

location in the appendices. Please outline in question 24 if any parking bay suspensions will be required.

A loading and unloading plan will be submitted by the appointed Contractor in due course  
Waste will be managed and removed on a wait and load bases  
Skips will bedropped in the most effcent locations within the side to ensure the effcent running of the site.

b. Where necessary, Traffic Marshalls must ensure the safe passage of pedestrians, cyclists and motor traffic in the street when vehicles are being loaded or unloaded. Please provide detail of the way in which marshals will assist with this process, if this differs from detail provided in Q20 b.

Where necessary Traffic Marshalls will ensure the safe passage of pedestrians and cyclists. Traffic Marshalls will ensure the safe passage of wheelchair users less able people and children. Details of the why in which marshals will assist pedestrians, cyclists and motor traffic when vehicles are being loaded or unloaded will be provided by the appointed contractor in due course.

**Please Note:** this CMP will be subject to changes once a Contractor is appointed, any change will need to be agreed with Officers at LB Camden



# Street Works

Full justification must be provided for proposed use of the public highway to facilitate works. Camden expects all options to minimise the impact on the public highway to have been fully considered prior to the submission of any proposal to occupy the highway for vehicle pit lanes, materials unloading/crane pick points, site welfare etc.

Please note that Temporary Traffic Orders (TTOs) and hoarding/scaffolding licenses may be applied for prior to CMP submission but won't be granted until the CMP is signed-off.

Please note that there is a two week period required for the statutory consultation process to take place as part of a TTO.

If the site is on or adjacent to the TLRN, please provide details of preliminary discussions with Transport for London in the relevant sections below.

If the site conflicts with a bus lane or bus stop, please provide details of preliminary discussions with Transport for London in the relevant sections below.

## 22. Site set-up

Please provide a scaled plan detailing the local highway network layout in the vicinity of the site. This should include details of on-street parking bay locations, cycle lanes, footway extents, relevant street furniture, and proposed site access locations. If these are attached, use the following space to reference their location in the appendices.

A scaled plan detailing the local highway network layout in the vicinity of the site will be submitted by the appointed contractor in due course, the plan will include details of on-street parking bay locations, cycle lanes, extent of footway, relevant furniture and proposed site access location.

## 23. Parking bay suspensions and temporary traffic orders

Parking bay suspensions should only be requested where absolutely necessary and these are permitted for a maximum of 6 months only. For exclusive access longer than 6 months, you will be required to obtain a [Temporary Traffic Order \(TTO\)](#) for which there is a separate cost.

Please provide details of any proposed parking bay suspensions and/or TTO's which would be required to facilitate the construction - include details of the expected duration in

**Please Note:** this CMP will be subject to changes once a Contractor is appointed, any change  
22 will need to be agreed with Officers at LB Camden

months/weeks. Building materials and equipment must not cause obstructions on the highway as per your CCS obligations unless the requisite permissions are secured.

Information regarding parking suspensions can be found [here](#).

Information regarding bay suspensions will be submitted by the appointed Contractor in due course.

## 24. Occupation of the public highway

Please note that use of the public highway for storage, site accommodation or welfare facilities is at the discretion of the Council and is generally not permitted. If you propose such use you must supply full justification, setting out why it is impossible to allocate space on-site. We prefer not to close footways but if this is unavoidable, you should submit a scaled plan of the proposed diversion route showing key dimensions.

a. Please provide justification of proposed occupation of the public highway.

Should the occupation of the public bay be required a justification will be provided by the appointed Contractor in due course.

b. Please provide accurate scaled drawings of any highway works necessary to enable construction to take place (e.g. construction of temporary vehicular accesses, removal of street furniture etc). If these are attached, use the following space to reference their location in the appendices.

Should highway works be necessary to enable construction to take place accurate scaled drawings of any highway works will be submitted by the appointed Contractor in due course

## 25. Motor vehicle and/or cyclist diversions

Where applicable, please supply details of any diversion, disruption or other anticipated use of the public highway during the construction period. Please show locations of diversion

signs on drawings or diagrams. If these are attached, use the following space to reference their location in the appendices.

Details of any diversion, disruption or other anticipated use of the public highway during the construction period will be supplied by the appointed Contractor in due course.

