

fieldwork

24 Highgate West Hill Road

Planning Design Report - February 2020

C o n t e n t s

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01. Site + Existing Building
.....

02. Development
.....

03. Proposal
.....

04. Conclusion
.....

Site

01.1 Context



Towards Highgate Village



Towards Hampstead Heath



Hamstead Heath
Bathing Pond

Millfields Lane

Millfields Place

Hampstead West Hill

Makepeace Avenue

Towards Kentish Town



Fieldwork Architects Ltd has been instructed to prepare a Full Planning Application for a high quality replacement of an existing non-period and dilapidated roof extension to 24 Highgate West Hill. The new extension will provide improved access to the current roof terrace above and a new building envelope to meet current building regulations.

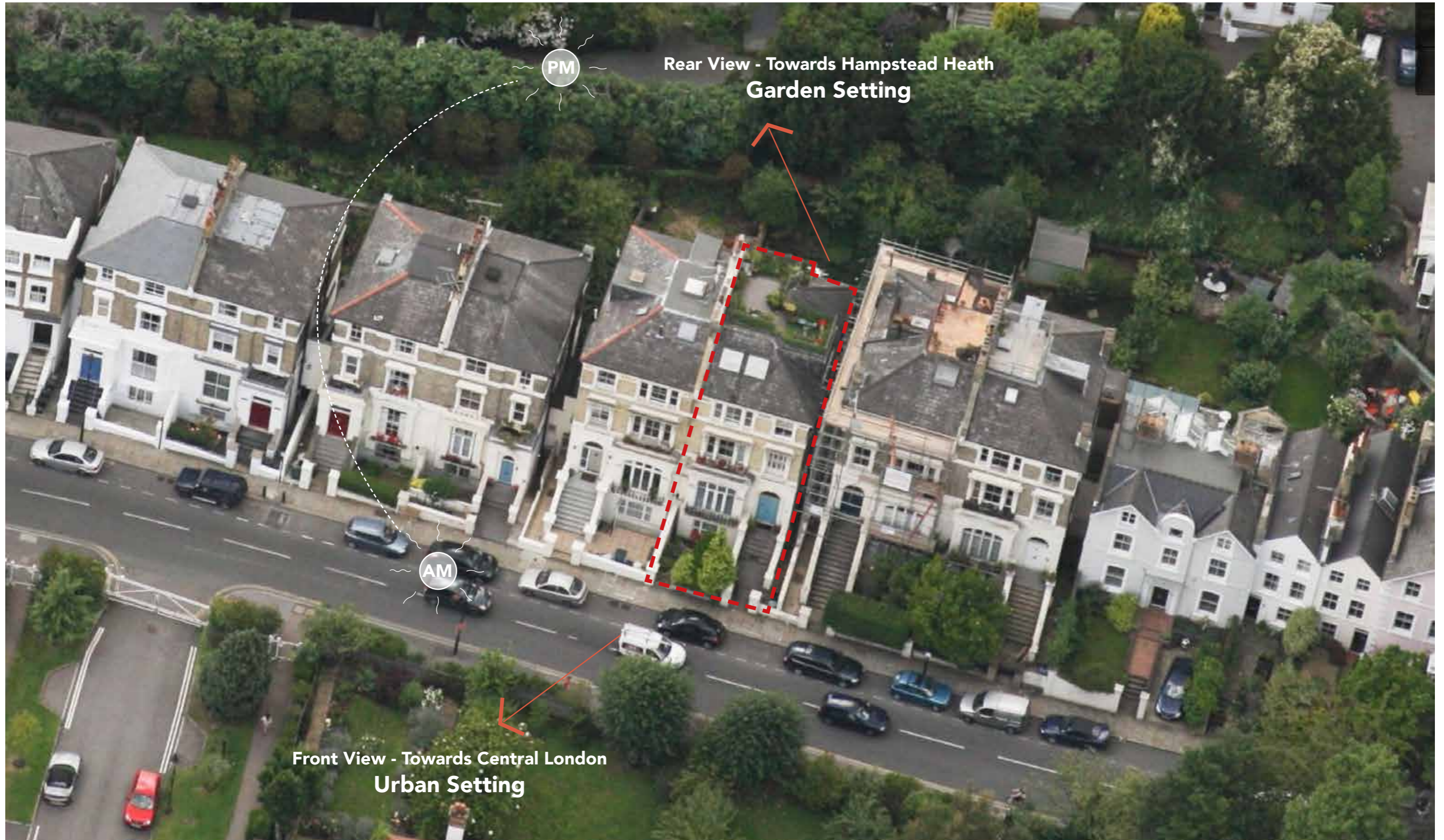
This proposal is for the development to the upper floor of a three storey maisonette flat within semi-detached Victorian townhouse.

We recognise that the building sits on the boundary of Highgate's Conservation Area alongside Hampstead Heath. Our approach towards the proposal aims to improve the appearance of the roof extension on the property whilst aiming to enhance the characteristics of the surrounding area through quality architectural design.

This document provides a diagrammatic explanation of the proposed scheme, evaluated against the constraints of the site, location and planning policy. A separate planning and heritage statement is provided with written justification against policy.

