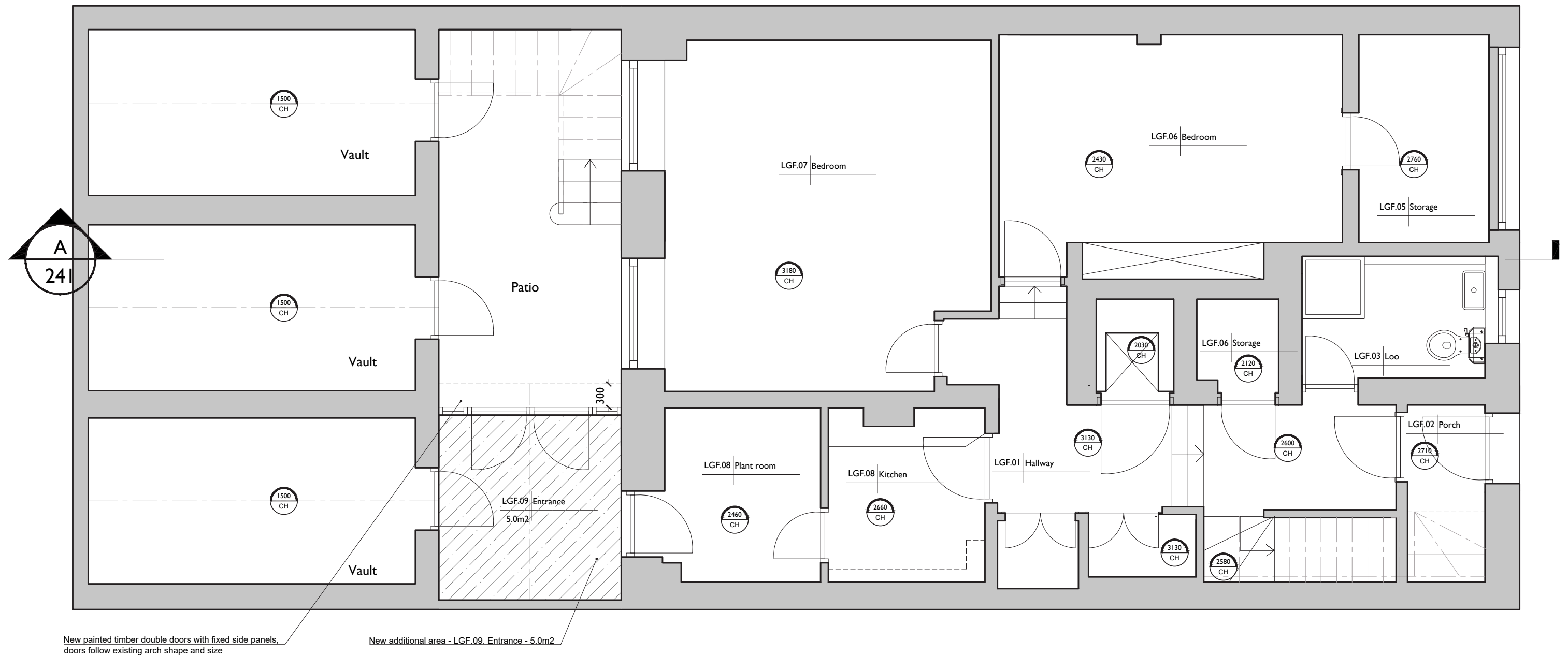
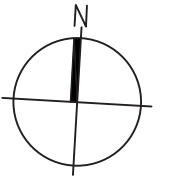
[paulina@lucindasanford.com](mailto:paulina@lucindasanford.com)

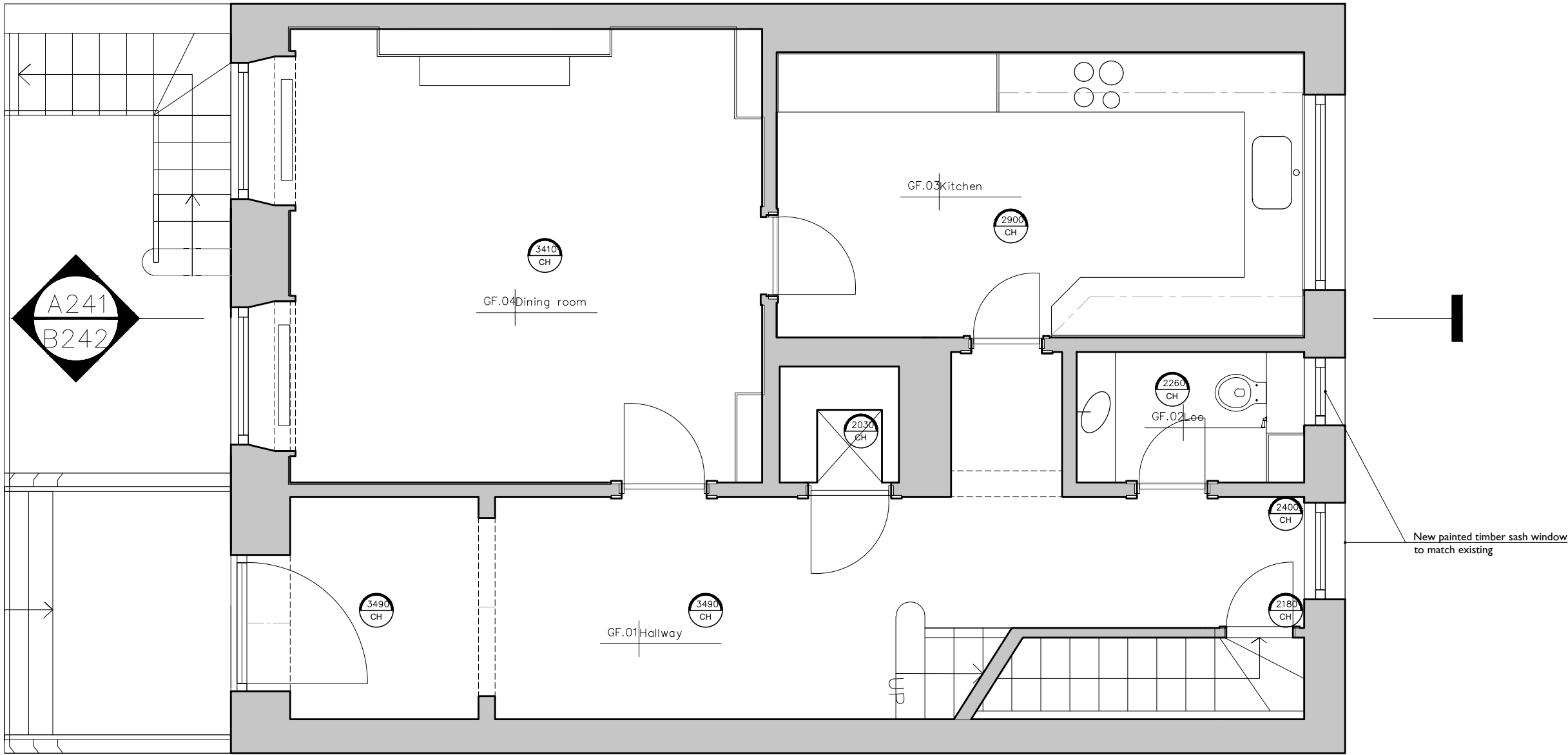
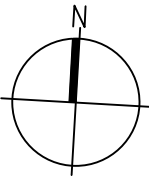
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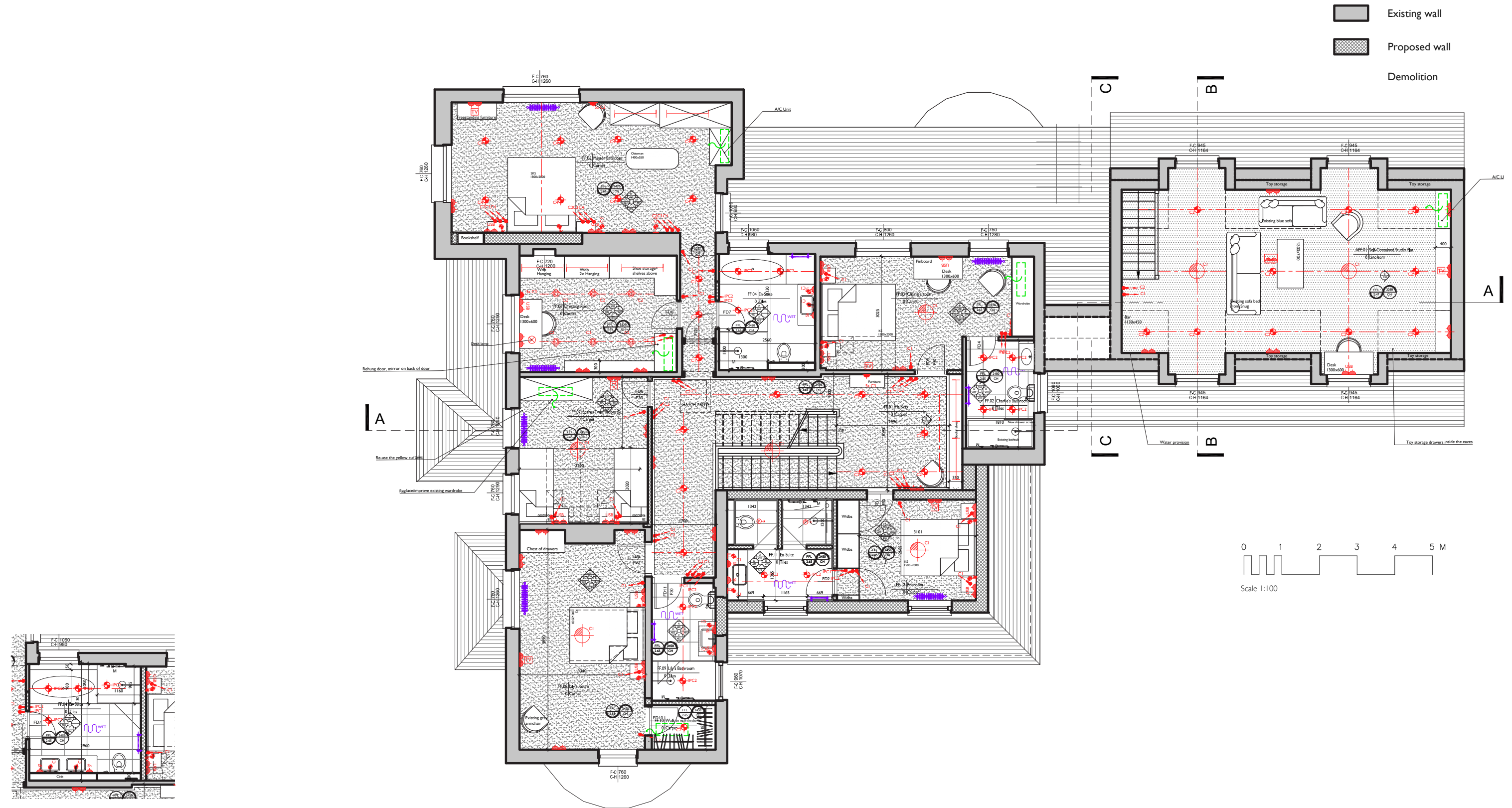
Unit 11 Rotherhithe Business Estate

