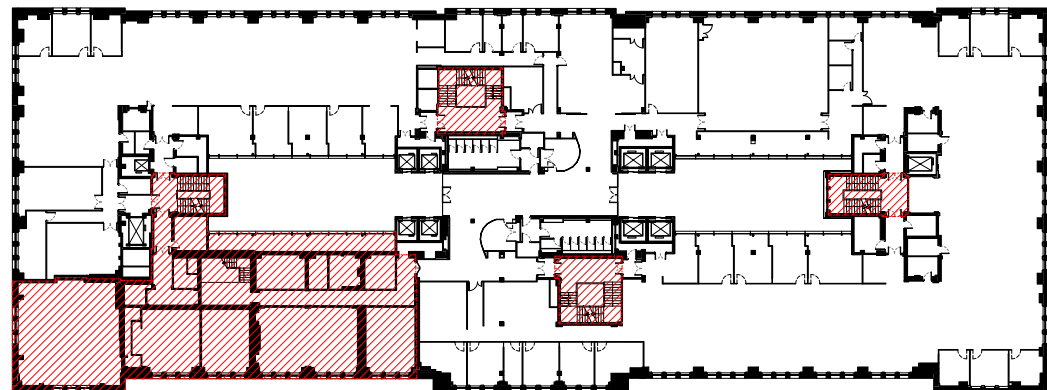


04.00

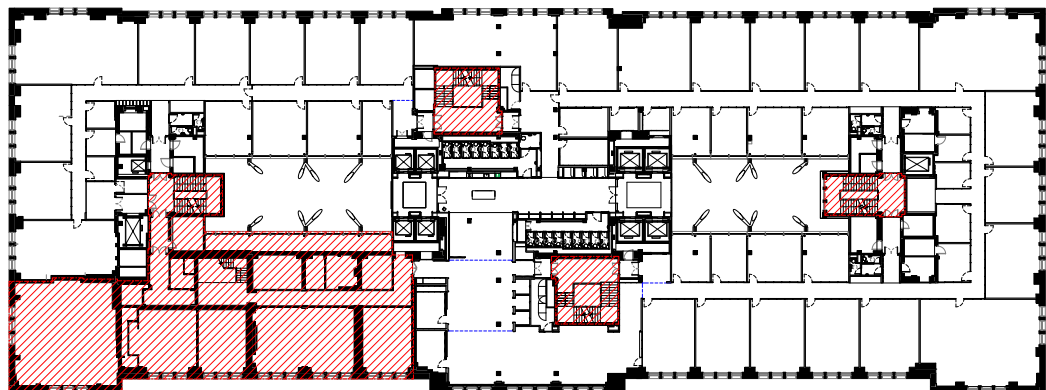
Design Response

04.01 Overview	28
04.02 Existing Fourth Floor Layout	29
04.03 Proposed 4th Floor with Penetration Locations	30
04.04 Existing Fifth Floor Layout	31
04.05 Proposed 5th Floor with Penetration Locations	32
04.06 Proposed 5th Floor Eastern Plant Ductwork	33
04.07 Proposed 5th Floor Western Plant Ductwork	34
04.08 Ductwork Penetrations through Windows and Slab	35
04.09 Ductwork Penetrations on Bloomsbury Square	36
04.10 Ductwork Penetrations on Southampton Row	37
04.11 Ductwork Penetrations through Window	38
04.12 Ductwork Penetrations through Slab	39
04.13 Penetrations through Existing Beam	40

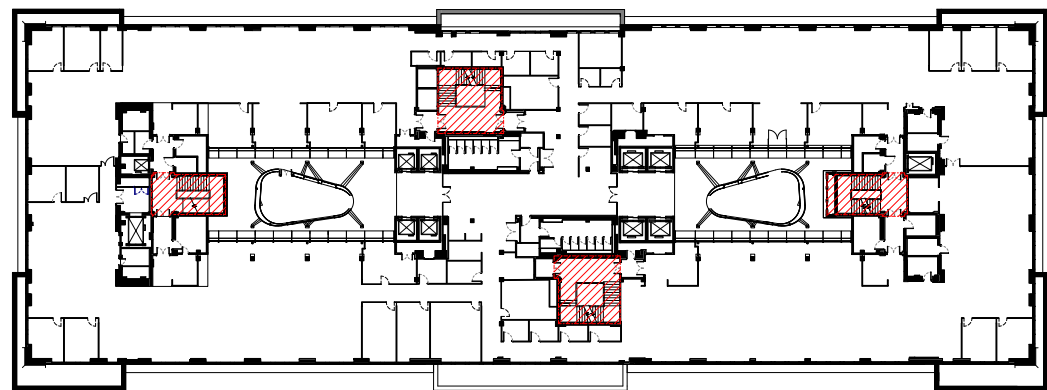
04.01 Overview



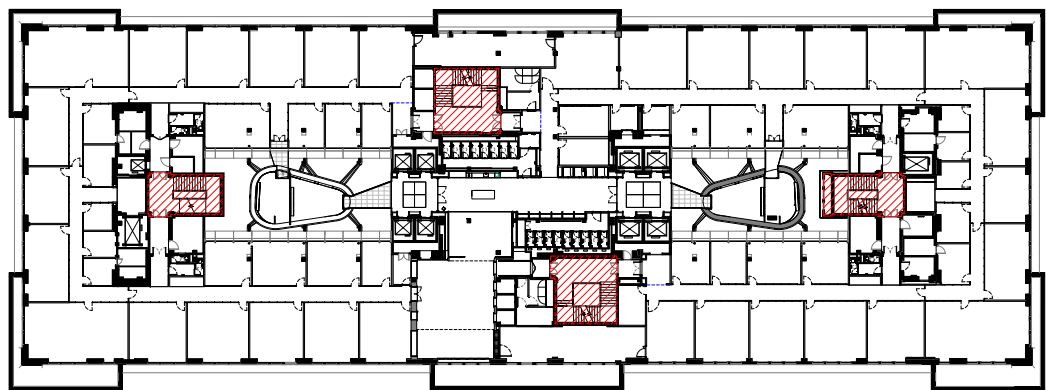
Existing Fourth Floor Layout



Proposed Fourth Floor Layout



Existing Fifth Floor Layout



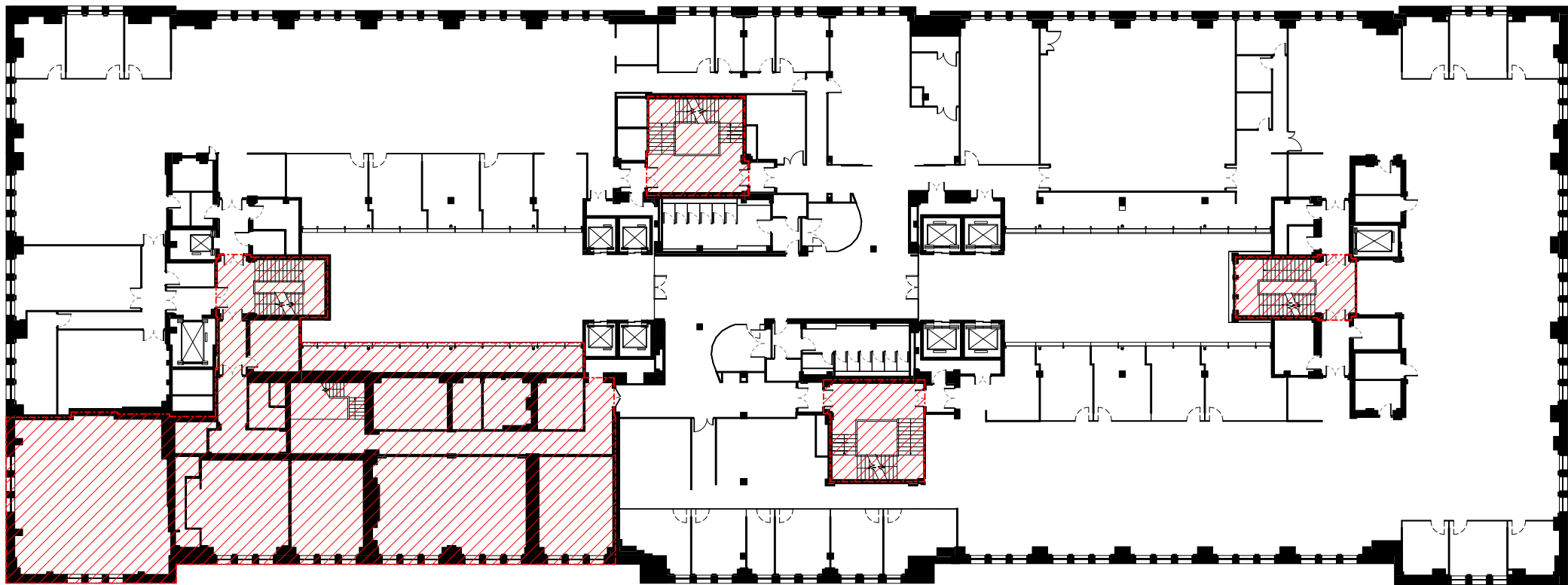
Proposed Fifth Floor Layout

This chapter illustrates the proposal for the addition of the ventilation plant rooms and equipment to the fourth and fifth floors of the building. The proposal is to minimise the impact on the existing building, and to retain and protect the existing fabric of the original building while bringing the building up to modern standards for ventilation for an office building.