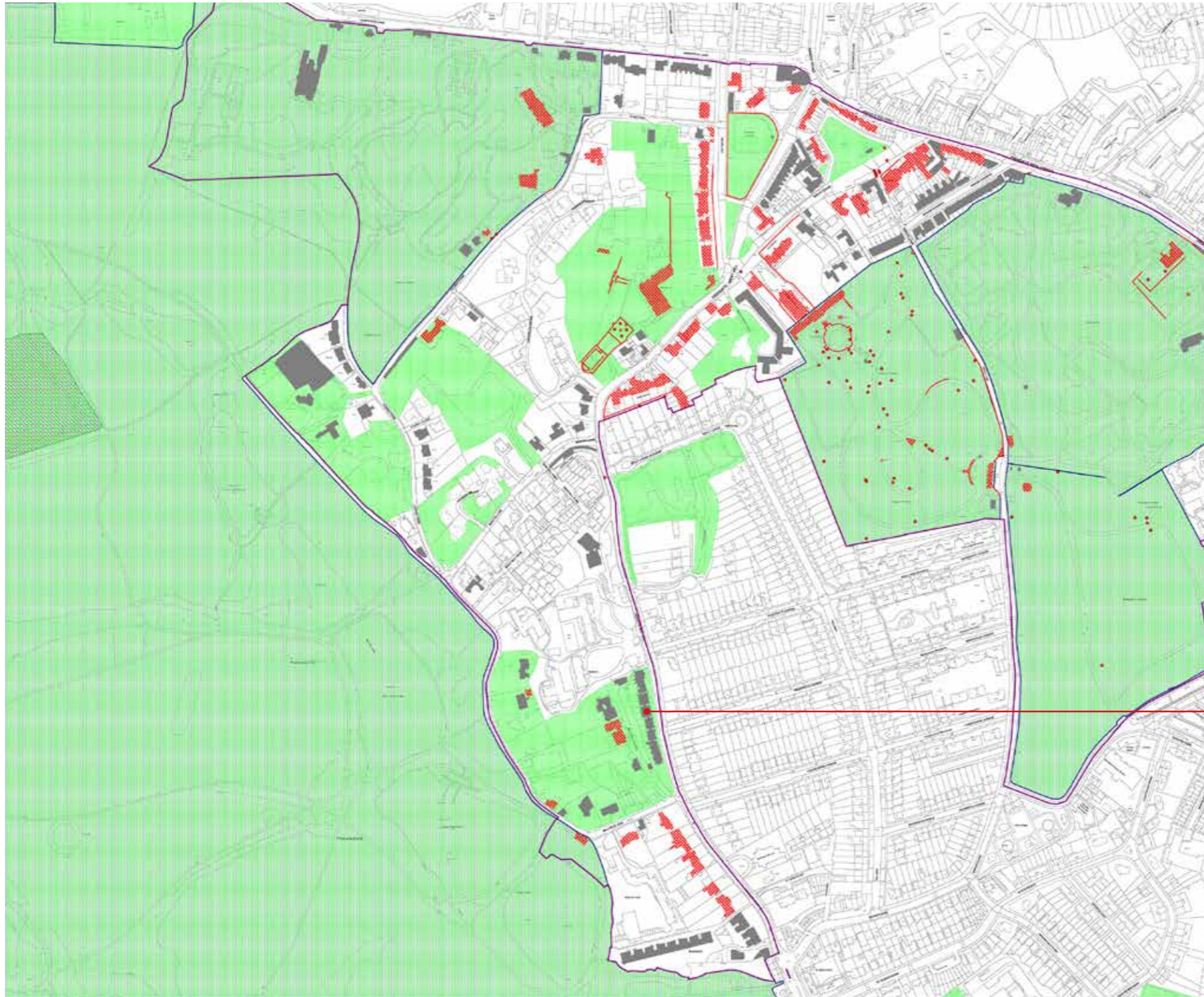
Site

01.2 Location



Site

01.3 Current Context



24 Highgate West Hill
(Site)

The site is located in the Highgate Conservation area, indicated in blue adjacent.

Highgate West Hill extends from the centre of Highgate village down towards Kentish Town. The site is on the outskirts of the Camden Highgate Village conservation area towards the lower portion of the road which runs adjacent to Hampstead Heath.

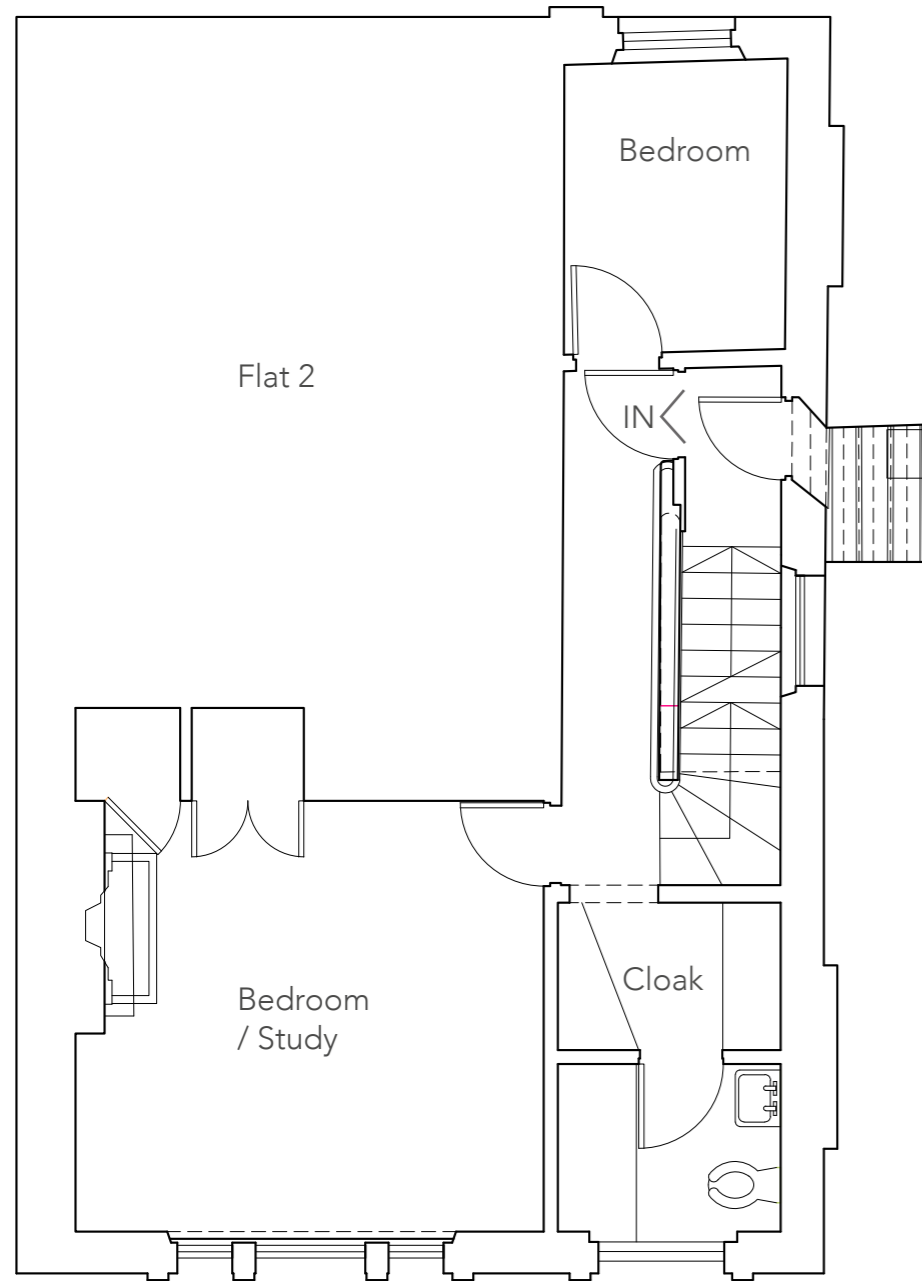
Whilst the immediate surroundings are residential, the proximity to Hampstead Heath and the sloping position of the road allows for views towards central London to the front and Hampstead heath to the rear.