214 Rotherhithe New Road

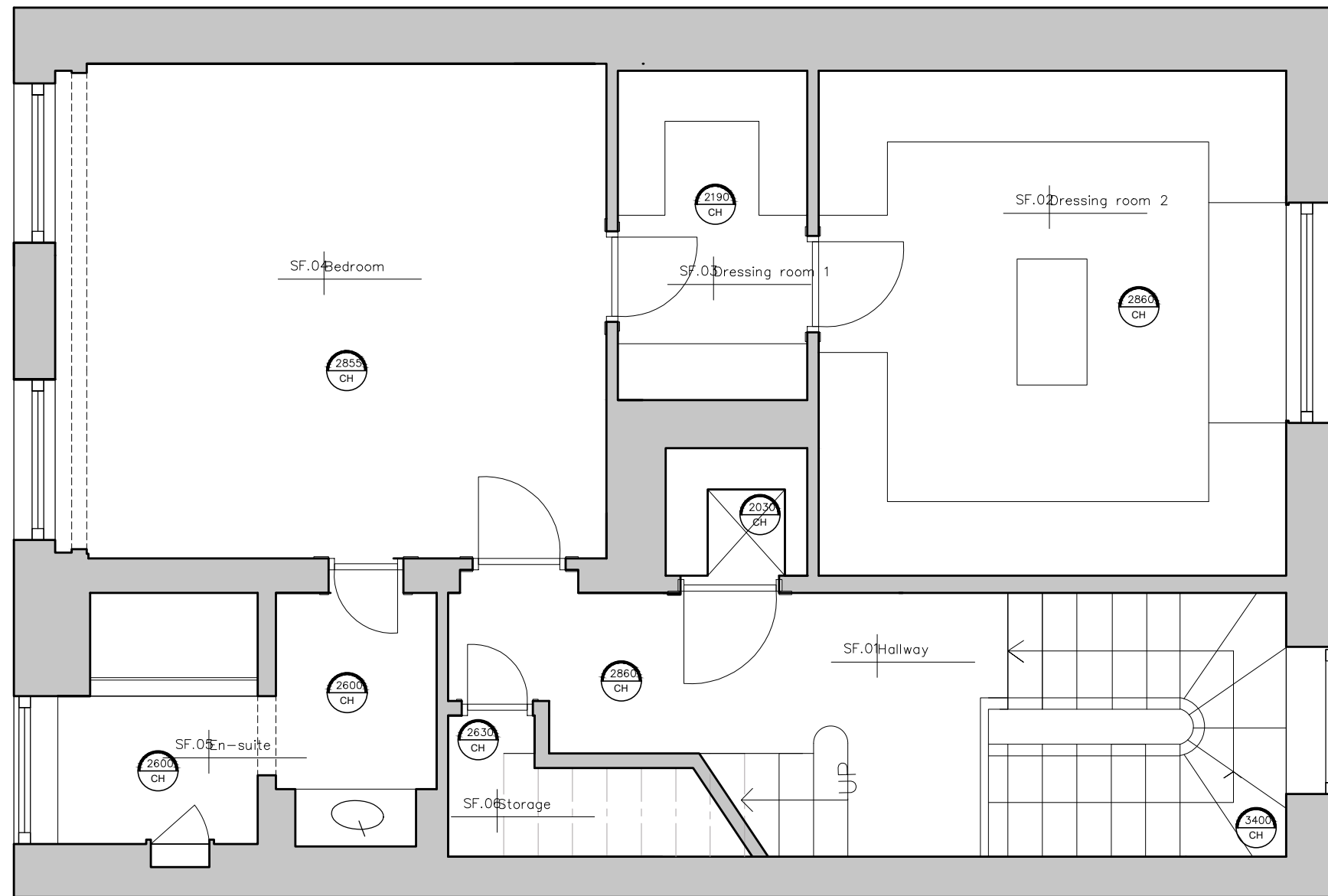
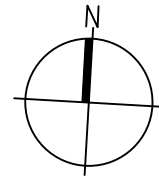
London SE16 3EH







- Check all dimensions and conditions on site.
- Precise positions & dimensions of all fixtures and fittings is subject to confirmation on site.
- Allow for the protection of all finishes and fittings that are to be retained.
- All drawings are to be read in conjunction with the relevant specification.
- For design purposes only.