Existing windows on the fifth floor located behind a 5m high level parapet are to be removed to allow ventilation ductwork to pass through to the exterior. These windows are to be retained for potential future reinstallation. The layouts of the proposed floors described here match the layouts described within the 2019/6203/L.



04.02 Existing Fourth Floor Layout

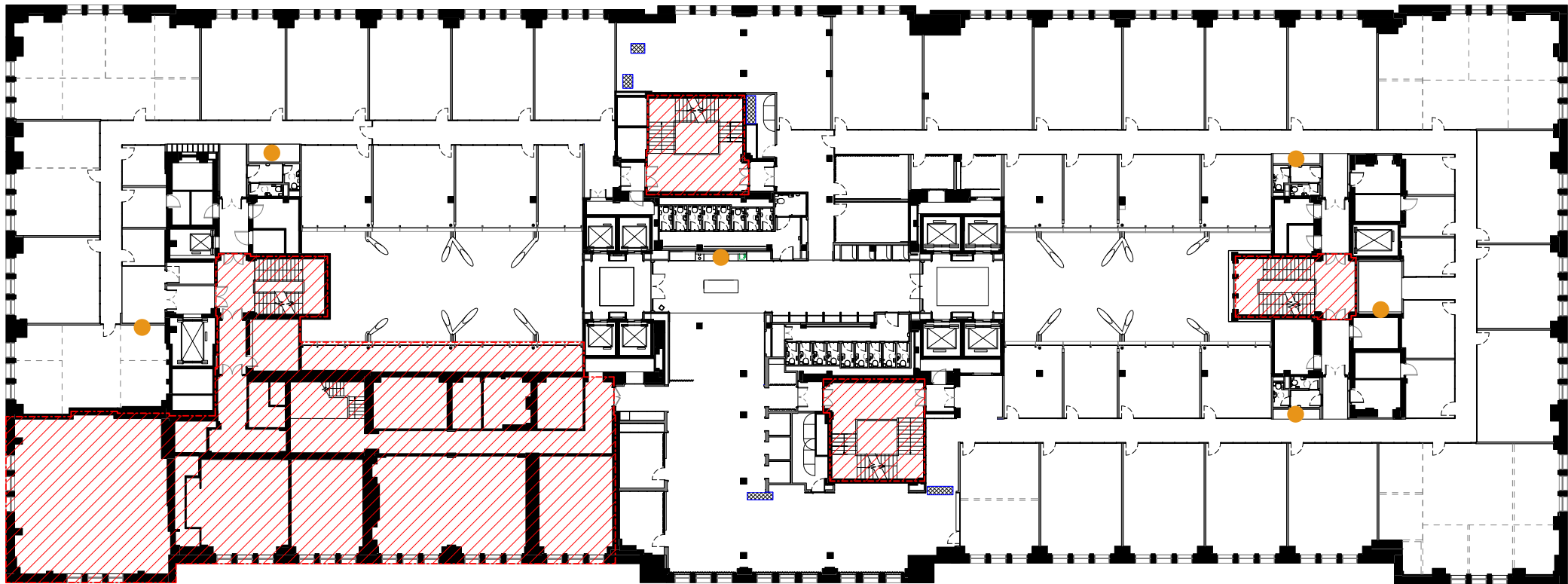


Existing Fourth Floor Plan (1:400 @ A3)

The existing layout is formed of a central heart containing a teapoint and toilets, clusters of cellular offices are collected around the atrium. The Heritage Rooms, from the original design, the stairwells, and the external walls are excluded from the application. The existing risers located at the four cores are currently providing insufficient ventilation to the floor.

 Areas excluded from the Application




04.03 Proposed 4th Floor with Penetration Locations



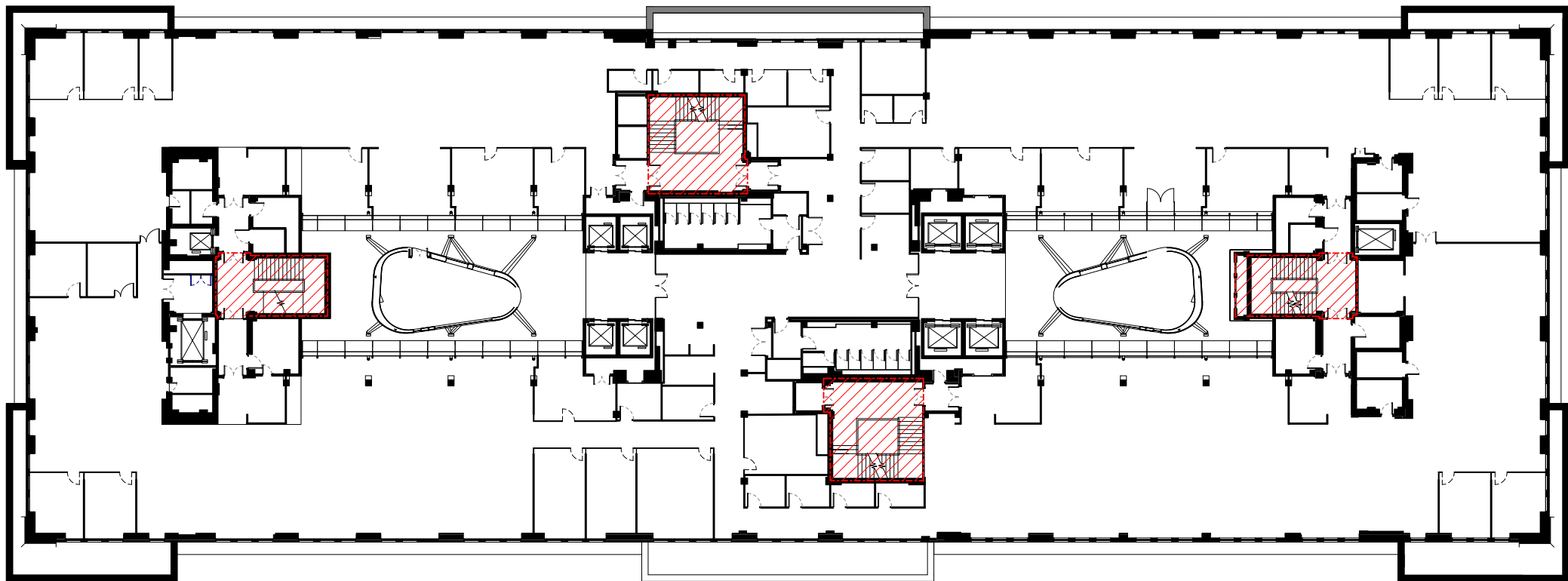
Proposed Fourth Floor Plan (1:400 @ A3)

The proposal on the fourth floor involves the penetration of the ribbed concrete slab between the fourth and fifth floors. These penetrations allow ductwork to pass through from the plant rooms on the 5th floor, which then spread out at high level across the floor and provide the required ventilation to the floor. The layouts of the proposed 4th floor described

here match the layouts described within the 2019/6203/L application.

-  Areas excluded from the Application
-  Ductwork penetrations through ceiling slab
-  Water Point

04.04 Existing Fifth Floor Layout

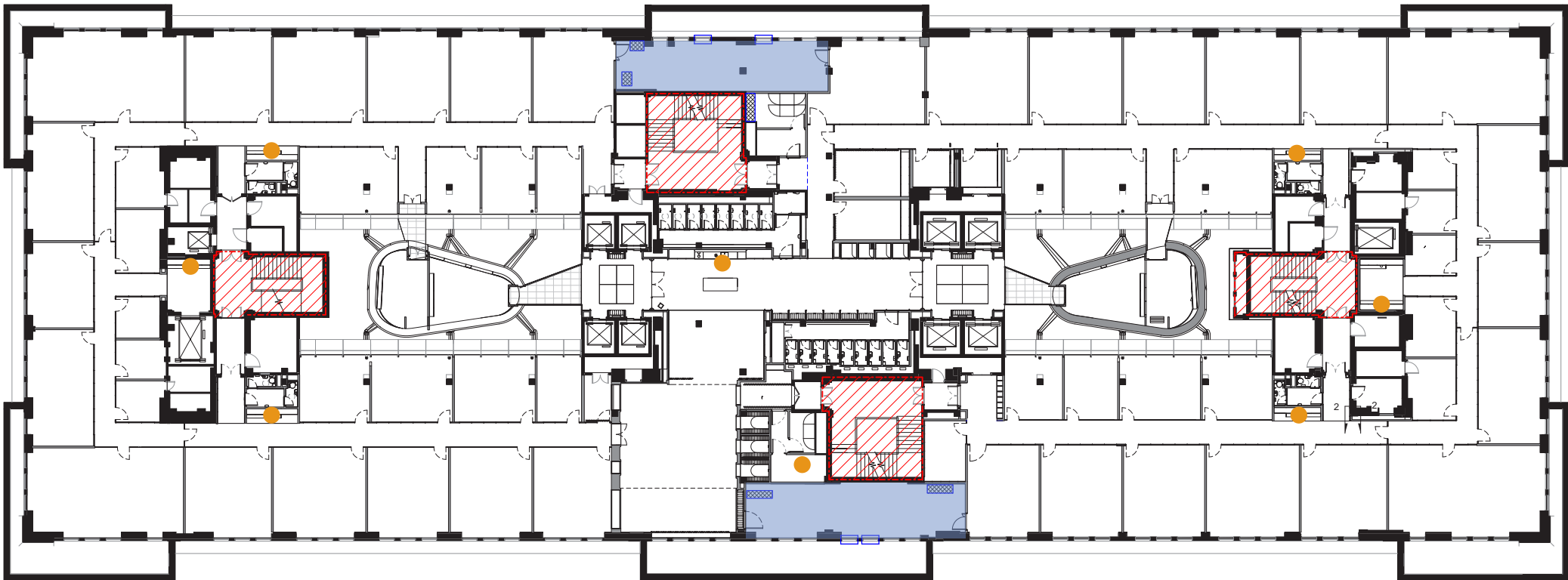


Existing Fifth Floor Plan (1:400 @ A3)

The existing layout is formed of a central heart containing a teapoint and toilets, and clusters of cellular offices collected around the atrium. Four quadrants of office space are formed with views directly to the outside. The existing risers located at the four cores are currently providing insufficient ventilation to the floor.

