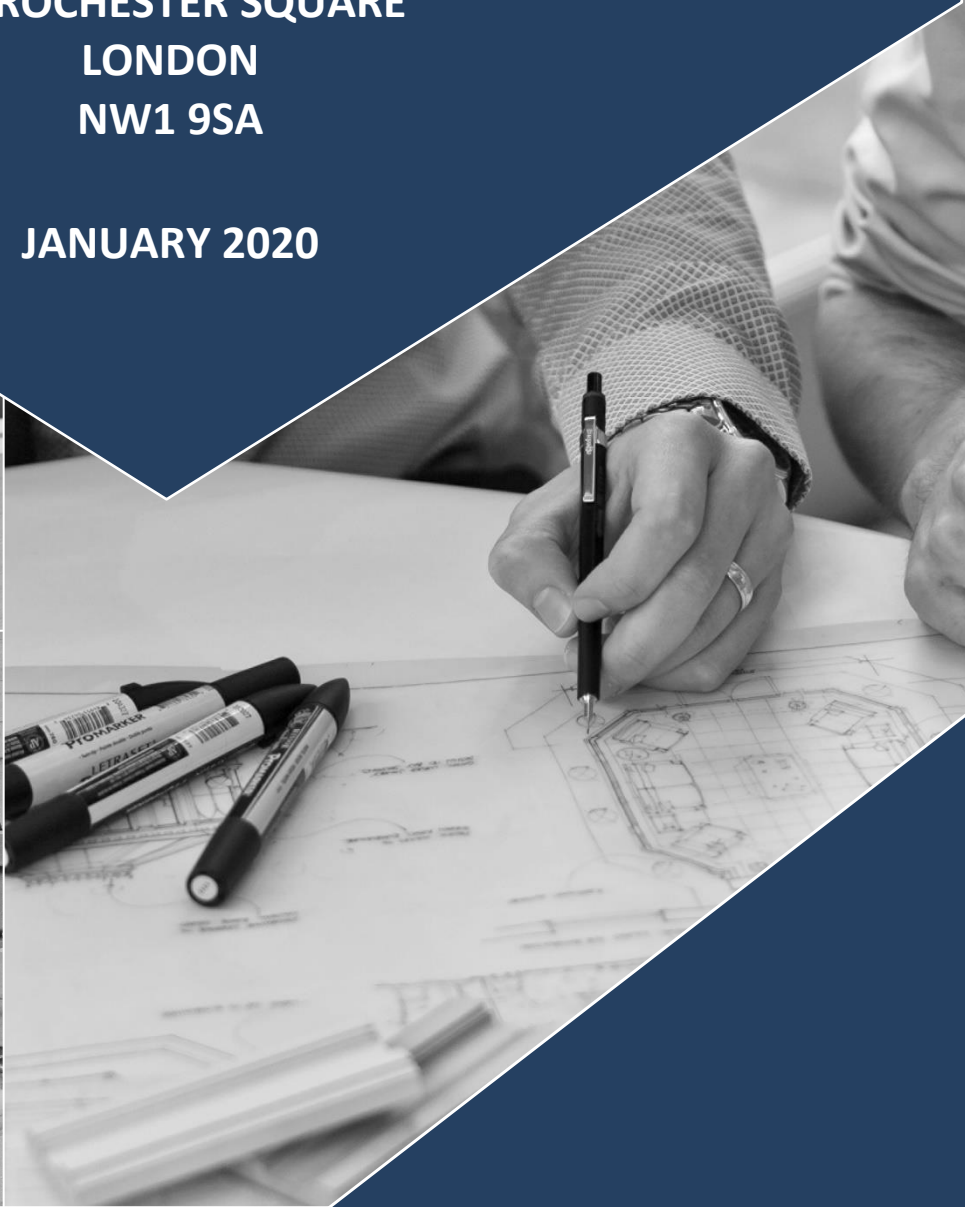


HERITAGE, DESIGN & ACCESS STATEMENT

ADDITION OF BESPOKE GARDEN ROOM AND PORCH TO:

25 ROCHESTER SQUARE
LONDON
NW1 9SA

JANUARY 2020



VALE
GARDEN
HOUSES

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1.0 INTRODUCTION

1.1 25 Rochester Square is a Victorian property located within the Camden Square Conservation Area. It is our clients' wish to add a bespoke timber and double-glazed garden room and porch to the north elevation. This report is set out to provide a brief history of 25 Rochester Square, assessing the key characteristics and how these contribute to the significance of the house and its setting and then to assess the impact of the proposed development.