Second Floor Plan remains without changes



**•LUCINDA SANFORD•**  
INTERIOR, ARCHITECTURAL DESIGN & MANAGEMENT

TITLE  
Proposed  
SECOND FLOOR

PROJECT / CLIENT  
Chester Terrace 18,  
NW1 4ND

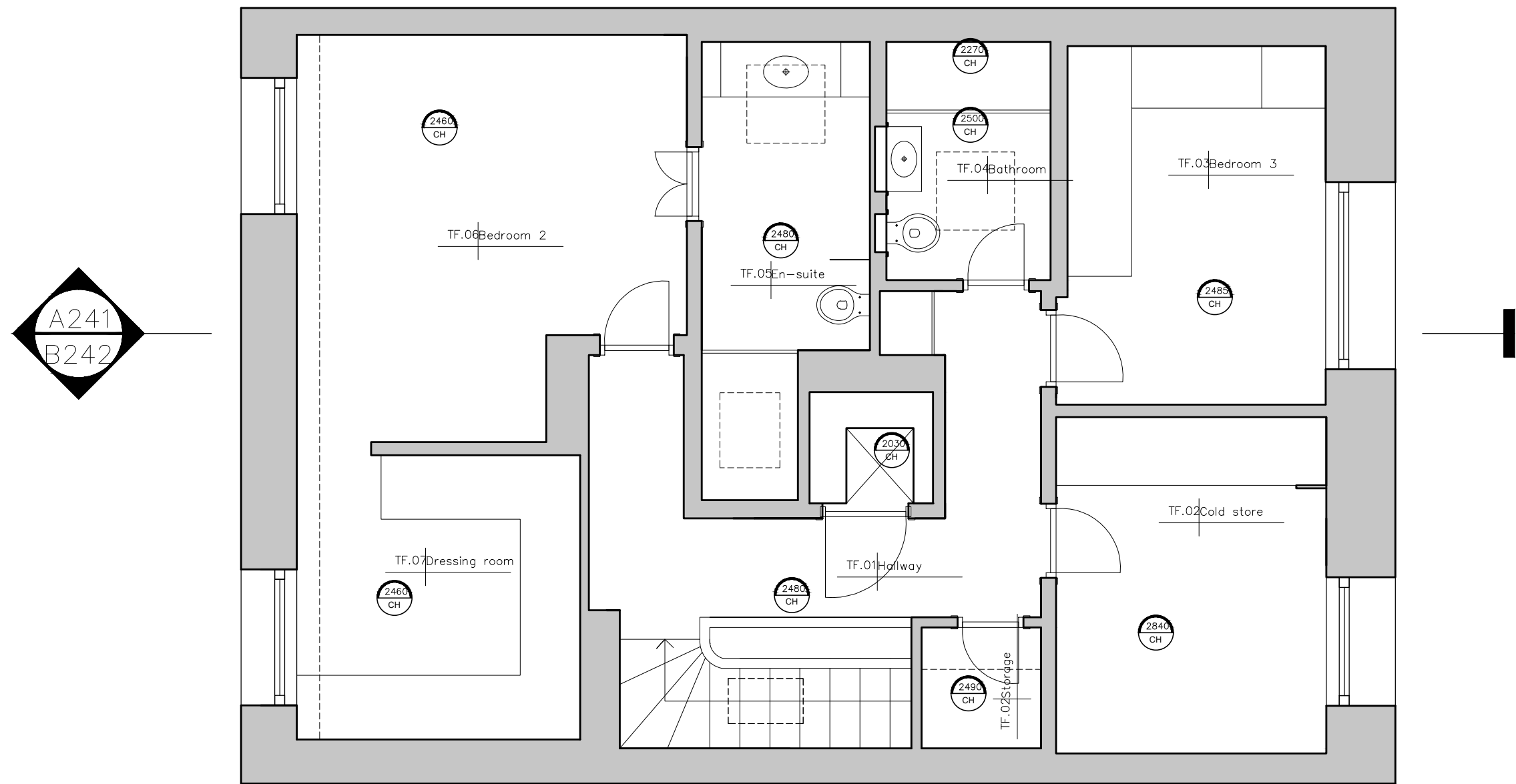
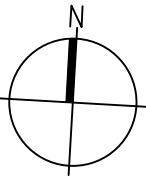
DRAWING No.  
123  
  
DRAWN BY  
SS

DATE CREATED  
31.01.2019  
  
SCALE  
1: 50@A3

REVISION HISTORY  
\* 24.12.2019 Drawing amended

NOTES  
A. Check all dimensions and conditions on site.  
B. Precise positions & dimensions of all fixtures and fittings is subject to confirmation on site.  
C. Allow for the protection of all finishes and fittings that are to be retained.  
D. All drawings are to be read in conjunction with the relevant specification.

UNIT 11 ROTHERHITHE BUSINESS ESTATE  
ROTHERHITHE NEW ROAD  
LONDON SE16 3RH  
020 7237 9098  
BOYANA@LUCINDASANFORD.COM  
WWW.LUCINDASANFORD.COM

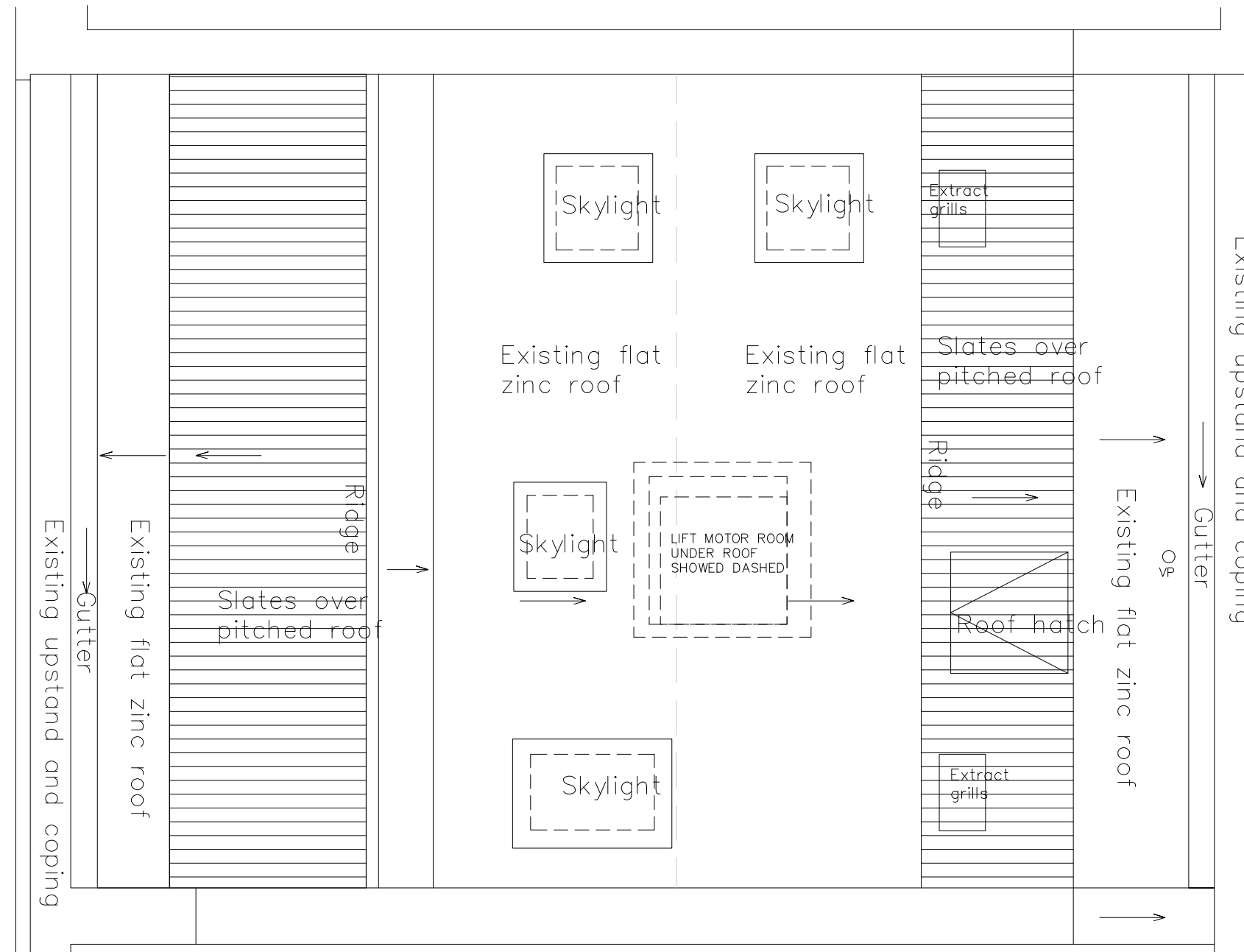
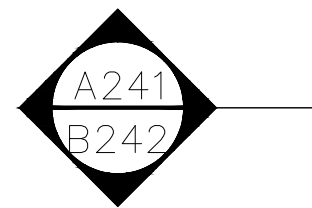