 Areas excluded from the Application

04.05 Proposed 5th Floor with Penetration Locations



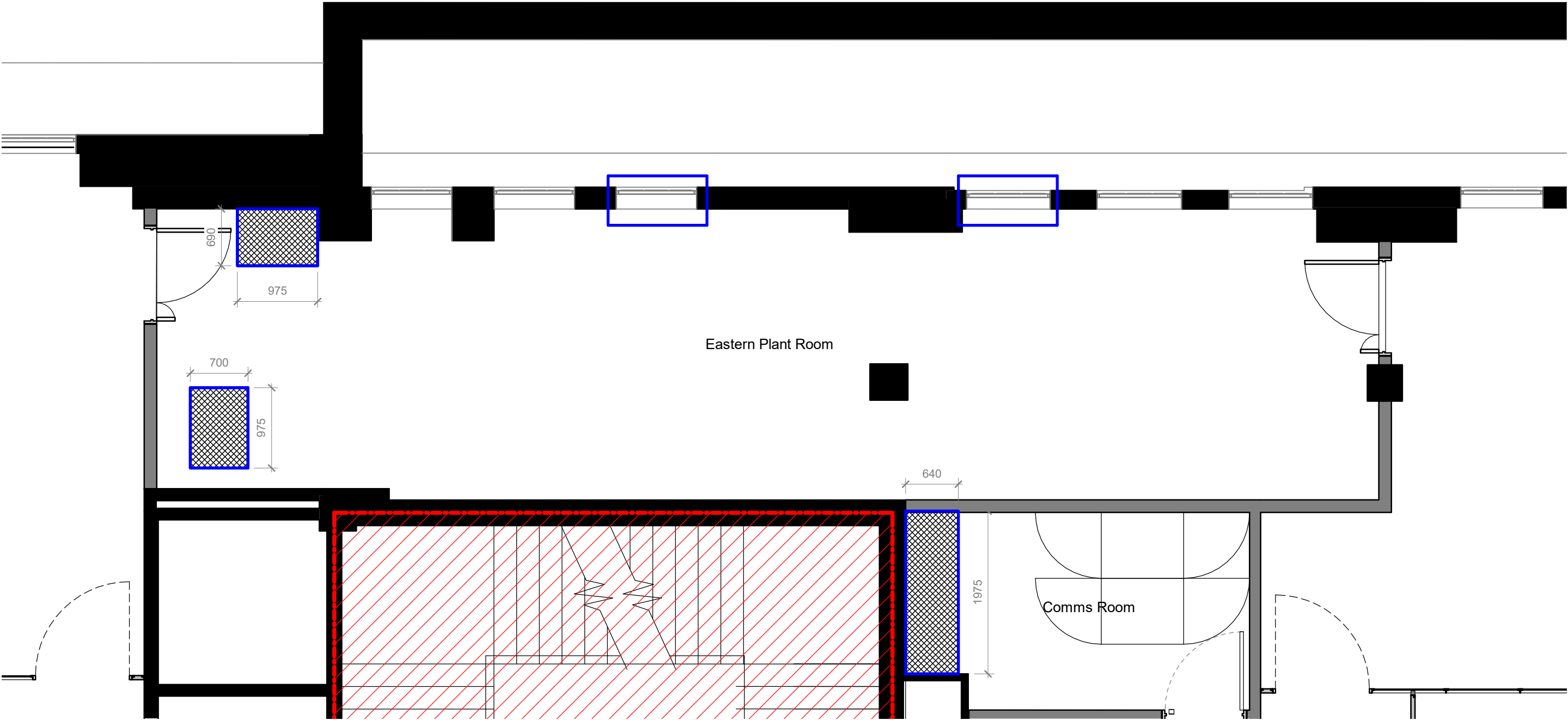
Proposed Fifth Floor Plan (1:400 @ A3)

The proposal is to create two new centrally located plant rooms on the east and west side of the fifth floor. The position of the plant rooms takes advantage of the over 5m external parapet that sits in front of the windows within the plant rooms. This allows for the removal of 4 windows, 2 within each plant room without affecting the external elevations of the building.

Furthermore, there are vertical penetrations through the concrete slab of the fifth floor which allows ductwork to pass through to the 4th floor. This intervention will then sufficiently provide ventilation to both the 4th and 5th floors. The layouts of the proposed 5th floor described here match the layouts described within the 2019/6203/L application.

- Areas excluded from the Application
- Ductwork penetrations through slab
- Ductwork penetrations through window opening
- Plant Room Locations
- Water Point

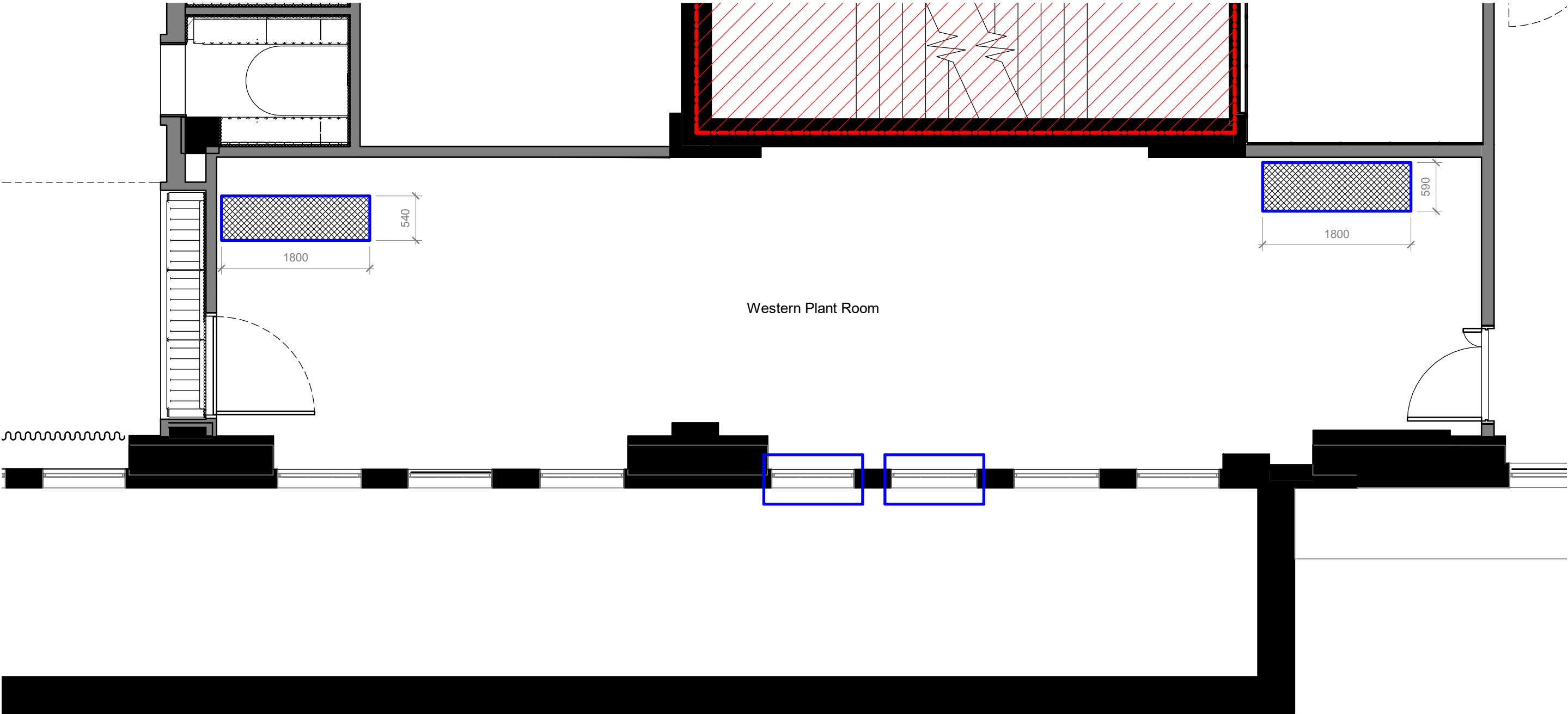
04.06 Proposed 5th Floor Eastern Plant Ductwork



Proposed Fifth Floor Eastern Plant Room Ductwork (1:50 @ A3)

- Areas excluded from the Application
- Ductwork penetrations through slab
- Ductwork penetrations through window opening