2.0 NATIONAL PLANNING POLICY CONTEXT

2.1 Section 66 of the Listed Buildings and Conservation Areas Act provides a statutory duty respect of Listed Buildings for the decision maker to *"have special regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses"*.

2.2 Section 69 (1)(a) of the Planning (Listed Buildings and Conservation Areas) Act 1990 states that *"every local planning authority shall from time to time determine which parts of their area are areas of special architectural or historic interest the character or appearance of which it is desirable to preserve or enhance"*.

2.3 Section 72 of the same Act states that in exercise of planning functions *"special attention shall be paid to the desirability of preserving or enhance the character or appearance of that area"*.

2.4 Section 38(6) of the Planning & Compulsory Purchase Act 2004 states that planning applications should be determined in accordance with the Development Plan unless material considerations indicate otherwise.

2.5 Paragraph 192 of the National Planning Policy Framework (NPPF) states that an application that affects a heritage asset should be determined by taking account of the following: desirability of sustaining or enhancing the significance of the asset; the positive contribution that conservation of the asset can make to a sustainable community; and, the desirability of new development making a positive contribution to character and distinctiveness.

2.6 Paragraph 193 of the NPPF states that *"When considering the impact of a proposed development on the significance of a designated heritage asset, great weight should be given to the asset's conservation (and the more important the asset, the greater the weight should be). This is irrespective of whether any potential harm amounts to substantial harm, total loss or less than substantial harm to its significance."*

2.7 Paragraph 196 of the NPPF advises that *"Where a development proposal will lead to less than substantial harm to the significance of a designated heritage asset, this harm should be weighed against the public benefits of the proposal including, where appropriate, securing its optimum viable use."*

Paragraph 200 of the NPPF states that *“Local planning authorities should look for opportunities for new development within Conservation Areas and World Heritage Sites, and within the setting of heritage assets, to enhance or better reveal their significance. Proposals that preserve those elements of the setting that make a positive contribution to the asset (or which better reveal its significance) should be treated favourably.”*

Paragraph 201 states that *“Not all elements of a Conservation Area or World Heritage Site will necessarily contribute to its significance. Loss of a building (or other element) which makes a positive contribution to the significance of the Conservation Area or World Heritage Site should be treated either as substantial harm under paragraph 195 or less than substantial harm under paragraph 196, as appropriate, taking into account the relative significance of the element affected and its contribution to the significance of the Conservation Area or World Heritage Site as a whole.”*

LOCAL PLANNING POLICY CONTEXT

All new development within the boundary of the London Borough of Camden has to give consideration to the Local Plan 2017. This document states that the Authority are keen to promote high quality design in order to conserve and enhance the environment, especially in relation to heritage assets. In this case, the following policies are most relevant:

POLICY D1: DESIGN

The Council will seek to secure high quality design in development. The Council will require that development:

- a. respects local context and character;
- b. preserves or enhances the historic environment and heritage assets in accordance with Policy D2 Heritage;
- c. is sustainable in design and construction, incorporating best practice in resource management and climate change mitigation and adaptation;
- d. is of sustainable and durable construction and adaptable to different activities and land uses;
- e. comprises details and materials that are of high quality and complement the local character;
- f. integrates well with the surrounding streets and open spaces, improving movement through the site and wider area with direct, accessible and easily recognisable routes and contributes positively to the street frontage;
- g. is inclusive and accessible for all;
- h. promotes health;
- i. is secure and designed to minimise crime and antisocial behaviour;
- j. responds to natural features and preserves gardens and other open space;
- k. incorporates high quality landscape design (including public art, where appropriate) and maximises opportunities for greening for example through planting of trees and other soft landscaping,
- l. incorporates outdoor amenity space;

- m. preserves strategic and local views;
- n. for housing, provides a high standard of accommodation; and
- o. carefully integrates building services equipment.