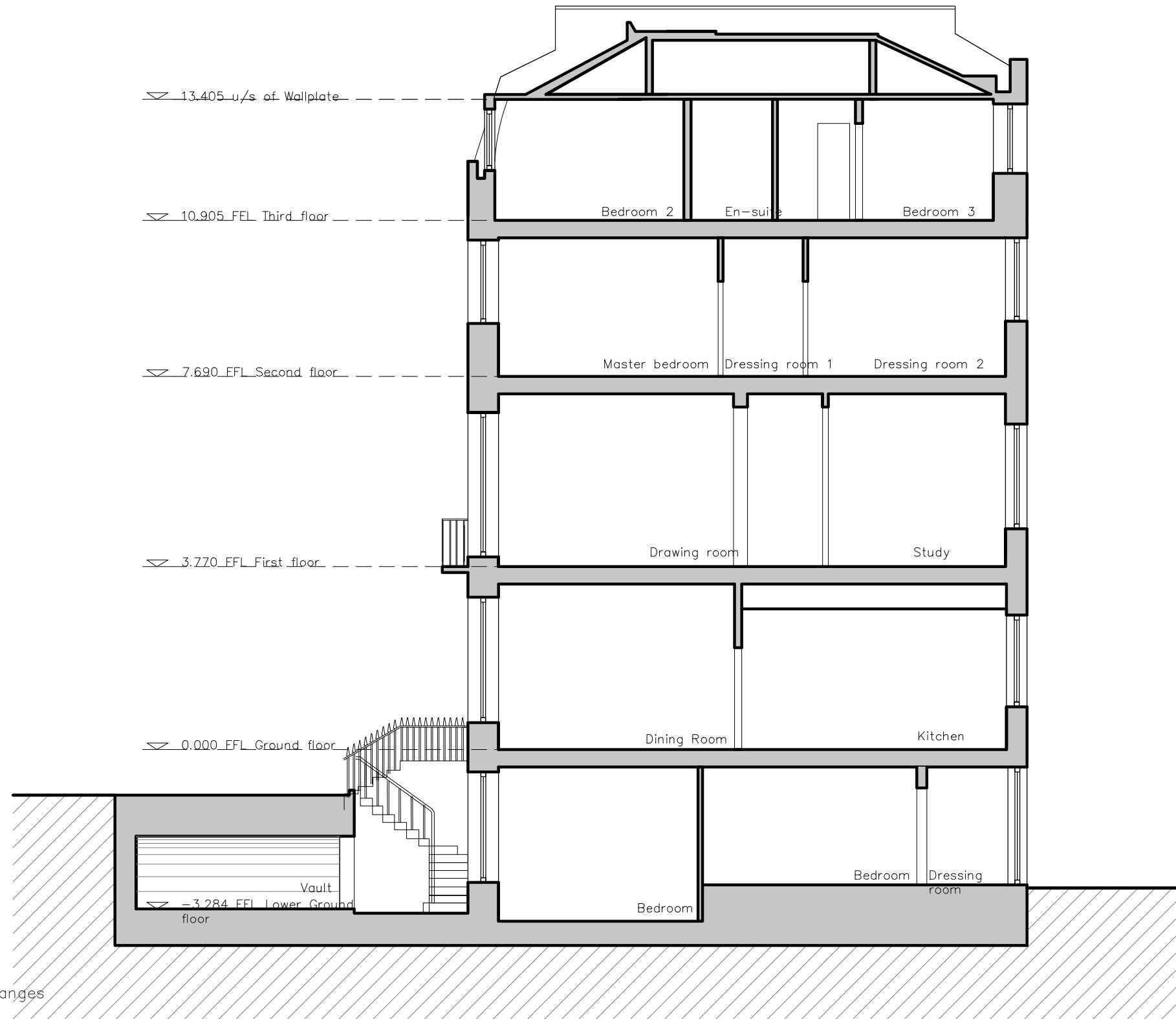
Third Floor Plan remains without changes



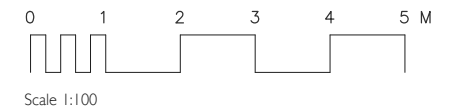
<div>•LUCINDA SANFORD•</div> <div>INTERIOR, ARCHITECTURAL DESIGN &amp; MANAGEMENT</div>	TITLE	PROJECT / CLIENT	DRAWING No.	DATE CREATED	REVISION HISTORY	NOTES	UNIT 11 ROTHERHITHE BUSINESS ESTATE ROTHERHITHE NEW ROAD LONDON SE16 3RH 020 7237 9098 BOYANA@LUCINDASANFORD.COM WWW.LUCINDASANFORD.COM
	Proposed THIRD FLOOR	Chester Terrace 18, NW1 4ND	124	31.01.2019	* 24.12.2019 Drawing amended		
			DRAWN BY SS	SCALE 1: 50@A3		A. Check all dimensions and conditions on site. B. Precise positions & dimensions of all fixtures and fittings is subject to confirmation on site. C. Allow for the protection of all finishes and fittings that are to be retained. D. All drawings are to be read in conjunction with the relevant specification.	