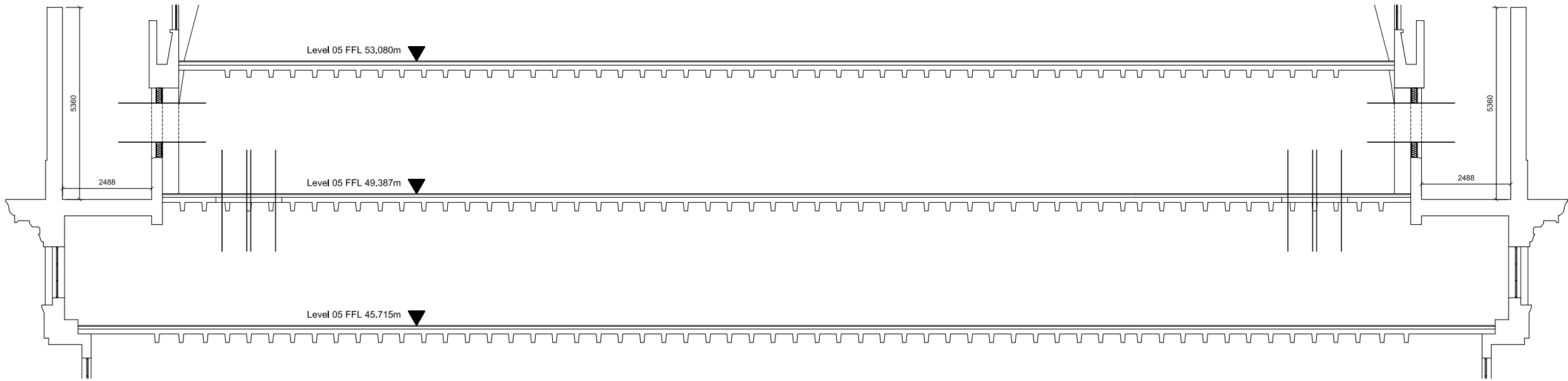
04.07 Proposed 5th Floor Western Plant Ductwork



Proposed Fifth Floor Western Plant Room Ductwork (1:50 @ A3)

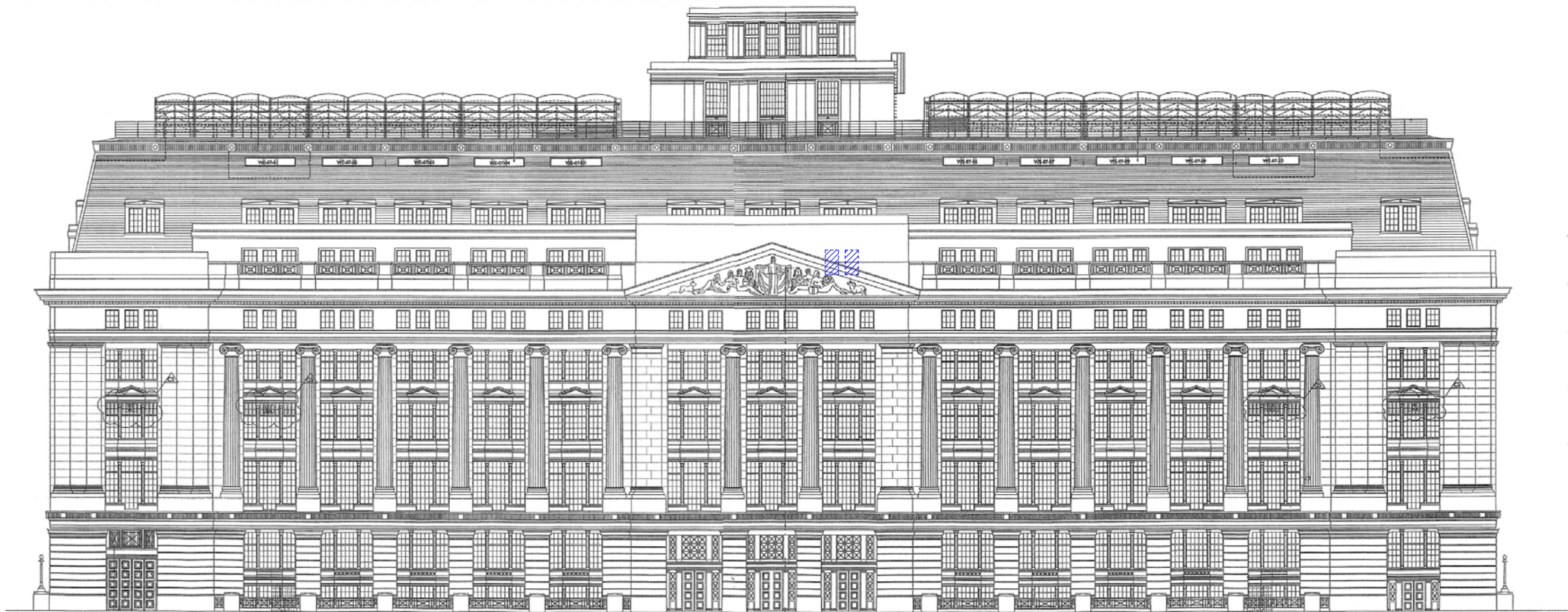
- Areas excluded from the Application
- Ductwork penetrations through slab
- Ductwork penetrations through window opening

04.08 Ductwork Penetrations through Windows and Slab



Proposed Section through Window and Slab with Ductwork Penetrations (1:150 @ A3)

04.09 Ductwork Penetrations on Bloomsbury Square



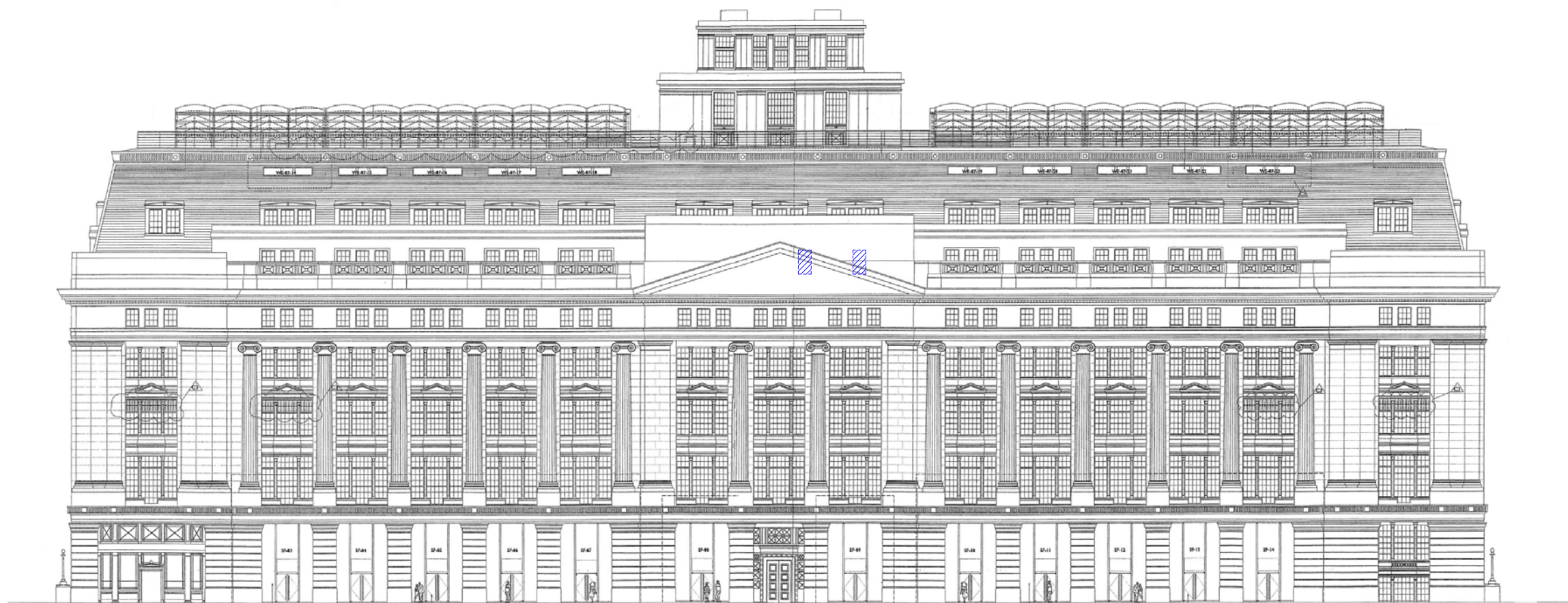
Proposed Location of Level 05 Ductwork Penetrations on Bloomsbury Square Elevation (1:400 @ A3)

Existing windows removed to allow ventilation ducts to pass through opening located behind existing over 5m high external parapet wall sitting in front of external wall. Windows to be retained for potential future reinstallation. Full details on the proposed ductwork layouts can be found in the accompanying existing and proposed elevations and layouts.

Existing and proposed elevations are drawing numbers “19023 01 AP 0020 301”, “19023 01 AP 0020 303”, “19023 01 AP 0020 305” & “19023 01 AP 0020 307”.