The Council will resist development of poor design that fails to take the opportunities available for improving the character and quality of an area and the way it functions.

Tall buildings

All of Camden is considered sensitive to the development of tall buildings. Tall buildings in Camden will be assessed against the design criteria set out above and we will also give particular attention to

- p. how the building relates to its surroundings, both in terms of how the base of the building fits in with the streetscape and how the top of a tall building affects the skyline;
- q. the historic context of the building's surroundings;
- r. the relationship between the building and hills and views;
- s. the degree to which the building overshadows public spaces, especially open spaces and watercourses; and
- t. the contribution a building makes to pedestrian permeability and improved public accessibility.

In addition to these design considerations tall buildings will be assessed against a range of other relevant policies concerning amenity, mixed use and sustainability.

Public art

The Council will only permit development for artworks, statues or memorials where they protect and enhance the local character and historic environment and contribute to a harmonious and balanced landscape design.

Excellence in design

The Council expects excellence in architecture and design. We will seek to ensure that the significant growth planned for under Policy G1 Delivery and location of growth will be provided through high quality contextual design.

POLICY D2: HERITAGE

The Council will preserve and, where appropriate, enhance Camden's rich and diverse heritage assets and their settings, including conservation areas, listed buildings, archaeological remains, scheduled ancient monuments and historic parks and gardens and locally listed heritage assets.

Designated heritage assets

Designated heritage assets include conservation areas and listed buildings. The Council will not permit the loss of or substantial harm to a designated heritage asset, including conservation areas and Listed Buildings, unless it can be demonstrated that the substantial harm or loss is necessary to achieve substantial public benefits that outweigh that harm or loss, or all of the following apply:

- a. the nature of the heritage asset prevents all reasonable uses of the site;
- b. no viable use of the heritage asset itself can be found in the medium term through appropriate marketing that will enable its conservation;
- c. conservation by grant-funding or some form of charitable or public ownership is demonstrably not possible; and
- d. the harm or loss is outweighed by the benefit of bringing the site back into use.

The Council will not permit development that results in harm that is less than substantial to the significance of a designated heritage asset unless the public benefits of the proposal convincingly outweigh that harm.

Conservation areas

Conservation areas are designated heritage assets and this section should be read in conjunction with the section above headed 'designated heritage assets'. In order to maintain the character of Camden's conservation areas, the Council will take account of conservation area statements, appraisals and management strategies when assessing applications within conservation areas.

The Council will:

- e. require that development within conservation areas preserves or, where possible, enhances the character or appearance of the area;
- f. resist the total or substantial demolition of an unlisted building that makes a positive contribution to the character or appearance of a conservation area;
- g. resist development outside of a conservation area that causes harm to the character or appearance of that conservation area; and
- h. preserve trees and garden spaces which contribute to the character and appearance of a conservation area or which provide a setting for Camden's architectural heritage.

Listed Buildings

Listed buildings are designated heritage assets and this section should be read in conjunction with the section above headed 'designated heritage assets'. To preserve or enhance the borough's listed buildings, the Council will:

- i. resist the total or substantial demolition of a listed building;

- j. resist proposals for a change of use or alterations and extensions to a listed building where this would cause harm to the special architectural and historic interest of the building; and
- k. resist development that would cause harm to significance of a listed building through an effect on its setting.

Archaeology

The Council will protect remains of archaeological importance by ensuring acceptable measures are taken proportionate to the significance of the heritage asset to preserve them and their setting, including physical preservation, where appropriate.

Other heritage assets and non-designated heritage assets

The Council will seek to protect other heritage assets including non-designated heritage assets (including those on and off the local list), Registered Parks and Gardens and London Squares. The effect of a proposal on the significance of a non-designated heritage asset will be weighed against the public benefits of the proposal, balancing the scale of any harm or loss and the significance of the heritage asset.