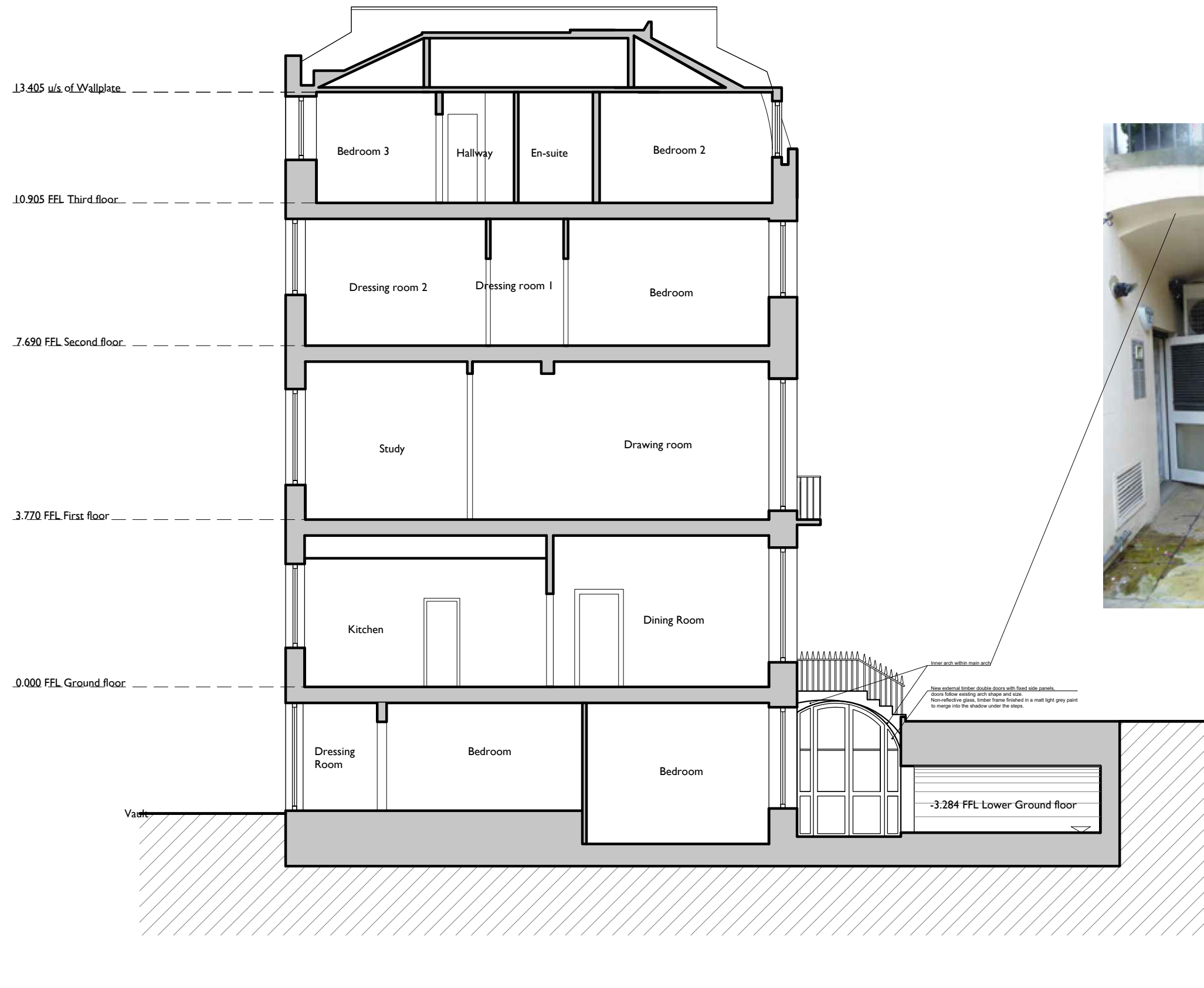




Section A-A remains without changes

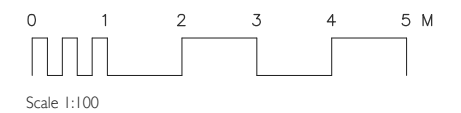


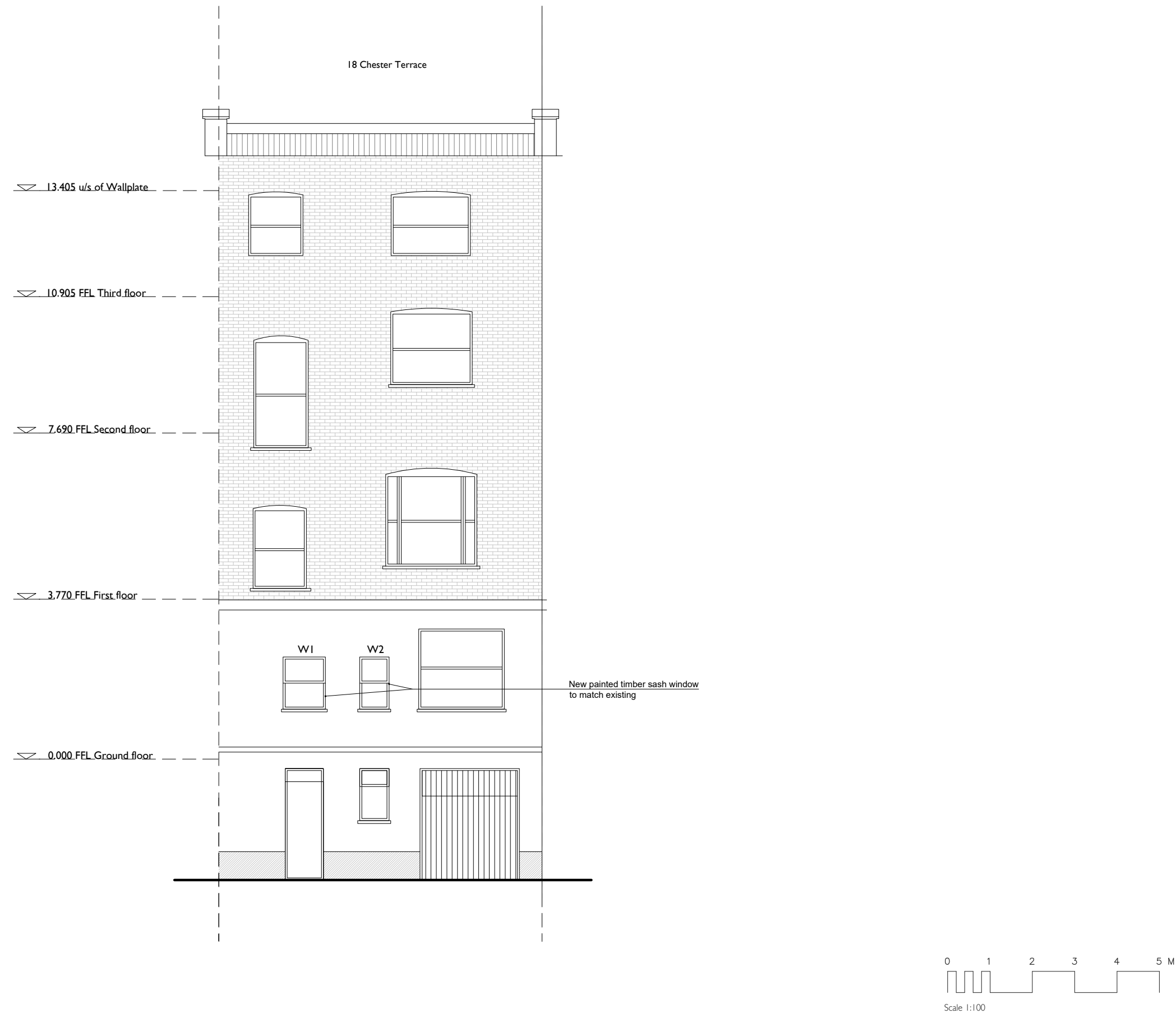




