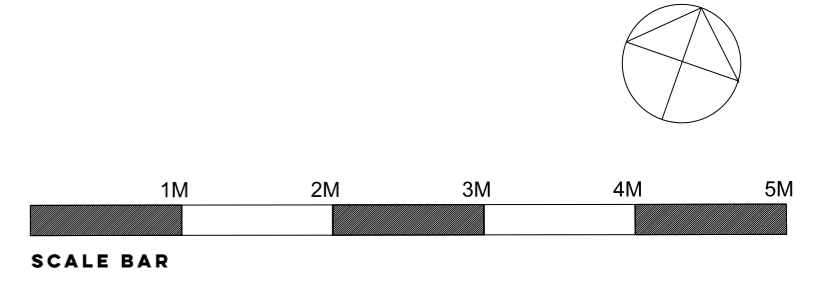


NOTES:
 DO NOT SCALE FROM THIS DRAWING.
 WORK FROM THE INDICATED
 DIMENSIONS ONLY. ALL SITE
 DIMENSIONS TO BE VERIFIED BY
 CONTRACTOR AND ANY
 DISCREPANCIES REPORTED.
 ALL DIMENSIONS ARE MILLIMETERS
 UNLESS OTHERWISE STATED.
 ALL DIMENSIONS BE TO CHECKED ON
 SITE & MANUFACTURER TO PROVIDE
 SHOP DRAWINGS FOR CLIENT
 APPROVAL.
 METERAGE REQUIRED TO BE
 CONFIRMED BY MANUFACTURER WITH
 ALL MATERIALS TO BE SUITABLE FOR
 CONTRACT USE.

REV	DATE	BY	DETAIL
A	13.06.18	GH	GARAGE WALL ALIGNED TO SUIT RE-USE OF EXISTING FRIEZE DETAIL
B	30.01.19	GH	AMENDMENTS LISTED

- AMENDMENTS:
- ① Ground level raised to provide level access to external patio area
 - ② New window increased from 1.8m to 2.4m long

- NOTES:
- 1 - Garage extended in-line with living room extent
 - 2 - Existing entrance modernized & opened up
 - 3 - Existing lower ground (service floor) transformed into elderly 1 bed unit with level access



PLANNING

Shog Studio
 Falcon House,
 257 Burlington Road,
 New Malden, England
 KT3 4NE
 Tel: +44(0)20 3566 6943
 www.shogstudio.com
 Company Number 10249485

PROJECT TITLE	
3, FITZROY CLOSE, LONDON, CAMDEN, N6 6JT	
DRAWING TITLE	
PROPOSED LOWER GROUND FLOOR PLAN	
CLIENT	
MR M. CLACK & MS L. FRY	
PROJECT NO.	DRAWN BY DATE
P17-025	GH 04.04.2018
DRAWING NO.	SCALE
02-03-001-B	A2@1:50

PROPOSED FLAT :48.26 SQM
 EXTENDED GARAGE:9.82 SQM

new garage extension. new garage area will be 26sq.m (ex garage size 27m)

ex pathway extended to suit