It is noted that the property sits within an area of designated Open Space and as such the existing garden and roof terrace reflect the greenery opposite.

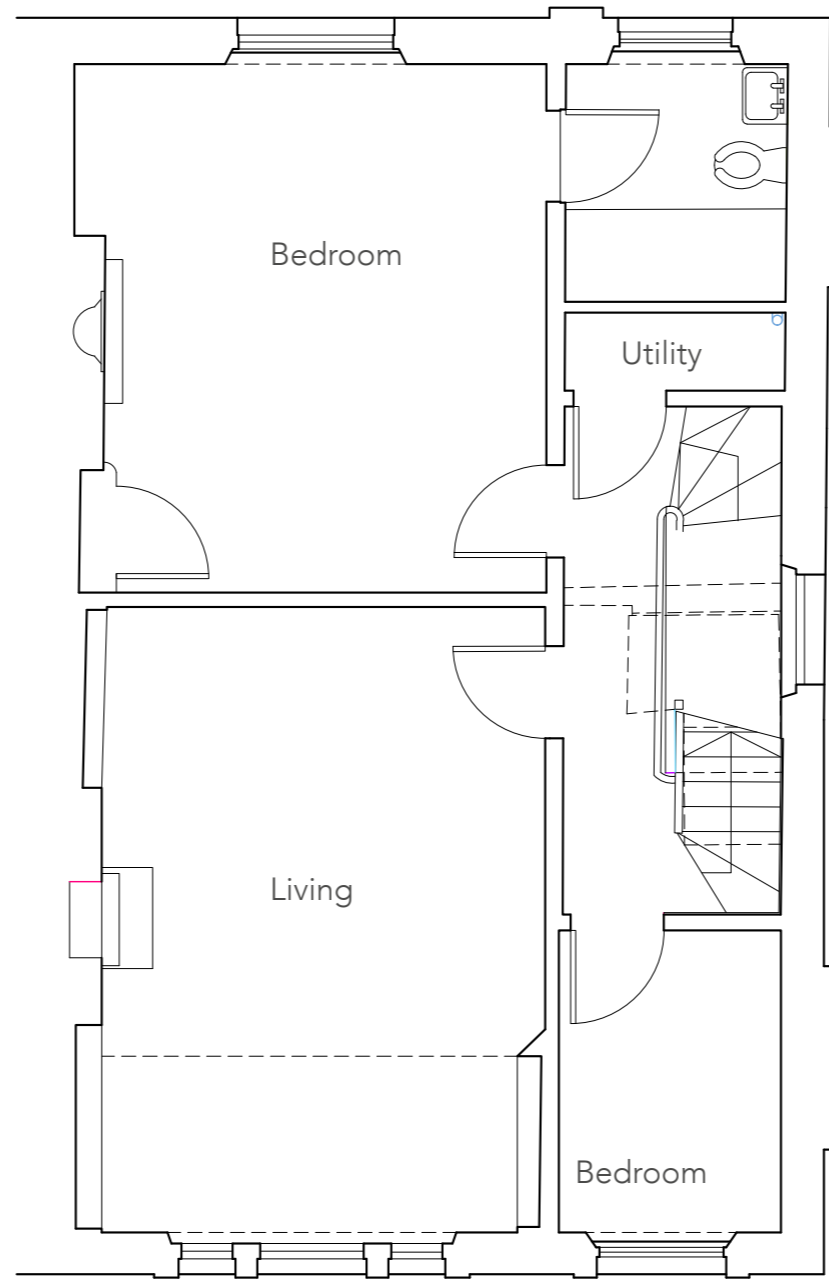
- Listed Building
- Highgate Village Conservation Area
- Open Space
- Open Space Metropolitan Open Land
- Open Space Ancient Woodland
- Open Space SSSI
- Positive Buildings