 Location of windows behind parapet

04.10 Ductwork Penetrations on Southampton Row



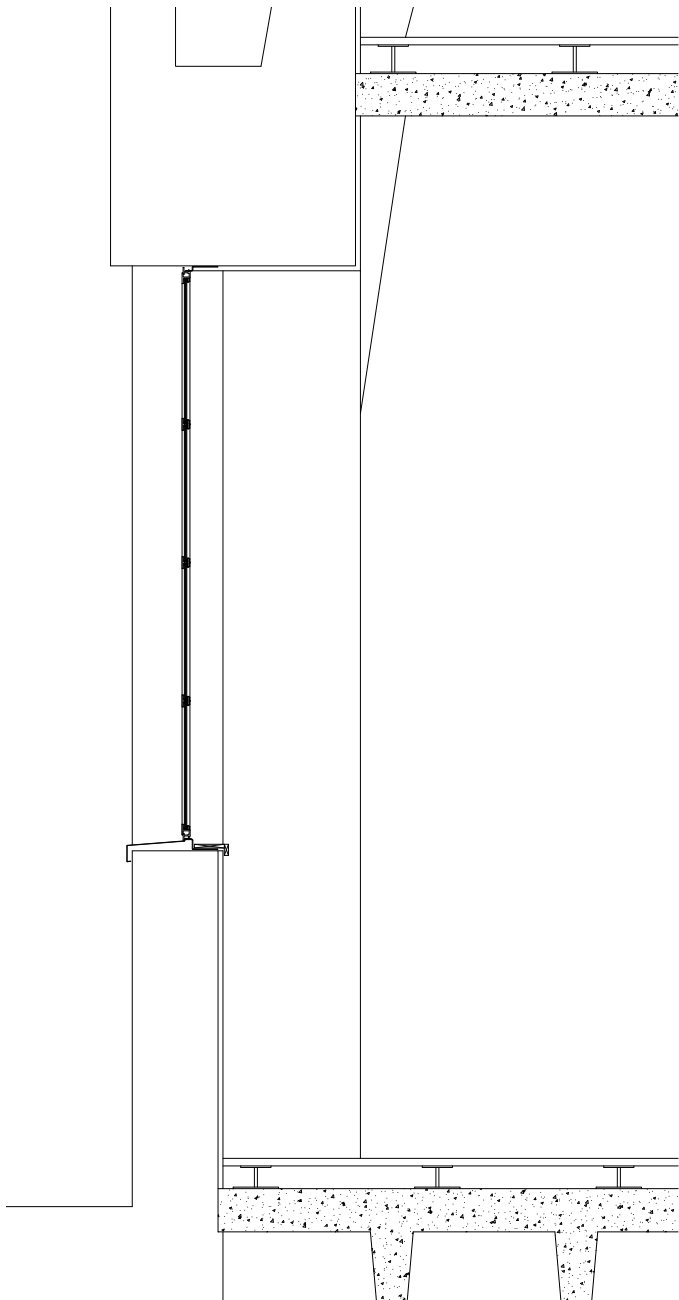
Proposed Location of Level 05 Ductwork Penetrations on Southampton Row Elevation (1:400 @ A3)

Existing windows removed to allow ventilation ducts to pass through opening located behind existing over 5m high external parapet wall sitting in front of external wall. Windows to be retained for potential future reinstallation. Full details on the proposed ductwork layouts can be found in the accompanying existing and proposed elevations and layouts.

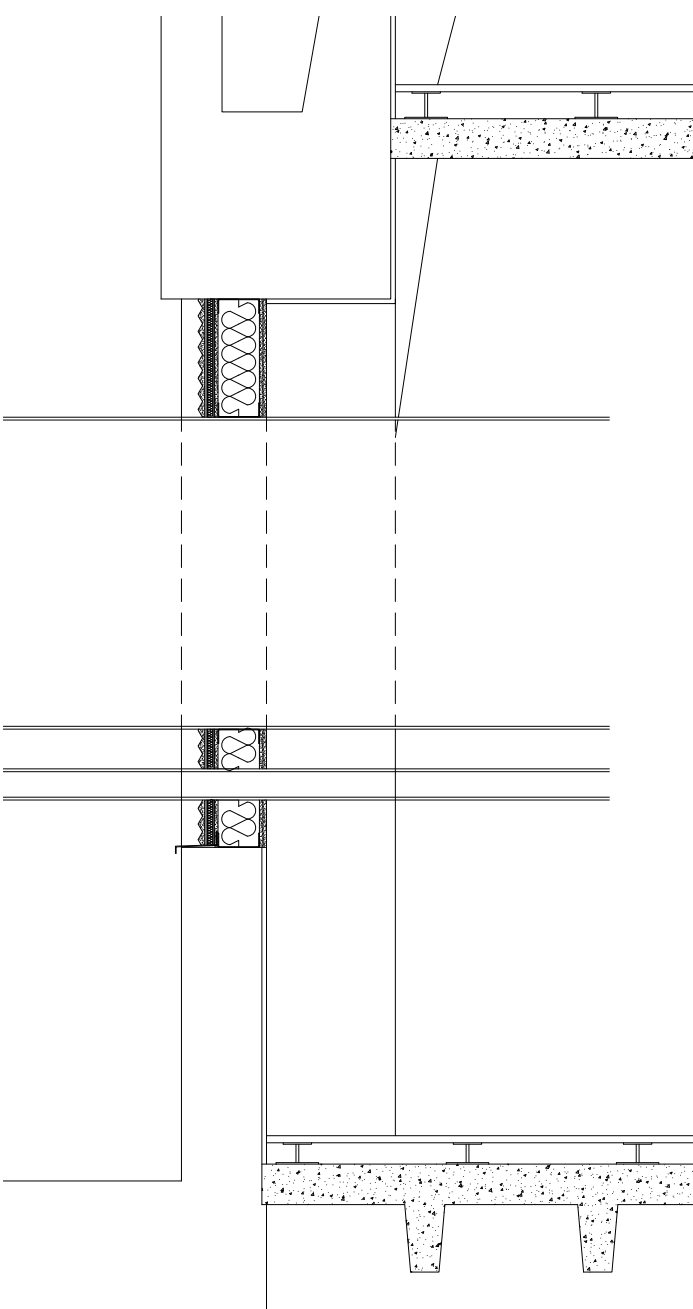
Existing and proposed elevations are drawing numbers “19023 01 AP 0020 301”, “19023 01 AP 0020 303”, “19023 01 AP 0020 305” & “19023 01 AP 0020 307”.

 Location of windows behind parapet

04.11 Ductwork Penetrations through Window

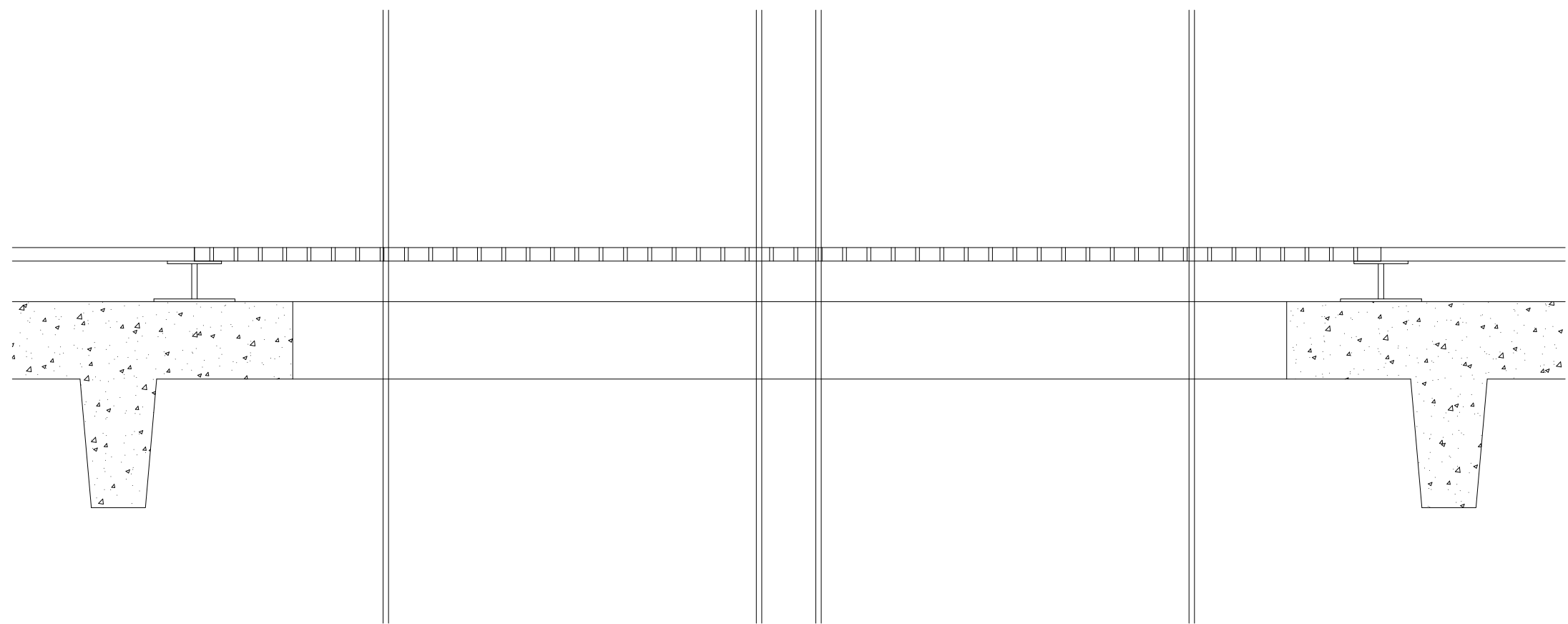


Existing Detail Section through Window (1:25 @ A3)