## 26. Scaffolding, hoarding, and associated pedestrian diversions

Pedestrians safety must be maintained if diversions are put in place. Vulnerable footway users should also be considered. These include wheelchair users, the elderly, those with walking difficulties, young children, those with prams, the blind and partially sighted. Appropriate ramps must be used if cables, hoses, etc. are run across the footway.

Any work above ground floor level may require a covered walkway adjacent to the site. A licence must be obtained for scaffolding and gantries. The adjoining public highway must be kept clean and free from obstructions, and hoarding should not restrict access to adjoining properties, including fire escape routes. Lighting and signage should be used on temporary structures/skips/hoardings etc.

A secure hoarding will generally be required at the site boundary with a lockable access.

a. Where applicable, please provide details of any hoarding and/or scaffolding that intrudes onto the public highway, describing how pedestrian safety will be maintained through the diversion, including any proposed alternative routes. Please provide detailed, scale drawings that show hoarding lines, gantries, crane locations, scaffolding, pedestrian routes, parking bay suspensions, remaining road width for vehicle movements, temporary vehicular accesses, ramps, barriers, signage, lighting etc. If these are attached, use the following space to reference their location in the appendices.

The front of the site boundary will be protected by a 2.4m high hoarding that will be erected to form the access to the site, a suitable access gate for vehicles and pedestrian will be integral to the temporary hoarding, these temporary works will be subject to licences, the approved licence will be publicly displayed and will be renewed as and when necessary. The appointed Contractor will provide detailed drawings and documents in due course.

b. Please provide details of any other temporary structures which would overhang/oversail the public highway (e.g. scaffolding, gantries, cranes etc.) If these are attached, use the following space to reference their location in the appendices.

**Please Note:** this CMP will be subject to changes once a Contractor is appointed, any change will need to be agreed with Officers at LB Camden



No structures will overhang/oversail the public highway

## 27. Services

Please indicate if any changes to services are proposed to be carried out that would be linked to the site during the works (i.e. connections to public utilities and/or statutory undertakers' plant). Larger developments may require new utility services. If so, a strategy and programme for coordinating the connection of services will be required. If new utility services are required, please confirm which utility companies have been contacted (e.g. Thames Water, National Grid, EDF Energy, BT etc.) You must explore options for the utility companies to share the same excavations and traffic management proposals. Please supply details of your discussions.

There will be no changes to the existing incoming services.

**Please Note:** this CMP will be subject to changes once a Contractor is appointed, any change will need to be agreed with Officers at LB Camden

# Environment

To answer these sections please refer to the relevant sections of **Camden's Minimum Requirements for Building Construction (CMRBC)**.

28. Please list all [noisy operations](#) and the construction method used, and provide details of the times that each of these are due to be carried out.

Time of operations and ancillary works which are audible at the site boundary and works of all nature will be carried out between the following hours:

- Mondays to Fridays - 08.00 – 18.00
- Saturdays - 08.00– 13.00
- no time Sundays and Bank Holidays.

Construction will comply with the Control of Noise at Work Regulations 2005.

C/DMPs will be reviewed by the appointed Contractor in due course the necessary revisions will be signed and dated in an addendum format and will form part of the original C/DMP.

29. Please confirm when the most recent noise survey was carried out (before any works were carried out) and provide a copy. If a noise survey has not taken place please indicate the date (before any works are being carried out) that the noise survey will be taking place, and agree to provide a copy.

A noise survey will be part of the documents submitted with this Planning Application.

Once appointed the main Contractor will provide a copy of the noise survey prior to commencing the works.

**NB:** It will be the main Contractor duty to keep on site an up to date C/DMP, if failure to meet with the specifications or as a result of the failure to meet with the minimum requirements valid complaints are made to the Council during the works, then the main Contractor could become liable to legal action.

30. Please provide predictions for [noise](#) and vibration levels throughout the proposed works.

The proposed works will comply with the Control of **Noise** at Work Regulations 2005.

C/DMPs will be reviewed by the main Contractor in due course, the necessary revisions will be signed and dated in an addendum format and will form part of the original C/DMP.

**Vibration** exposure will be measured and recorded in line with the HSE guidance and the Control of Vibration at Work Regulations 2005, Vibration levels will be compared with the criteria in BS 5228:2009 part 2, should vibrations interfere with objects/properties sensitive to vibrations the Local Authority will be notified in advance in order to agree solutions.