Plans

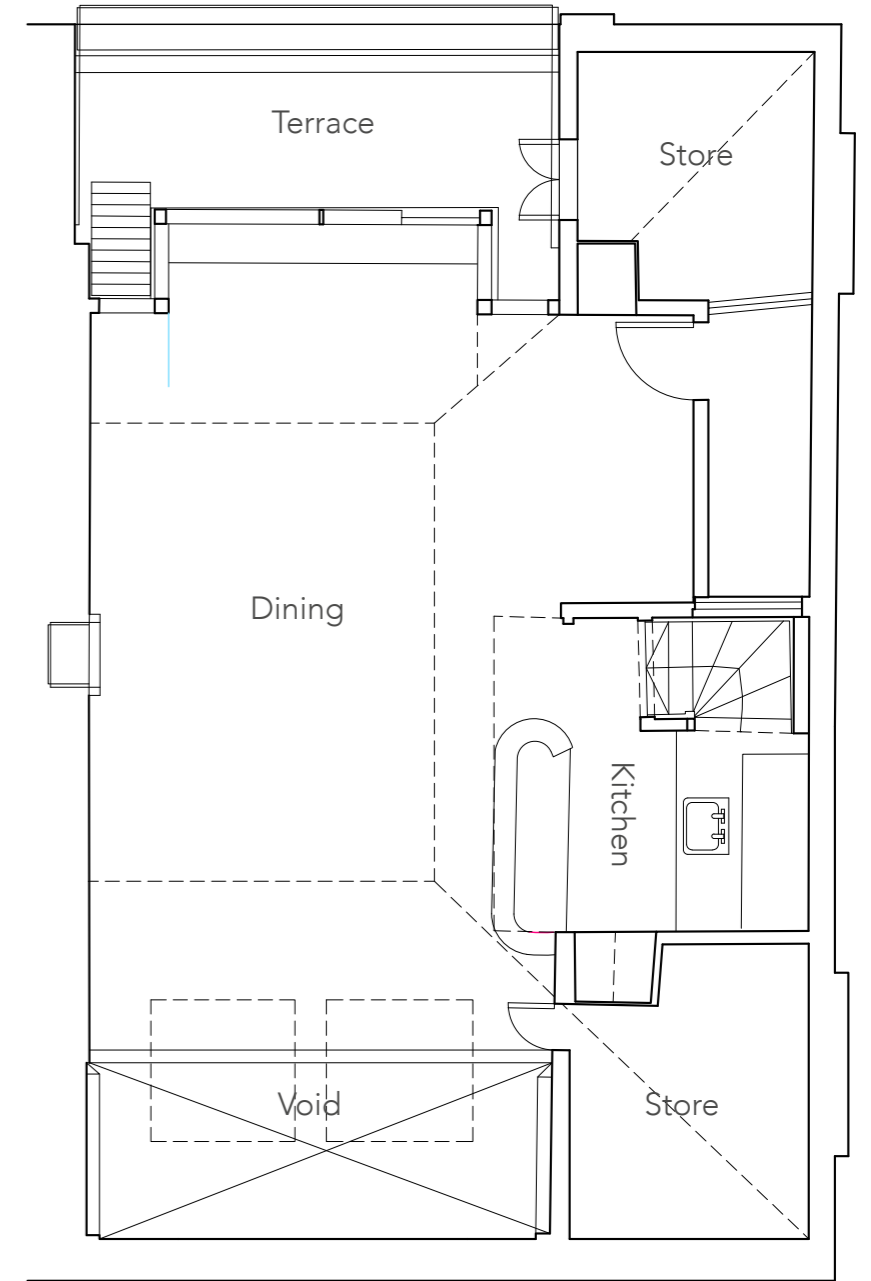
01.4 Existing Floor Plans



First Floor Plan



Second Floor Plan



Third Floor Plan

Elevations

01.5 Existing Elevations

Property Boundary



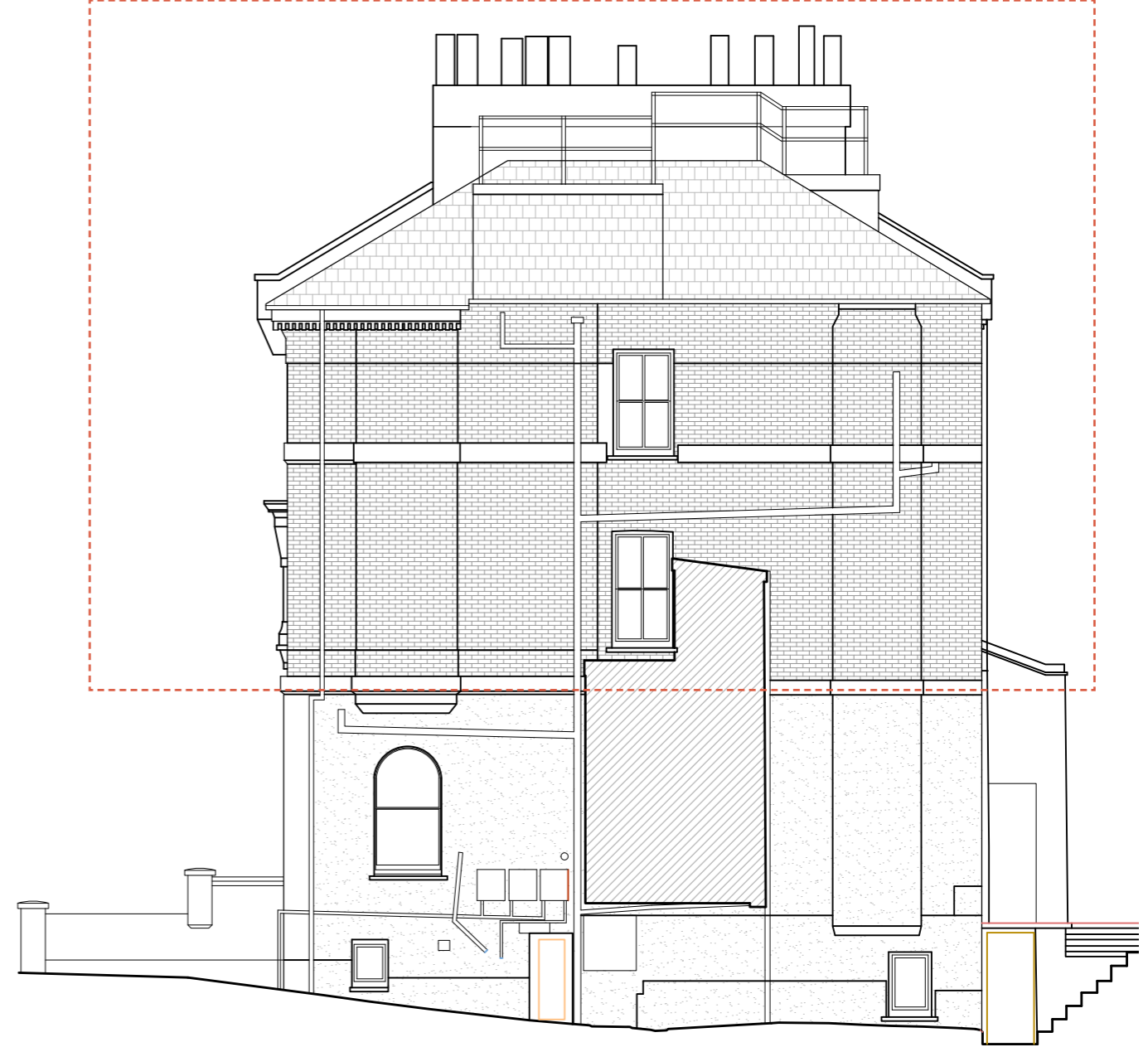
Front Elevation

Property Boundary



Rear Elevation

Property Boundary



Side Elevation

Street Views

01.6 Towards Highgate Village



24 West Hill

Street Views

01.7 Towards Kentish Town