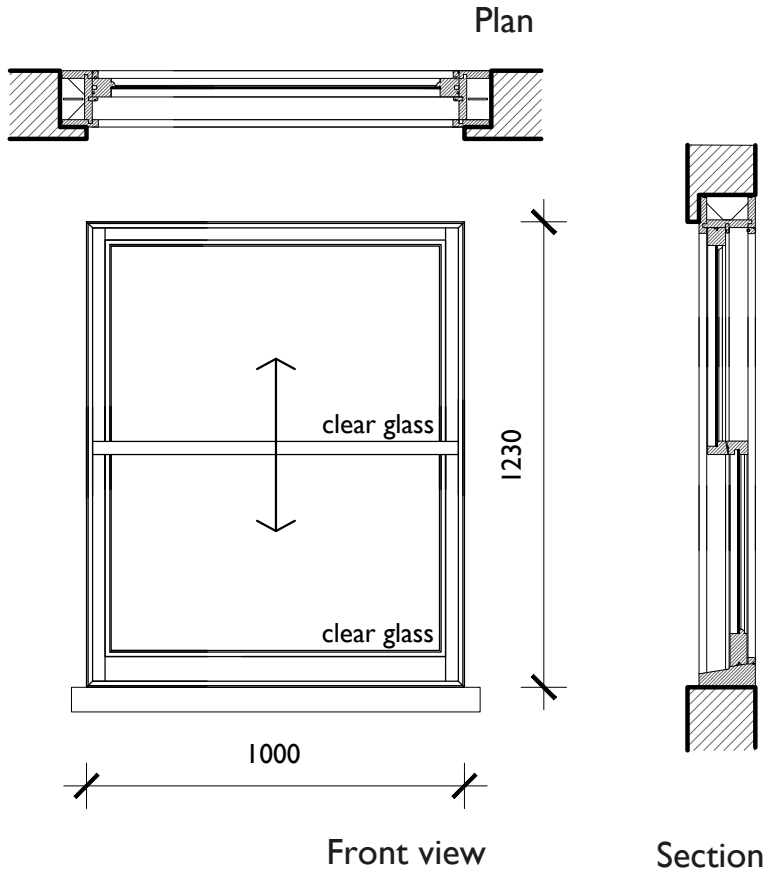


Front Elevation remains without changes

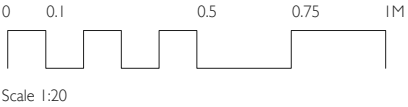
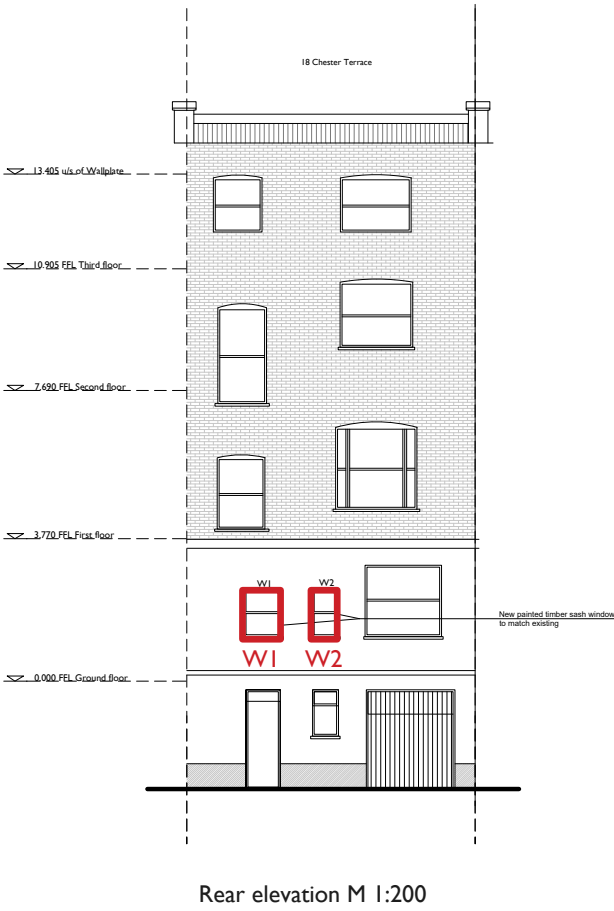
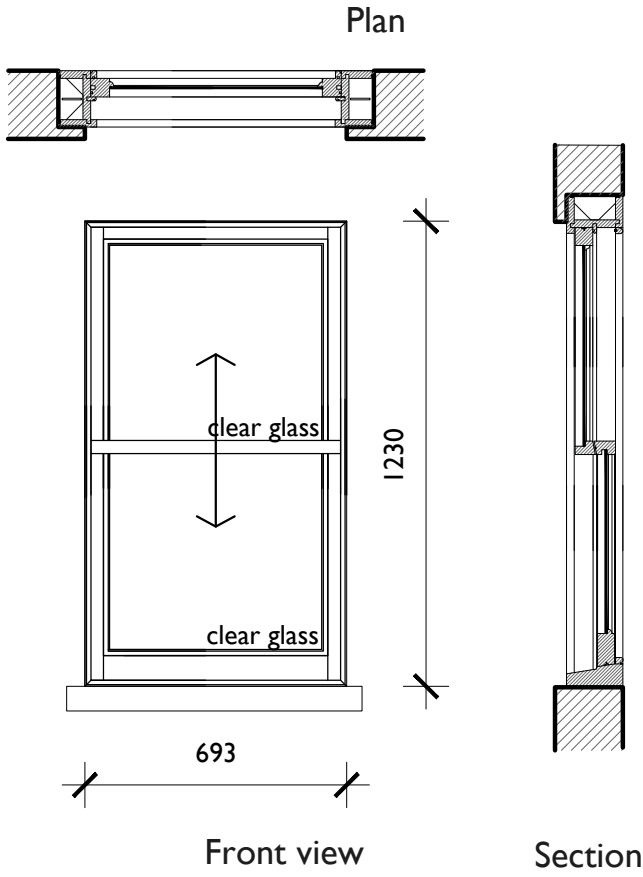