The main Contractor will be required to provide evidence that staff have been trained on BS 5228:2009

31. Please provide details describing mitigation measures to be incorporated during the construction/[demolition](#) works to prevent noise and vibration disturbances from the activities on the site, including the actions to be taken in cases where these exceed the predicted levels.

**Please Note:** this CMP will be subject to changes once a Contractor is appointed, any change will need to be agreed with Officers at LB Camden

The main Contractor will be required to ensure that measures to reduce noise and vibration from construction will be used, these are to include the presence of noise monitoring equipment and vibration surveys  
The main Contractor will be required to adhere to HSE and Local Authority guidance/requirements and to comply with all statutory requirements.

32. Please provide evidence that staff have been trained on BS 5228:2009

The main Contractor will be required to provide evidence that staff have been trained on BS 5228:2009, evidence of training will be supplied in due course.

33. Please provide details on how dust nuisance arising from dusty activities, on site, will be prevented.

The demolition/Construction works will generate dust, to minimise dust and dirt emissions the main Contractor will be required to ensure the following:

**1.** demolition to take place behind fully monofix sheeted scaffolding, **2.** demolition work to be constantly watered to reduce airborne dust, **3.** a rain harvesting tank to be installed on site to ensure that the use /re-use of water is done in a sustainable manner **4.** dust / dirt falling on adjacent properties or public highway will be cleared as it occurs by designated cleaners, **5.** materials resulting from the demolition to be stored on site, moved into skips or into waiting lorries parked within the site boundaries

34. Please provide details describing how any significant amounts of dirt or dust that may be spread onto the public highway will be prevented and/or cleaned.

The main Contractor will be required to ensure that best practice is followed by adhering to HSE and Local Authority guidance.

Dust / dirt falling on adjacent properties or public highway will be cleared as it occurs by designated cleaners employed by the Contractor

35. Please provide details describing arrangements for monitoring of [noise](#), vibration and dust levels.

The main Contractor will be required to ensure that the monitoring of Dust, Vibration and Noise is taken and recorded on site log books to ensure that actions could be taken when/where necessary.

**Please Note:** this CMP will be subject to changes once a Contractor is appointed, any change will need to be agreed with Officers at LB Camden

36. Please confirm that a Risk Assessment has been undertaken at planning application stage in line with the GLA policy. [The Control of Dust and Emissions During Demolition and Construction 2104 \(SPG\)](#), that the risk level that has been identified, and that the appropriate measures within the GLA mitigation measures checklist have been applied. Please attach the risk assessment and mitigation checklist as an appendix.

In line with the Control of Dust and Emissions During Demolition and Construction 2104 (SPG) the main Contractor will be required to provide the identification of risk level, and the appropriate mitigation actions to comply with the GLA mitigation measures checklist. The main Contractor will be required to submit the risk assessment and mitigation checklist in due course.

37. Please confirm that all of the GLA's 'highly recommended' measures from the [SPG](#) document relative to the level of risk identified in question 36 have been addressed by completing the [GLA mitigation measures checklist](#).

I can confirm that the main Contractor will be required to ensure that all relevant mitigation measures from the Supplementary Planning Guidance document will be implemented and maintained on-site through the duration of the project.

38. If the site is a 'High Risk Site', 4 real time dust monitors will be required. If the site is a 'Medium Risk Site', 2 real time dust monitors will be required. The risk assessment must take account of proximity to sensitive receptors (e.g. schools, care homes etc), as detailed in the [SPG](#). Please confirm the location, number and specification of the monitors in line with the SPG and confirm that these will be installed 3 months prior to the commencement of works, and that real time data and quarterly reports will be provided to the Council detailing any exceedances of the threshold and measures that were implemented to address these.

I can confirm that the main Contractor will be required to provide a risk assessment to take into account proximity of sensitive receptors (e.g. schools, care homes etc), as detailed in the SPG, the main Contractor will be required to assess the appropriate location for the installation of 2 real time dust monitors to be installed 3 months prior to the commencement of works and to provide real time data and quarterly reports to the Council detailing any exceedances of the threshold and measures that were implemented to address these.

39. Please provide details about how rodents, including [rats](#), will be prevented from spreading out from the site. You are required to provide information about site inspections carried out and present copies of receipts (if work undertaken).