Existing extension and balustrade visible (No.24 - Site)



24 West Hill

Roof Views

01.8 Existing Roof Extension and Ter-



Rear Terrace and extension - Dilapidated and unsightly materials and execution



Rear Terrace and extension - Dilapidated and unsightly materials and execution



Interior view to rear



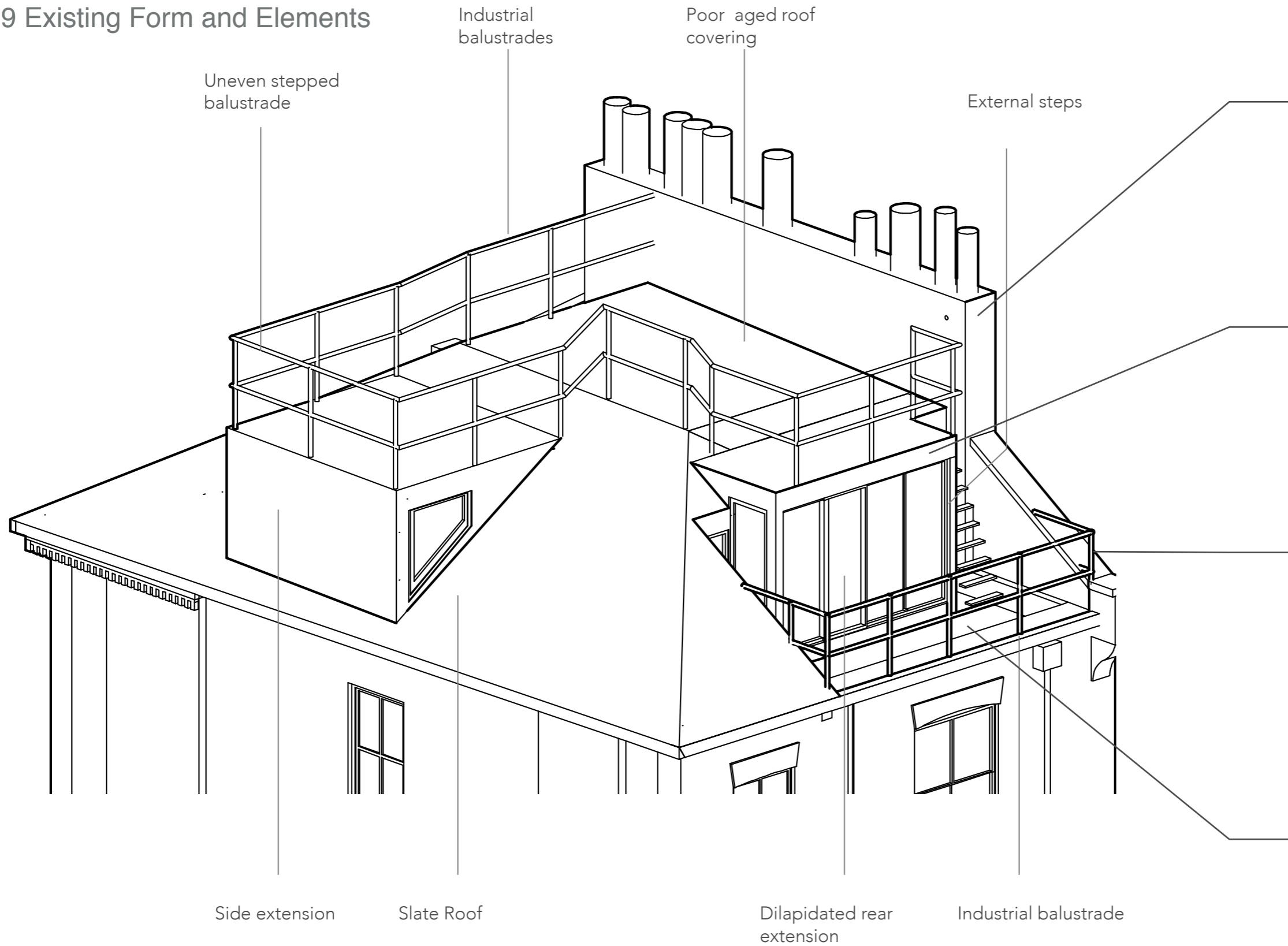
Industrial balustrade and fall protection. High water egress risk and damage to roof covering