3.0 HISTORY AND SIGNIFICANCE OF 25 ROCHESTER SQUARE

- 3.1 25 Rochester Square is a Victorian property, dating back to the 1840s, and lies within the Camden Square Conservation Area.
- 3.2 Camden Square Conservation Area was first designated in 1974 and included Camden Square and Rochester Square; the boundary has since been extended.
- 3.3 The properties on Rochester Square typically have small front gardens with three principal floors above raised basements. Some damage occurred to Rochester Square during WWII when a bomb was dropped to the south west of the square. This area was replaced with an area of tall housing blocks.
- 3.4 25 Rochester Square previously comprised two self-contained properties, one on the lower ground floor and the other made up of the ground, first and second floors. The property has since been returned to single residential use. A rear extension has also been built in the form of a lean-to addition. The proposed garden room would attach to this existing lean-to extension.
- 3.5 It can be fairly summarised that with respect to the heritage asset that is 25 Rochester Square, the principal areas of significance are with its setting and location, rather than any particular merit or value of the property itself.

3.6 This is an example of how a building has been developed from its origins to follow the changing needs of the respective owners, all showing that 25 Rochester Square can successfully accommodate appropriate and considered change as it continues to evolve.



Existing lean-to extension

Fig. 1 – Rear elevation of 25 Rochester Square

4.0 HISTORIC MAPS

4.1 At the beginning of the 19th Century, Ordnance Survey began to map and publish their first series of maps for the country on a County by County basis. 25 Rochester Square was included on a c.1873 map as shown in fig. 2 below. A clearer identification of 25 Rochester Square can be seen in the 1916 & 1970 OS maps (*fig. 3 & 4*). Satellite imagery shows the layout of the site as it stands today (*fig. 5*).