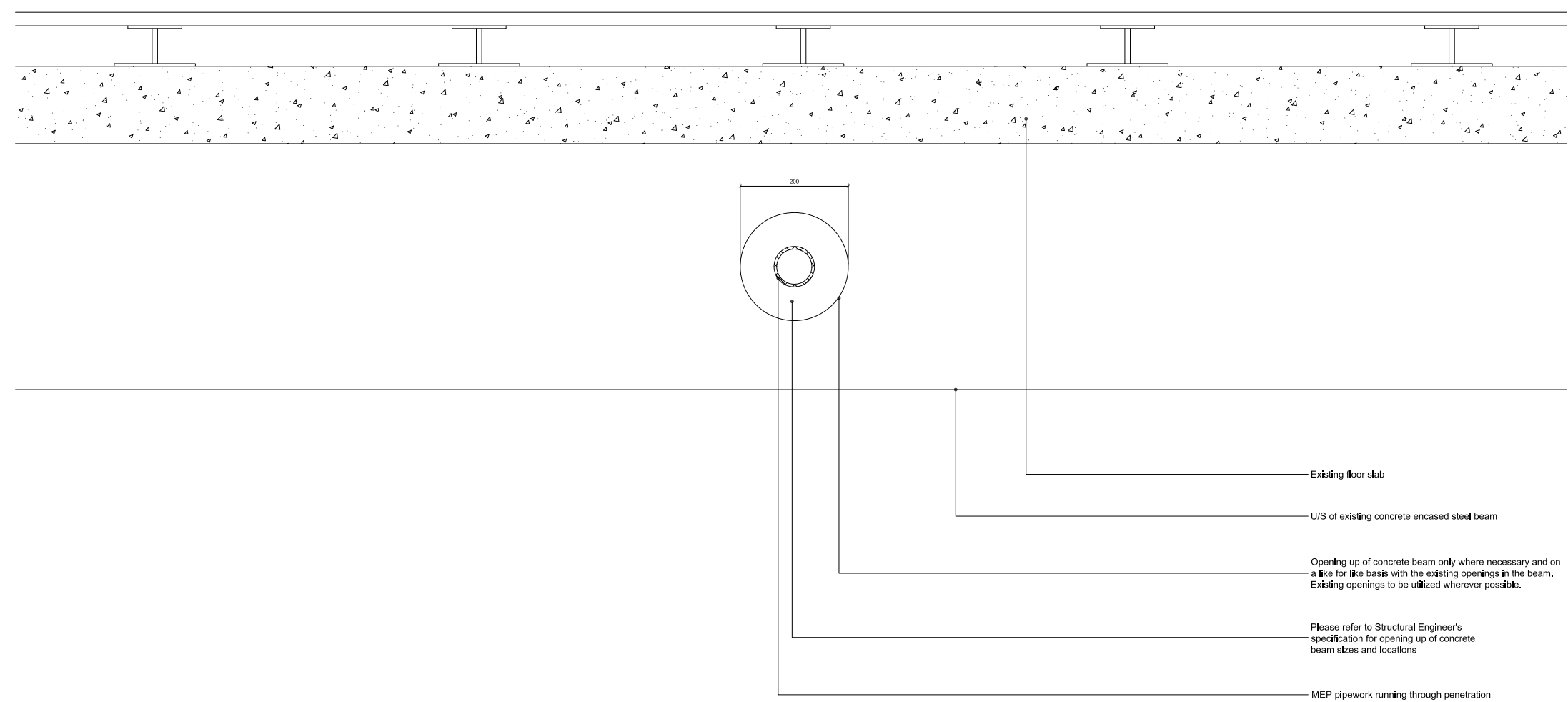
Proposed Detail Section through Window Opening with Ductwork (1:25 @ A3)

04.12 Ductwork Penetrations through Slab



Section through Ductwork and Slab Penetrations (1:10 @ A3)

04.13 Penetrations through Existing Beam



Section through Floor Slab with Opening for Pipework

05.00

Access Statement

05.01 Site, Access, Circulation and Links

40

05.01 Site, Access, Circulation and Links

Site
Victoria House is located on the East side of Bloomsbury Square, with Southampton Place to the East of the building, Vernon Place to the South, and Bloomsbury Place to the North.
The scope of this project is to utilise the 4th and 5th floors of Victoria House for the use of co-working offices, run by LABS. Access to the floors is to remain the same with ten Part M compliant lifts providing access from the Upper Ground Floor. There is level access throughout the 4th and 5th floors.
Points of Access
The principle point of access to the site for vehicles, i.e. taxi and service vehicles, will be from Bloomsbury Square, on the West side of the site.
Pedestrian access is via:
<ul style="list-style-type: none">• Bloomsbury Square: The main entrance to the building is on the West side. This is a quiet road, and it only provides access to Victoria House. This entrance leads to the main reception and two sets of four lifts allowing access to the 4th and 5th floors.• Southampton Place: This entrance to the building is on the East side of the building. The road is busy as it connects traffic from the Strand, Euston Station and Camden Town. This entrance leads to the main reception and two sets of four lifts allowing access to the 4th and 5th floors.• Vernon Place: This entrance to the building is on the South side of the building. The road is busy as it connects traffic coming from Oxford Circus and Old Street. This entrance lead to a reception lift one lift allowing access to the 4th and 5th floors. The lift is currently heavily used as it is at the entrance closest to Holborn Station, which most commuting users of the building use.• Bloomsbury Place: This entrance to the building is on the North side of the building. The road is a moderately busy secondary route in the area. This entrance leads to a reception with one lift allowing access to the 4th and 5th floors. It is currently mostly used by cyclists as it provides access to the cycle store and changing facilities.

Circulation within the Site

The main stairs and two sets of lifts are located within a short distance of the main entrance on Bloomsbury Square and Southampton Place. The lifts are the right and left of the centrally located reception, and both stairs are located to the right before the reception.

Public Transportation Links
The site is served by excellent public transport links, with both the London Underground and a series of nearby bus stops. The site is therefore easily accessible from local areas and further afield. Holborn Underground station is located a five minute walk (250m approx.) to the South of the building. The station is served by the Piccadilly (serving all routes on the line) and Central lines, serving all routes on the line. The station, at present does not have step free access from street level to platform levels.
All of the following bus services serve Southampton Row/Theobald’s Road:
<ul style="list-style-type: none">• 168: Old Kent Road to Hampstead Heath• 91: Crouch End to Whitehall• 68: Norwood to Euston• 59: Telford Avenue to Euston• 188: Greenwich to Russell Square

All of the following bus services serve Bloomsbury Square:

- 19: Finsbury Park to Battersea
- 38: Hackney to Victoria
- 55: Lea Bridge to Oxford Circus
- 98: Willesden to Bloomsbury Square

The nearest accessible National Rail stations are Euston, 1.5km North from the site, King’s Cross St Pancras Station, 2.1km North of the site

Taxi Links

The nearest Transport for London (TfL) appointed taxi rank from the site is at Russell Square 0.5km North from the site. However, digital ridesharing applications ensure that the site is well served.

Pedestrian Access

There is generally very good provision of pedestrian facilities in the vicinity of the site, with adequate width along the footways to cope with the pedestrian flows. At the junction of Vernon Place and Southampton Place there is a controlled crossing at all four corners. At the junction of Southampton Place there is a controlled crossing to the West and North of the building.

Wheelchair & Mobility Scooter Access

There is ground floor level access to the site from all directions. Surfaces along each side of the building vary from granite sets to brick with small changes in level.

Public Transportation Links
The site is served by excellent public transport links, with both the London Underground and a series of nearby bus stops. The site is therefore easily accessible from local areas and further afield. Holborn Underground station is located a five minute walk (250m approx.) to the South of the building. The station is served by the Piccadilly (serving all routes on the line) and Central lines, serving all routes on the line. The station, at present does not have step free access from street level to platform levels.
All of the following bus services serve Southampton Row/Theobald’s Road:
<ul style="list-style-type: none">• 168: Old Kent Road to Hampstead Heath• 91: Crouch End to Whitehall• 68: Norwood to Euston• 59: Telford Avenue to Euston• 188: Greenwich to Russell Square

All of the following bus services serve Bloomsbury Square:

- 19: Finsbury Park to Battersea
- 38: Hackney to Victoria
- 55: Lea Bridge to Oxford Circus
- 98: Willesden to Bloomsbury Square

The nearest accessible National Rail stations are Euston, 1.5km North from the site, King’s Cross St Pancras Station, 2.1km North of the site

Taxi Links

The nearest Transport for London (TfL) appointed taxi rank from the site is at Russell Square 0.5km North from the site. However, digital ridesharing applications ensure that the site is well served.

Pedestrian Access

There is generally very good provision of pedestrian facilities in the vicinity of the site, with adequate width along the footways to cope with the pedestrian flows. At the junction of Vernon Place and Southampton Place there is a controlled crossing at all four corners. At the junction of Southampton Place there is a controlled crossing to the West and North of the building.

Wheelchair & Mobility Scooter Access

There is ground floor level access to the site from all directions. Surfaces along each side of the building vary from granite sets to brick with small changes in level.