Industrial balustrade with no fall protection provided

Roof

01.9 Existing Form and Elements



Original London Brick



Rear Extension



Roof Terrace Balustrade

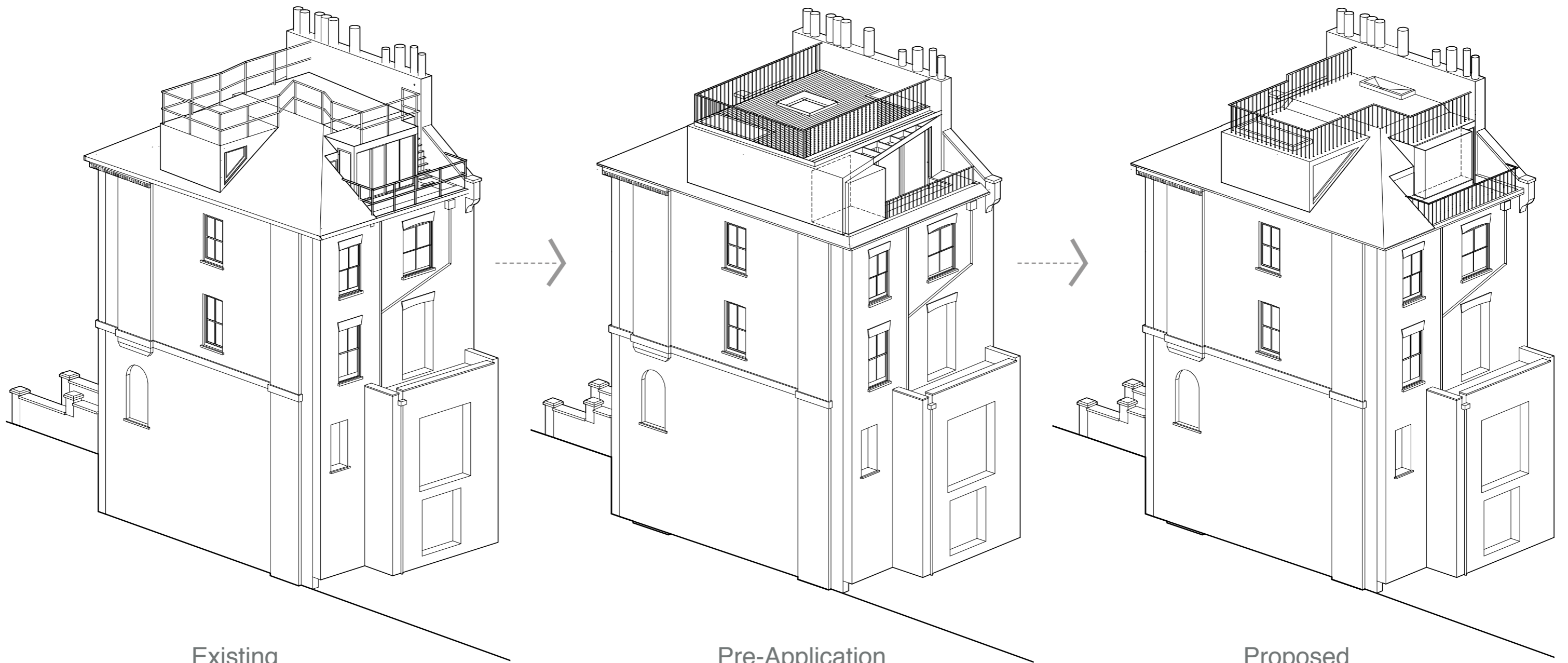


Terrace

Development

02.1 Pre Application Advice

Pre Application advice (2019/5181/PRE) was sought to better inform the proposal for a planning submission. The original proposal sought to extend the roof space and remove the hipped roof to create a boxed window seat. Following advice, the proposal retains the hipped roof to the rear and maintains the subservient nature of the dormers by lowering these below the ridge line. whilst centralising the side dormer away from the front elevation to reduce impact visual impact as recommended. The rear dormer extends to the footprint of the existing glazing and is reduced on either side to minimise any visual impact further. Materials have been chosen to match the existing roof and access has been improved to the roof terrace as welcomed within the pre-application report.