Fig. 2 – 1873 OS map showing 25 Rochester Square



Fig. 3 – 1916 OS map showing 25 Rochester Square

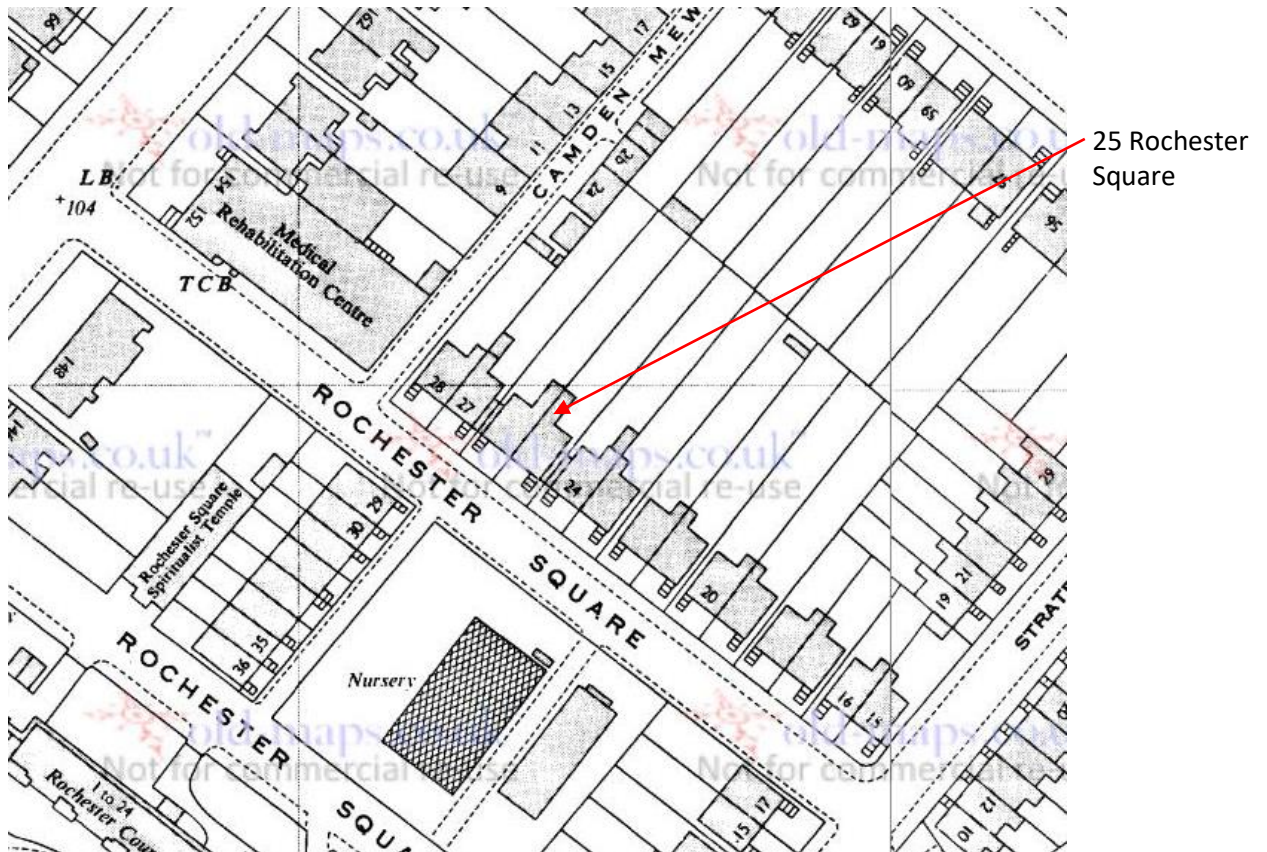


Fig. 4 – 1970 OS map showing 25 Rochester Square



Fig. 5 – Satellite imagery of the site

5.0 IMPACT OF PROPOSED GARDEN ROOM

- 5.1 It is proposed to add a bespoke timber and double-glazed garden room and porch to the north elevation of 25 Rochester Square. The garden room would attach to the existing lean-to extension. The glazed lean-to porch would also attach to the existing extension and would be used to provide shelter above the steps from the kitchen door down into the garden.



Fig. 6 – Rear steps leading from the kitchen into the garden.

- 5.2 The proposed siting for the garden room and porch is considered the most appropriate and sympathetic, having the least amount of impact on the host building. The scale and location of the proposed garden room have been carefully considered in terms of what is both practical and sympathetic to property and the surrounding area. Most significantly the development would not extend beyond the rear line of the neighboring property's pre-existing extension.

- 5.3 Furthermore, the 'traditional' use of materials reflects those that are found on the site and in the area generally. This allows for the garden room to sit comfortably against the main building and its environs, whilst remaining clearly discernible as a different phase of construction of the building.
- 5.4 Being contained within the large private site of the building and in an area of the property appropriate for such an extension, the proposed garden room and porch would have no visual impact upon the public realm or neighbourhood. The proposal would alter the appearance of a small part of 25 Rochester Square however, as a result of its considered and sympathetic design, it is felt that the proposal should be seen as an enhancement to the surrounding area which ultimately enriches the heritage asset and boosts the functionality of the property for many years to come.