06.00

Services Strategy

06.01 Summary of Existing Services	43
06.02 New Installation Infrastructure Works	44
06.03 Main Plant Provisions	45
06.04 Indicative Eastern Plant Room Layout	46
06.05 Indicative Western Plant Room Layout	47
06.06 Fourth Floor Main Services Distribution Route	48
06.07 Fifth Floor Main Services Distribution Route	49
06.08 Fifth Floor High Level Services Arrangement	50

06.01 Summary of Existing Services



A Photograph of the Existing Fourth Floor Building Interior



A Photograph of the Existing Conference Space

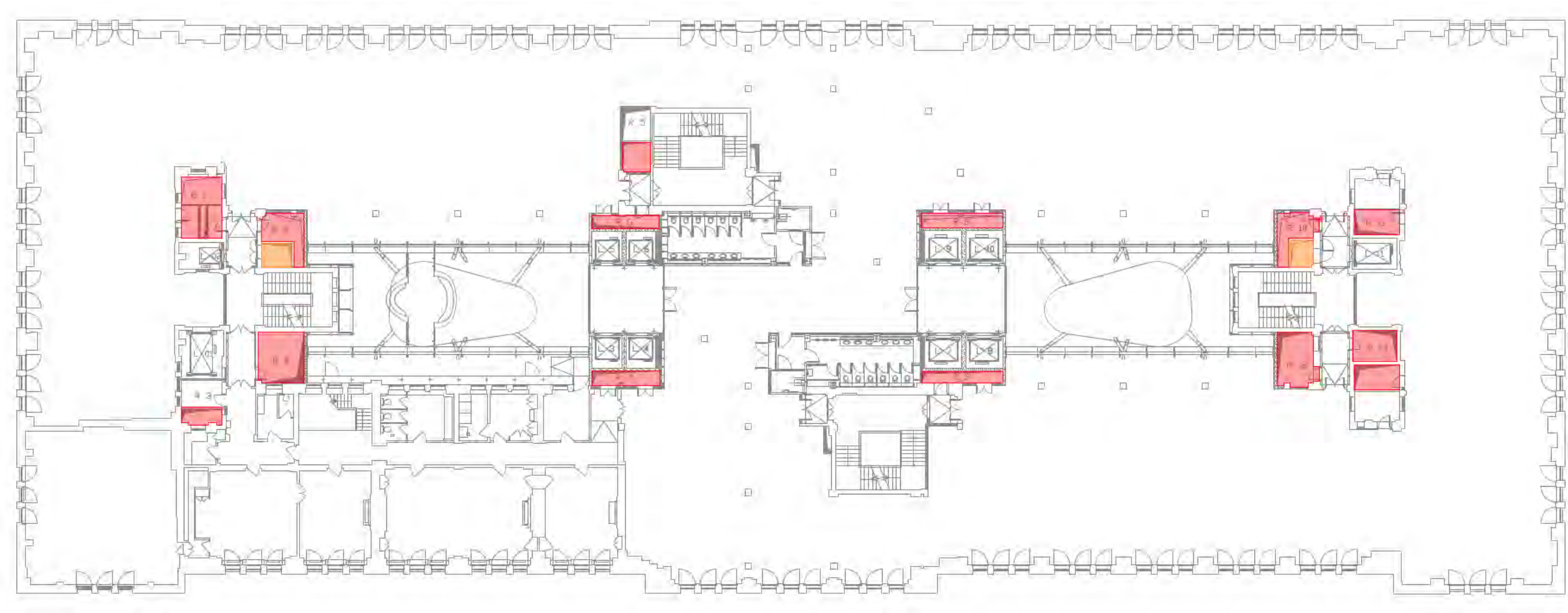
Victoria House is located on Bloomsbury Sq. and was constructed in the 1920's. It has Grade II Listing. It was significantly refurbished in 2001 and is currently operating as a multi-use building with the majority of the space being used for commercial application but with some retail and leisure at ground and lower levels. The building is arranged

over 15 stories comprising 2 basement levels, ground, upper ground, and mezzanine levels plus floor levels 1-9 and roof. This document considers the mechanical, public health and electrical services works required and implications to the base build plant provision of undertaking an enhanced Cat-A fit-out of the 4th and 5th floors commercial spaces. The remainder

of the building mostly remains in occupation. The existing building services systems to the 4th and 5th floors are to be carefully cut back, generally to riser connections and be removed and safely disposed of, with the exception of the retained elements defined i.e. services to the Heritage areas on the 4th floor. The subsequent strip-out and enabling works

installations shall encompass investigations and validations, making safe, draining down, decommissioning, isolation, and safe removal of all engineering services as required.

06.02 New Installation Infrastructure Works



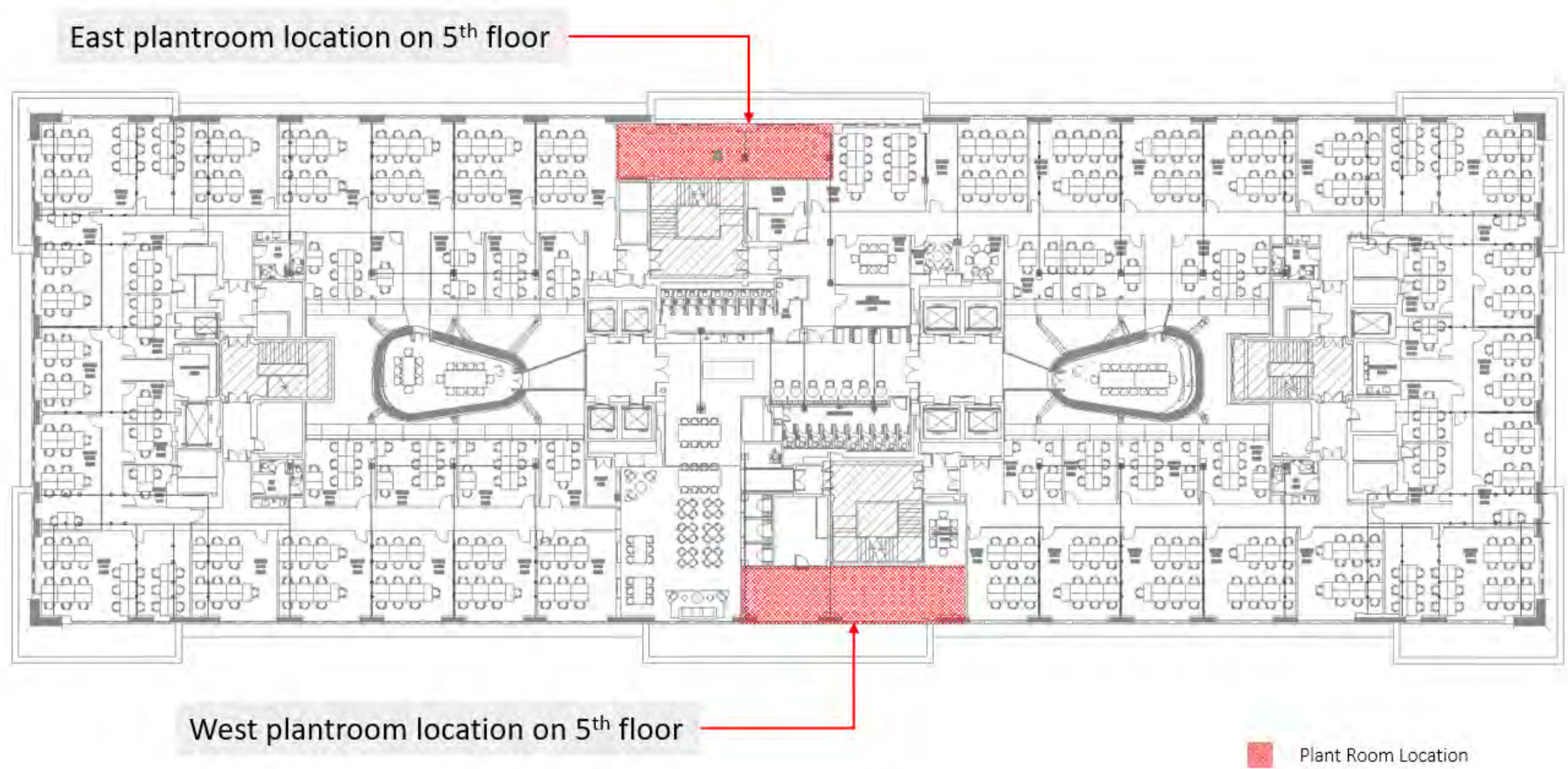
A Sketch Showing the Existing Riser Location

Existing central heating and cooling plant located at basement and roof will provide hot and cold water to the 4th and 5th Floors via connections to existing services risers. Electrical supplies for lighting and power and IT services will also be derived from existing plant and equipment and as for heating and cooling will be connected to existing services risers.

The existing ventilation systems are unable to provide sufficient air to the accommodate the required occupancy. Provision of new central plant is compounded by the continued use of the building during the works with the need to ensure no or only limited disruption to the remainder of the building occupants. Additional dedicated supply and extract ventilation plant is

therefore proposed to be located on the 5th floor and this will serve the 4th and 5th floor only.

06.03 Main Plant Provisions



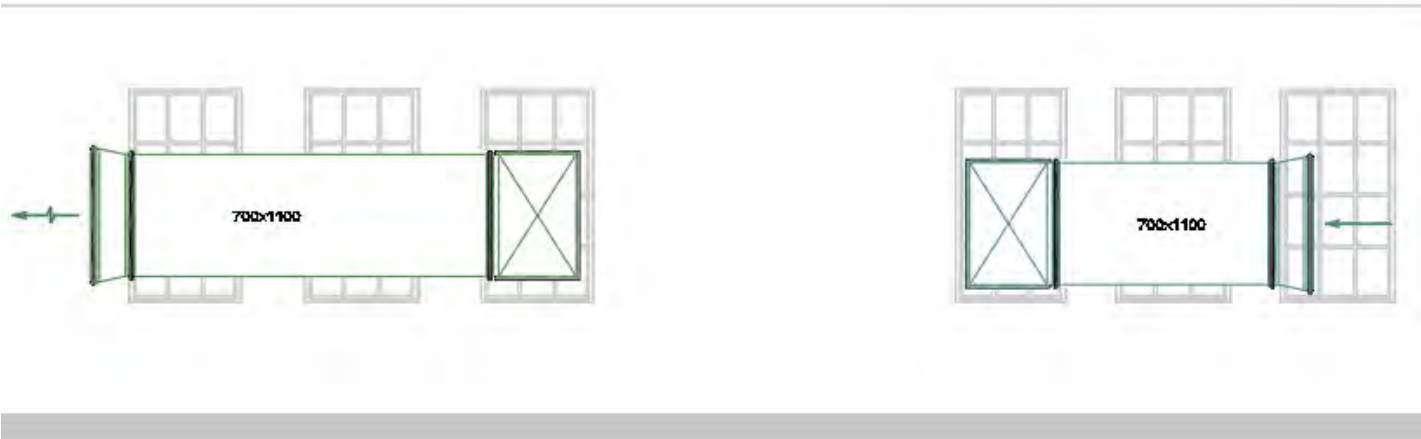
New ventilation air handling plant shall be provided on the 5th floor to provide sufficient fresh air to both the 4th floor and the 5th floor office accommodation. New on floor plant rooms shall be formed with ducted connections to atmosphere for fresh air intake and exhaust from/to the concealed external void areas behind the existing parapets. This will necessitate

the removal of existing local framing and glazing, and weather proofing around the ductwork to suit.