The main Contractor will be required to install No18 Ultrasonic rodents and vermin repellents at a Medium frequency with an integrated all band bionic deratizator along appropriate locations within the plot boundaries and to ensure that certified pest control companies are contacted as a contingency measure should the problem persist.

40. Please confirm when an asbestos survey was carried out at the site and include the key findings.

The main Contractor will be required produce a full asbestos survey prior to commencing work

41. Complaints often arise from the conduct of builders in an area. Please confirm steps being taken to minimise this e.g. provision of a suitable smoking area, tackling bad language and unnecessary shouting.

Contractors will be required to be a member of the Considerate Constructors Scheme, to adhere to the scheme code of conduct and to ensure that workers welfare principles are adhered too by ensuring that workers are treated with dignity, respect and fairness, working conditions are safe and healthy, grievance mechanisms and access to remedy are readily available. Working conditions must include access to safe and clean transportation and welfare amenities, provision of safe storage for workers mobile potable drinking water points, healthy canteen food, a suitable and safe smoking area (not smoking will be best). The promotion of transparent and external reporting regarding health and safety incidents must be provided. Respect and care for workers will minimise the use of bad language and unnecessary shouting.

42. If you will be using non-road mobile machinery (NRMM) on site with net power between 37kW and 560kW it will be required to meet the standards set out below. The standards are applicable to both variable and constant speed engines and apply for both PM and NOx emissions.

### **From 1<sup>st</sup> September 2015**

**(i) Major Development Sites** – NRMM used on the site of any major development will be required to meet Stage IIIA of EU Directive 97/68/EC

**(ii) Any development site within the Central Activity Zone** - NRMM used on any site within the Central Activity Zone will be required to meet Stage IIIB of EU Directive 97/68/EC

### **From 1<sup>st</sup> September 2020**

**Please Note:** this CMP will be subject to changes once a Contractor is appointed, any change will need to be agreed with Officers at LB Camden

**(iii) Any development site - NRMM** used on any site within Greater London will be required to meet Stage IIIB of EU Directive 97/68/EC

**(iv) Any development site within the Central Activity Zone - NRMM** used on any site within the Central Activity Zone will be required to meet Stage IV of EU Directive 97/68/EC

Please provide evidence demonstrating the above requirements will be met by answering the following questions:

- a) Construction time period (mm/yy - mm/yy): [Estimated November 2020 to June 2023](#)
- b) Is the development within the CAZ? (Y/N): [Yes](#)
- c) Will the NRMM with net power between 37kW and 560kW meet the standards outlined above? (Y/N): [The appointed Contractor to advise in due course](#)
- d) Please provide evidence to demonstrate that all relevant machinery will be registered on the NRMM Register, including the site name under which it has been registered:  
[The appointed Contractor will be required to provide evidence that all relevant machinery will be part of the NRMM register](#)
- e) Please confirm that an inventory of all NRMM will be kept on site and that all machinery will be regularly serviced and service logs kept on site for inspection:  
[The appointed Contractor will be required to keep on site an inventory of all NRMM, to regularly service machinery and to keep service logs on site for inspection](#)
- f) Please confirm that records will be kept on site which details proof of emission limits, including legible photographs of individual engine plates for all equipment, and that this documentation will be made available to local authority officers as required:  
[The appointed Contractor will be required to keep recorded emission limits, these must include legible photographs of individual engine plates for all equipment and to ensure access to records to local authority officers as required](#)

• SYMBOL IS FOR INTERNAL USE

**Please Note:** this CMP will be subject to changes once a Contractor is appointed, any change will need to be agreed with Officers at LB Camden



# Agreement

The agreed contents of this Construction Management Plan must be complied with unless otherwise agreed in writing by the Council. This may require the CMP to be revised by the Developer and reapproved by the Council. The project manager shall work with the Council to review this Construction Management Plan if problems arise in relation to the construction of the development. Any future revised plan must be approved by the Council in writing and complied with thereafter.

It should be noted that any agreed Construction Management Plan does not prejudice further agreements that may be required such as road closures or hoarding licences.

*Angela Esposito*

Signed: .....

Date: ..... 11/12/2019 .....

Print Name: ..... Angela M Esposito .....

Position: ..... Architect for and on behalf of Mira A-Architecture & Engineering Ltd .....  
..... Development Advisor for the Owner - Occupier .....

Please submit to: [planningobligations@camden.gov.uk](mailto:planningobligations@camden.gov.uk)

End of form.