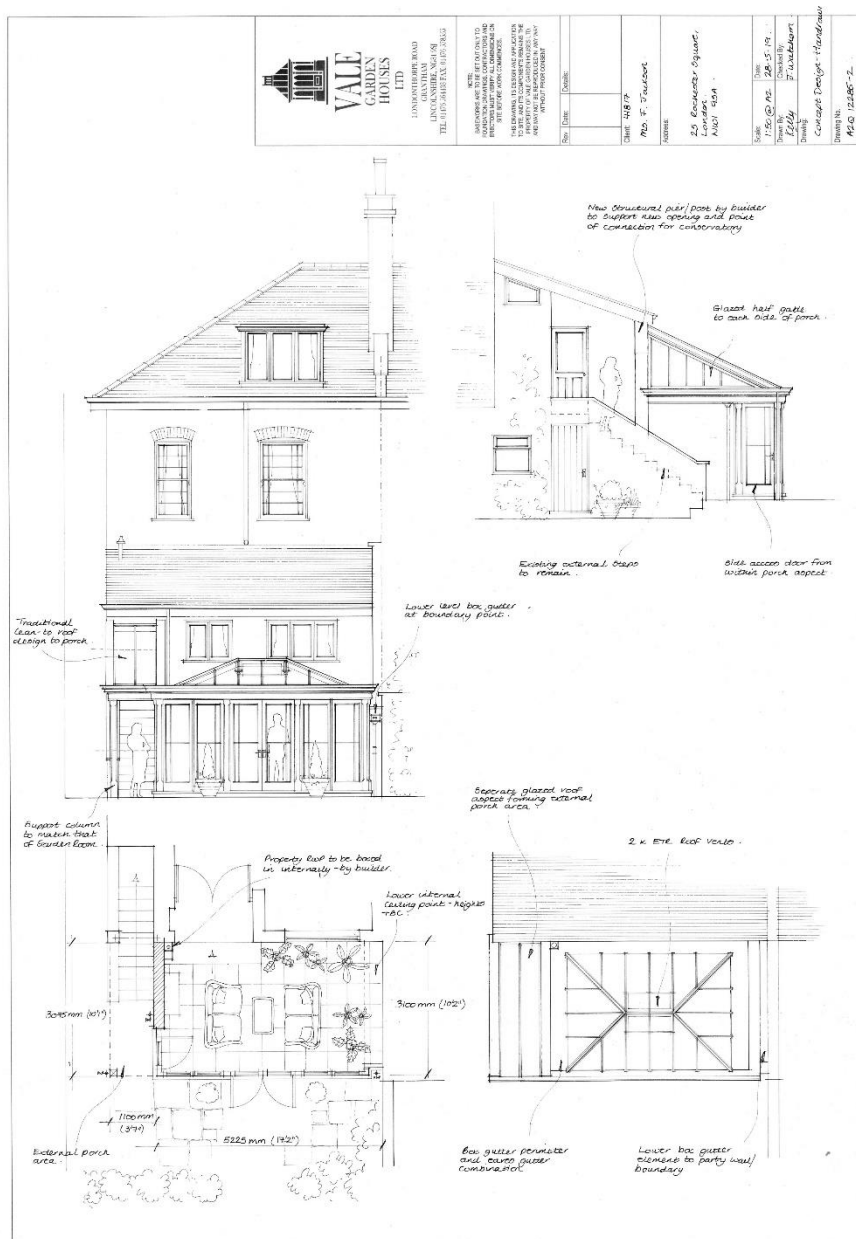


Fig. 7 – Concept drawing of proposed garden room and porch

6.0 DESIGN COMPONENTS

Use

- 6.1 The garden room is designed to be used as a year-round seating area and will provide the owners with a well-insulated and useable space in which they can enjoy the private gardens. The existing layout of the property means that in order to bring food to the dining room from the kitchen, the owners have to pass through a family space and entrance hall.

Scale

- 6.2 The garden room projects 3100mm from the rear elevation and will be 5225mm wide. The proposed porch projects 3075mm and is 1100mm wide.

Appearance

- 6.3 The garden room has an inset glazed roof to limit the overall impact on the property; the porch is of a lean-to glazed design. The windows are of a margin design which complement the existing house and the garden room will be in a painted finish. Traditional joinery methods are used throughout the construction of the garden room and porch from a combination of Douglas fir and Sapele mahogany all set on hardwood cills.

Access

- 6.4 Vehicular access to 25 Rochester Square remains as existing and is unaffected by the proposed works. Pedestrian access to the proposed garden room would be via an existing double door set. One set of double doors are provided to facilitate access to the garden.



Fig. 8 – Existing double doors which would provide access into the proposed garden room

Manufacture and installation

- 6.5 Vale Garden Houses adopt a unique manufacturing approach, in that every project is assembled entirely as a dry-fit in the factory before painting and delivery for installation. This process ensures great accuracy of fit, and eliminates unnecessary works on site, which in turn minimises stress or damage to the fabric of the host building.



Fig. 9 & 10 – General Photos of Vale Garden Houses factory assembly hall

7.0 CONCLUSION

- 7.1 Vale Garden Houses have a reputation for designing and building the highest quality conservatories and orangeries. All materials and workmanship throughout the structure will be of the highest quality and it is not intended to compromise with any aspect of the infrastructure or finishes in any way.
- 7.2 This proposal is intended to conserve and enhance the property and the surrounding area, taking account of local building traditions and materials. The scale, density, massing, height, landscape, layout and access of the proposal have been considered to ensure that the development blends well with the site and its surroundings.
- 7.3 It is considered that the level of impact, when considered in light of the sympathetic design of the proposed garden room and porch and the general character and appearance of the 25 Rochester Square, is limited. The changes proposed; by virtue of their scale and the nature of their impact on the listed building constitute no harm for the purposes of the NPPF and Local Plan Policies.