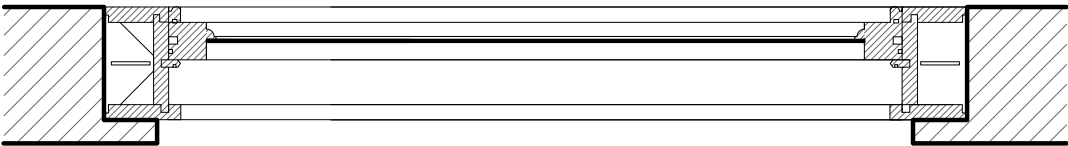
Window 1



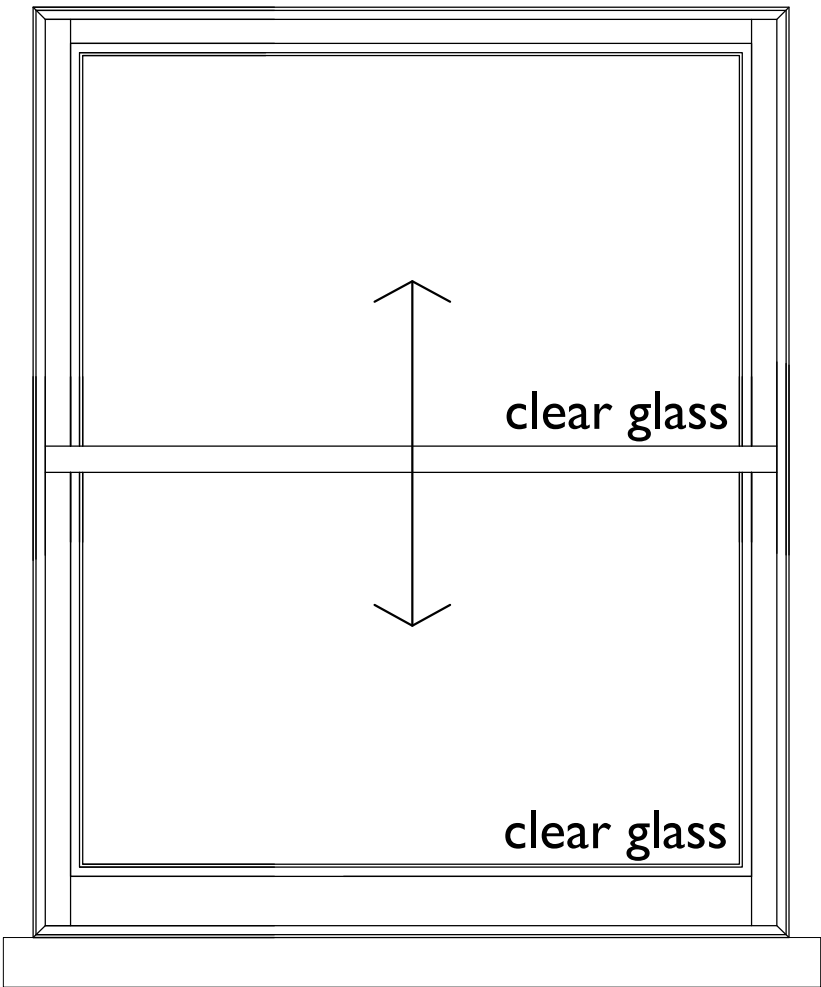
Window 2



Window I - Single glazed window



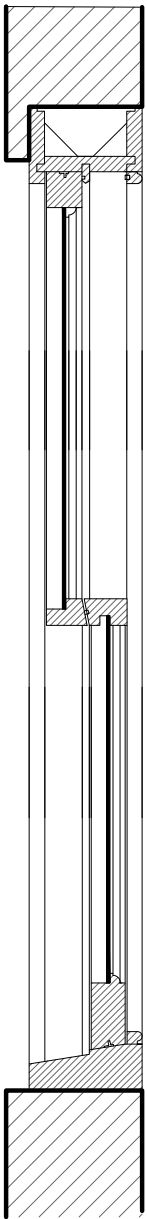
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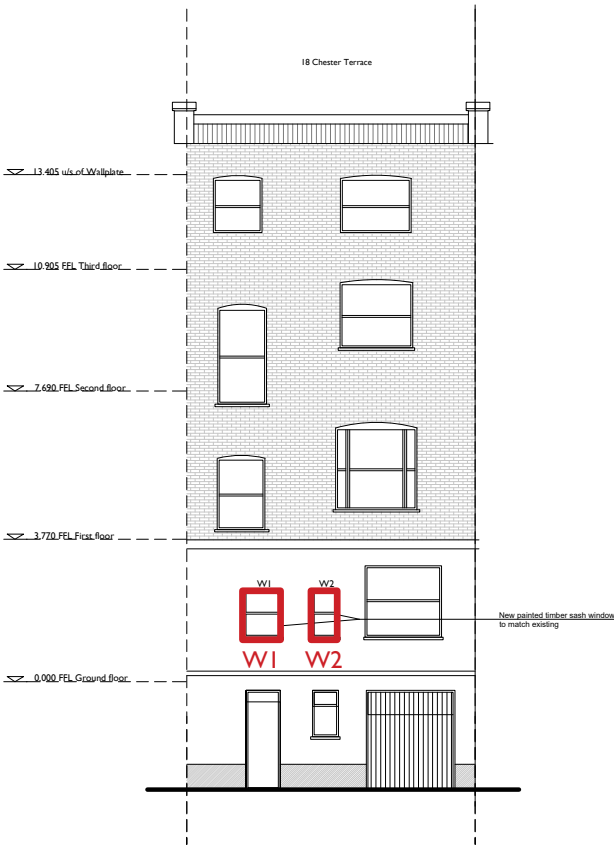
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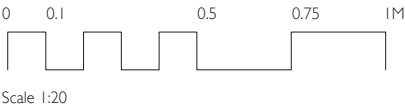
Front view



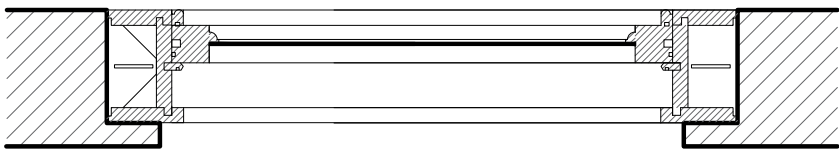
Section



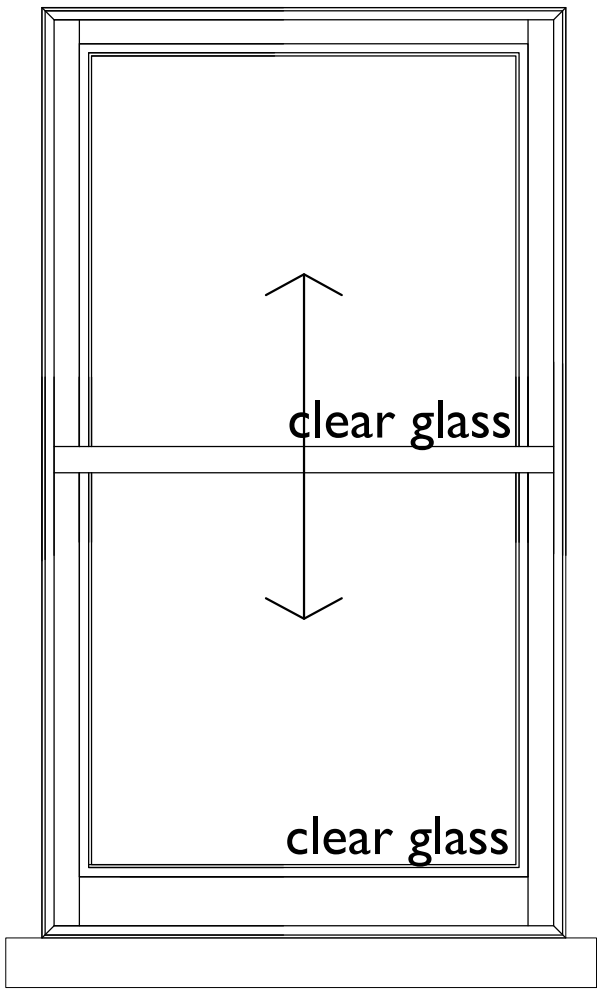
Rear elevation M 1:200



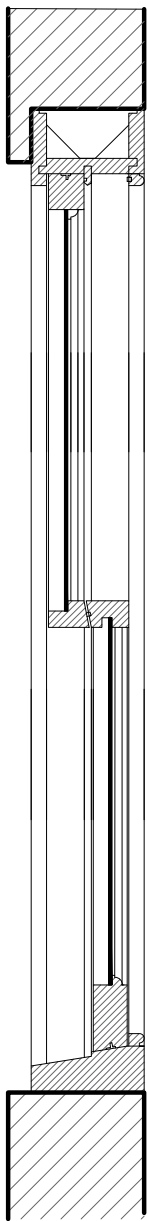
Window 2 - Single glazed window



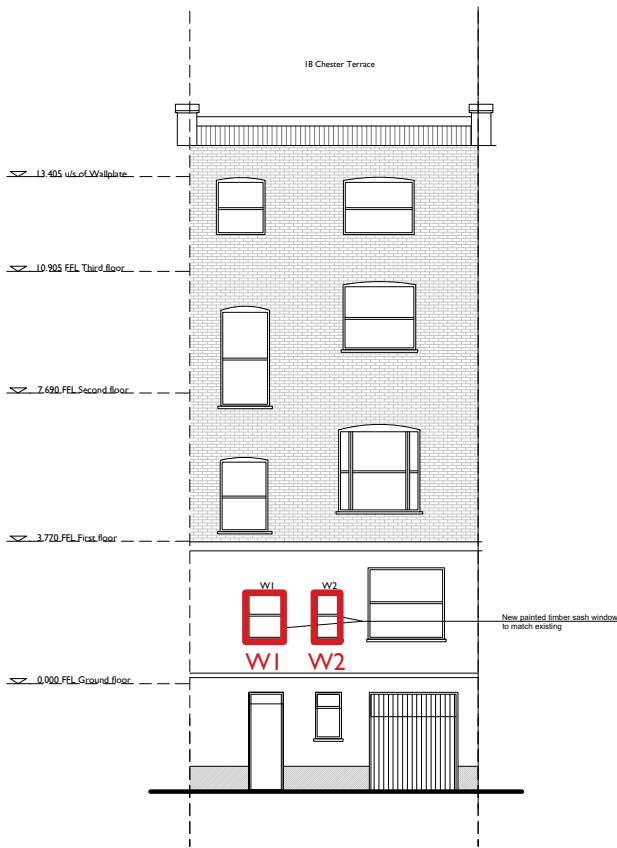
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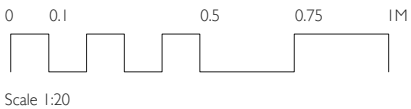
Front view