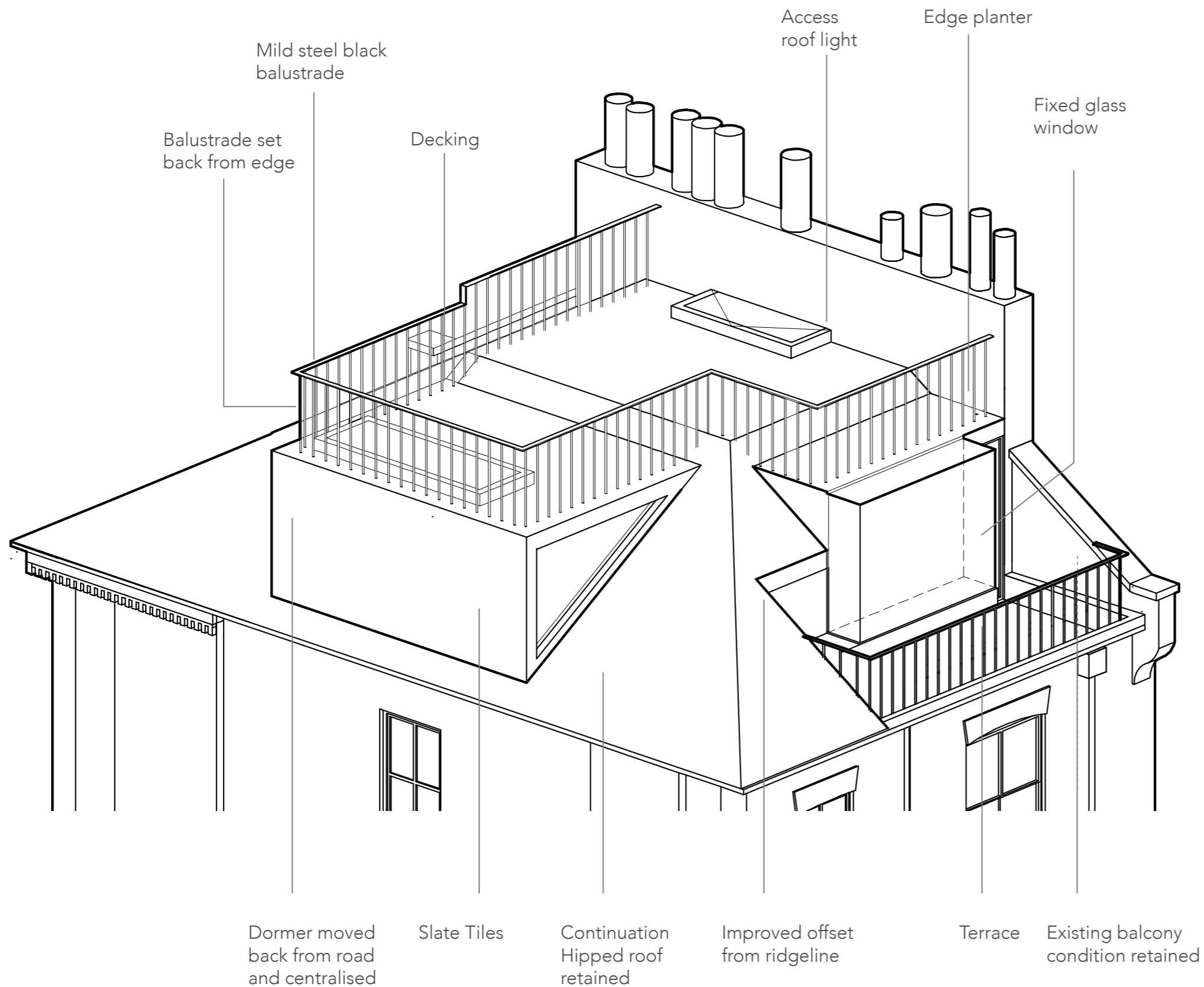
Existing

Pre-Application
2019/5181/PRE

Proposed

Design

03.1 Proposed Roof Form and Elements



Natural slate tiles to match existing



Metal Facias



Mild Steel Black Balustrade



London Brick

Street Scene

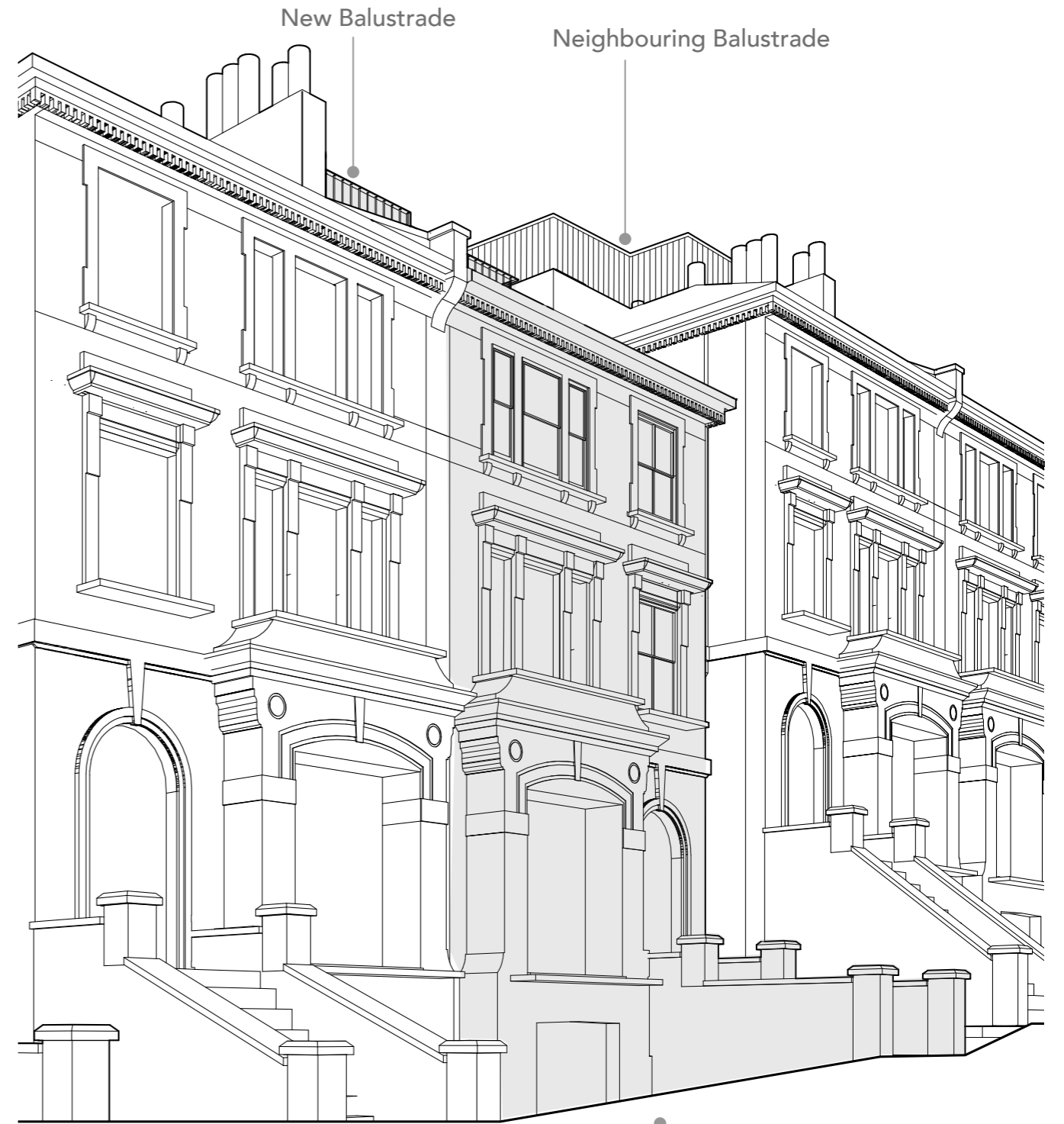
03.2 Towards Highgate Village

A simplified roof form and set back balustrade treatment improves and enhances the view from the front towards the street.



Existing

24 West Hill



Proposed

24 West Hill

Street Scene

03.3 Towards Kentish Town

A simplified roof form and balustrade treatment improves and enhances the view from the front towards the street,



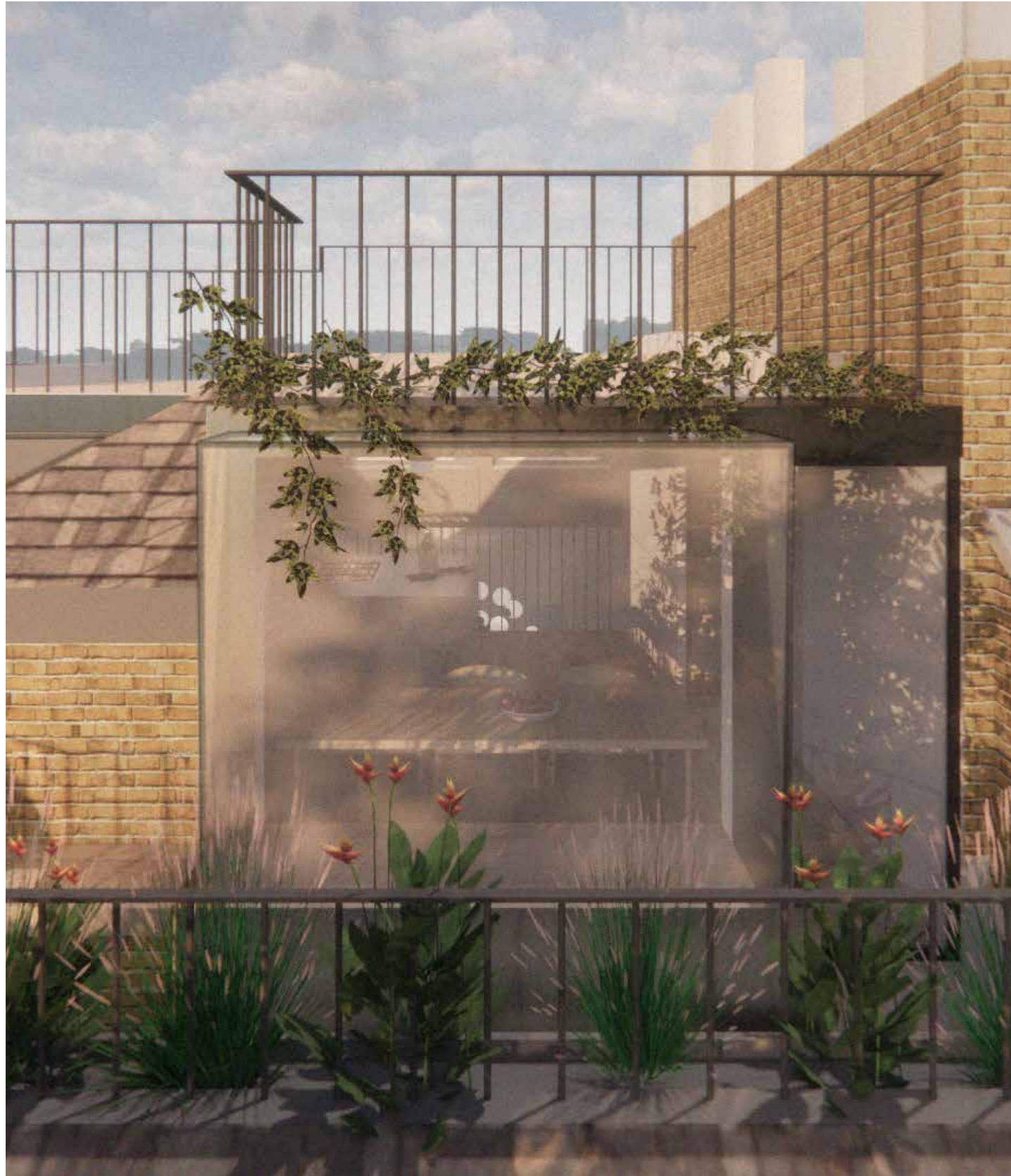
Existing



Proposed

Conclusion

04.1



The proposed development should be seen in the context of the pre-application advice received from LBC that has been taken into account in designing the proposal. The planning permission is required to renovate the existing loft level and roof terrace of the property. The side dormer will be repositioned centrally in the side elevation of the building, the rear roof extensions is proposed to be replaced with a glazed dormer of the same dimensions and the roof terrace will be refurbished with black painted metal railings.

This proposal should be assessed in the context of the dilapidated state of the existing roof extension and terraces at the application site. It should be treated as an improvement and enhancement of the appearance of a heritage designated site.

The design, the high-quality architecture and the materials enhance the character of the parent building and improves the living conditions of the occupiers. Therefore, the proposal should be granted permission.



T h a n k y o u