06.04 Indicative Eastern Plant Room Layout



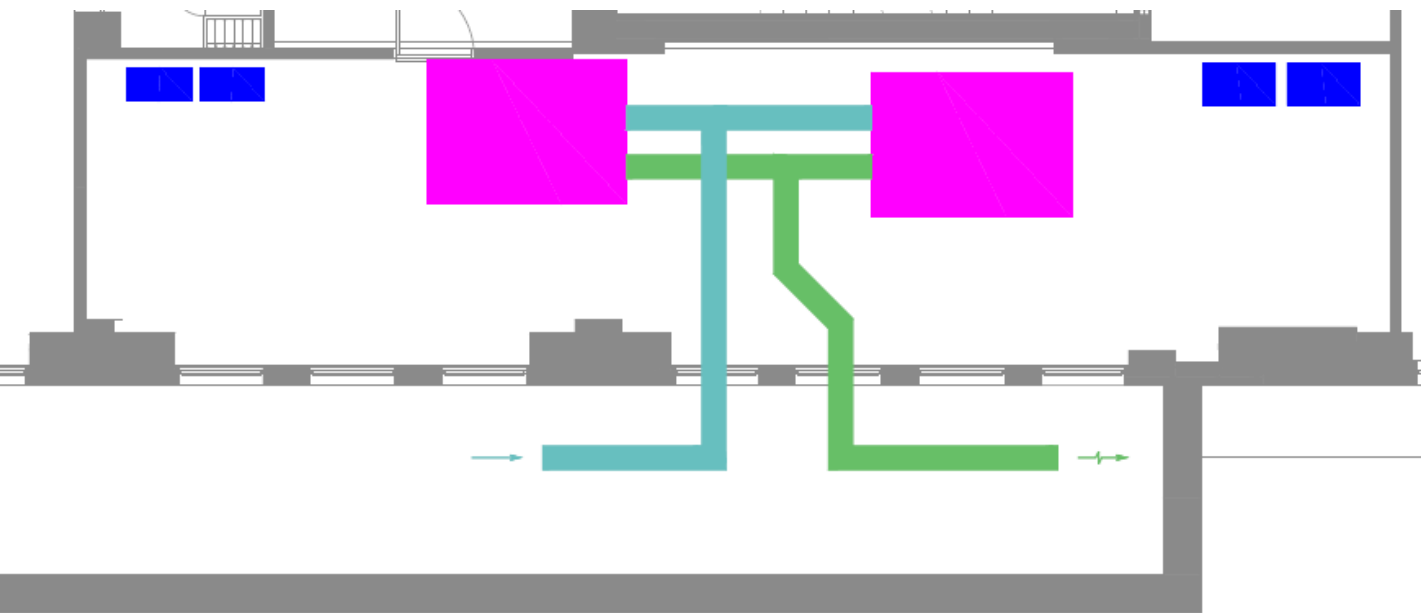
Indicative Plan of the Eastern Elevation



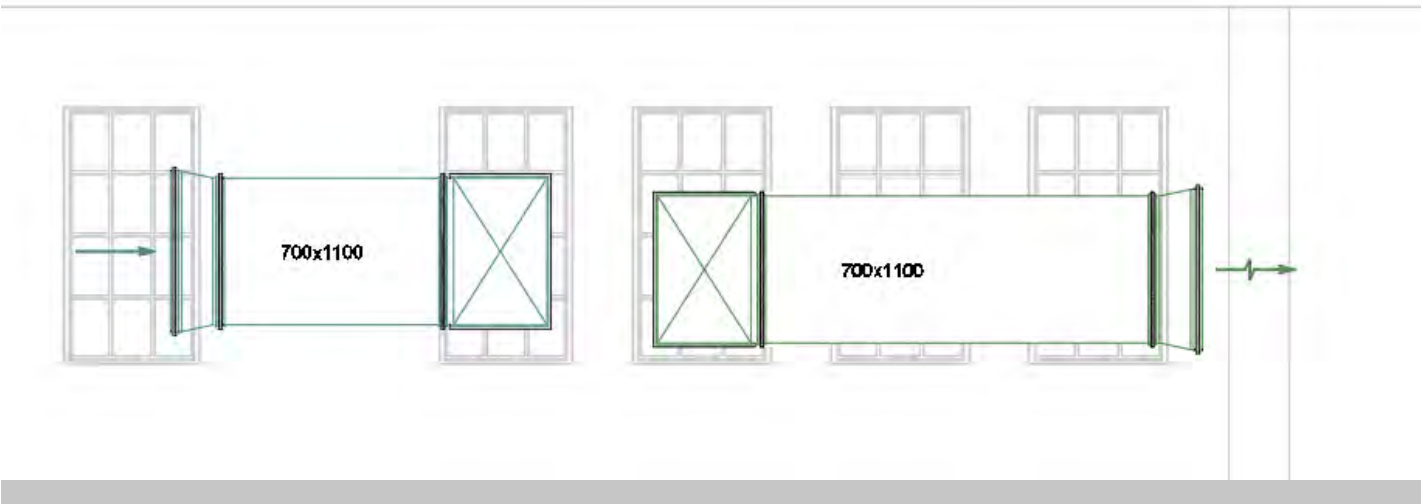
Indicative Elevation of the Eastern Elevation

- Air Handling Unit
- Builderswork Opening in Slab to Floor below
- Exhaust Ductwork
- Fresh Air Intake Ductwork

06.05 Indicative Western Plant Room Layout



Indicative Plan of the Western Elevation



Indicative Elevation of the Western Elevation

- Air Handling Unit
- Builderswork Opening in Slab to Floor below
- Exhaust Ductwork
- Fresh Air Intake Ductwork

06.06 Fourth Floor Main Services Distribution Route



For both 4th and 5th floors at floor entry and around the central core area, architecturally designed reception and break out spaces shall be provided. In these areas, services shall generally be concealed above false ceilings or concealed within services cupboards. Refer to architectural information. For the remaining commercial space, the mechanical, public

health, and electrical services the intention is to omit the existing false ceiling exposing the existing structure. New engineering services installation will be provided throughout, and these will also be exposed. As the overall aesthetic is of great importance the exposed services design solution has been developed with the client and architect.

06.07 Fifth Floor Main Services Distribution Route



It is intended that the existing raised floor installation be retained with new power and data installations installed in the void beneath. The floor is to be covered with a timber finish and power and data presentation to desks will be via flush floor grommets. Indicative mechanical and electrical layouts have been developed for a typical individual bay. And these

will be reproduced across the floor plate. Services distribution will feed out from the existing riser and new plant room locations for each quadrant and distribute at high level within the central corridor as indicated in Figure 3. For cellular office fit out each room will be fed directly off this main service route, allowing flexibility in terms of partitioning of rooms.

06.08 Fifth Floor High Level Services Arrangement



The existing gas boilers and water cooled chillers will be retained for the first phase of the works with their future replacement currently under consideration. All new pipework distribution and 4 pipe fan coil units or cassettes will be individually controlled providing room-by-room temperature adjustment. New ventilation plant shall incorporate high

efficiency heat recovery and inverter driven fans. All light fittings shall be low energy and shall predominantly utilise LED technology with occupancy sensing to ensure that lighting is only provided when necessary. Electrical metering shall be provided to indicate current and historical consumption to encourage energy conservation.

All M&E systems shall be designed and installed in accordance with Part L2B of the Building Regulations

07.00

Conclusion

07.01 Summary of Proposal

52

07.01 Summary of Proposal



Image of the Existing Building from Bloomsbury Square

The proposal is for the refurbishment of the plant rooms and penetrations to the 4th and 5th floors of Victoria House at Bloomsbury Square, Camden. The proposal is to create two new centrally located plant rooms on the east and west side of the fifth floor. The position of the plant rooms takes advantage of the over 5m external parapet that sits in front

of the windows within the plant rooms. This allows for the removal of two windows within the plant rooms without affecting the external elevations of the building. Furthermore, there are vertical penetrations through the concrete slab of the fifth floor which allows ductwork to pass through to the 4th floor. This intervention will then sufficiently provide ventilation



to both the 4th and 5th floors. The refurbishment allows LABS to run co-working office floors, whilst sensitively considering the heritage assets of the site, and bring the building up to modern standards for ventilation for an office building within the unique historic setting of the Grade II Listed Victoria House. The proposal is a light touch approach and will aim to



compliment and enhance the historic fabric with low impact construction and high-quality materials.