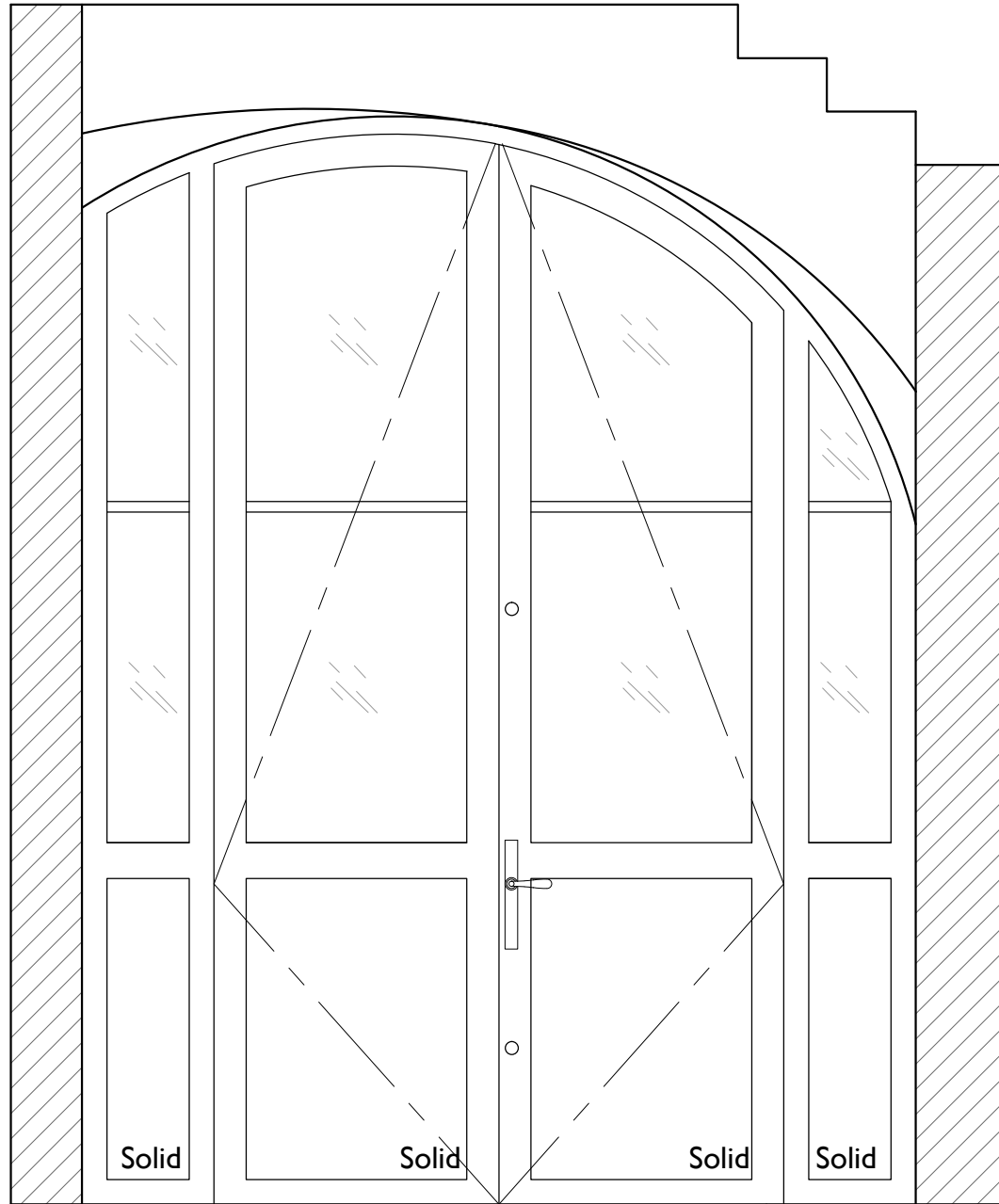


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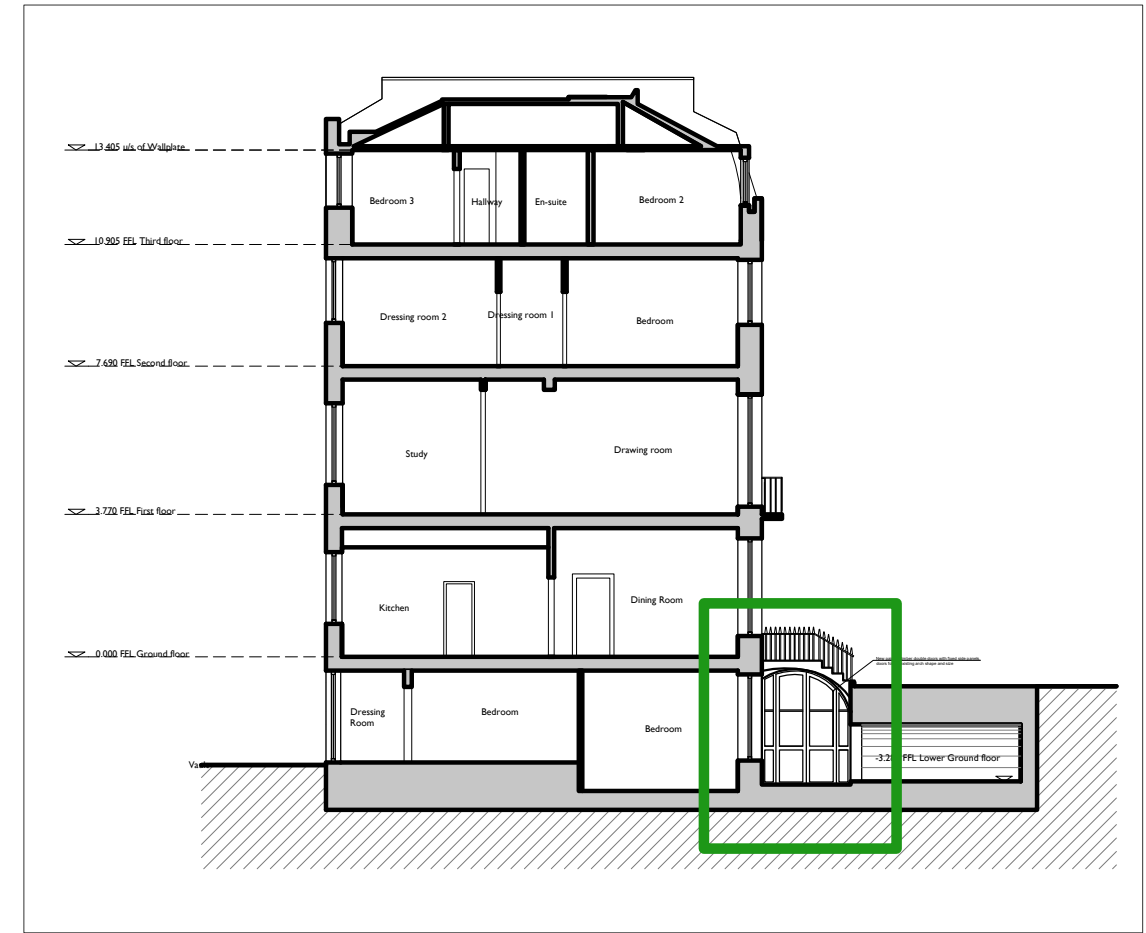


Rear elevation M 1:200





02 LGF.09 Entrance  
Elevation A



01 LGF.09 Entrance plan  
Scale 1:50

New external timber double doors with fixed side panels,  
doors follow existing arch shape and size.  
Non-reflective glass, timber frame finished in a matt light grey paint  
to merge into the shadow under the steps.

