

28 Redington Road
London, NW3 7RB

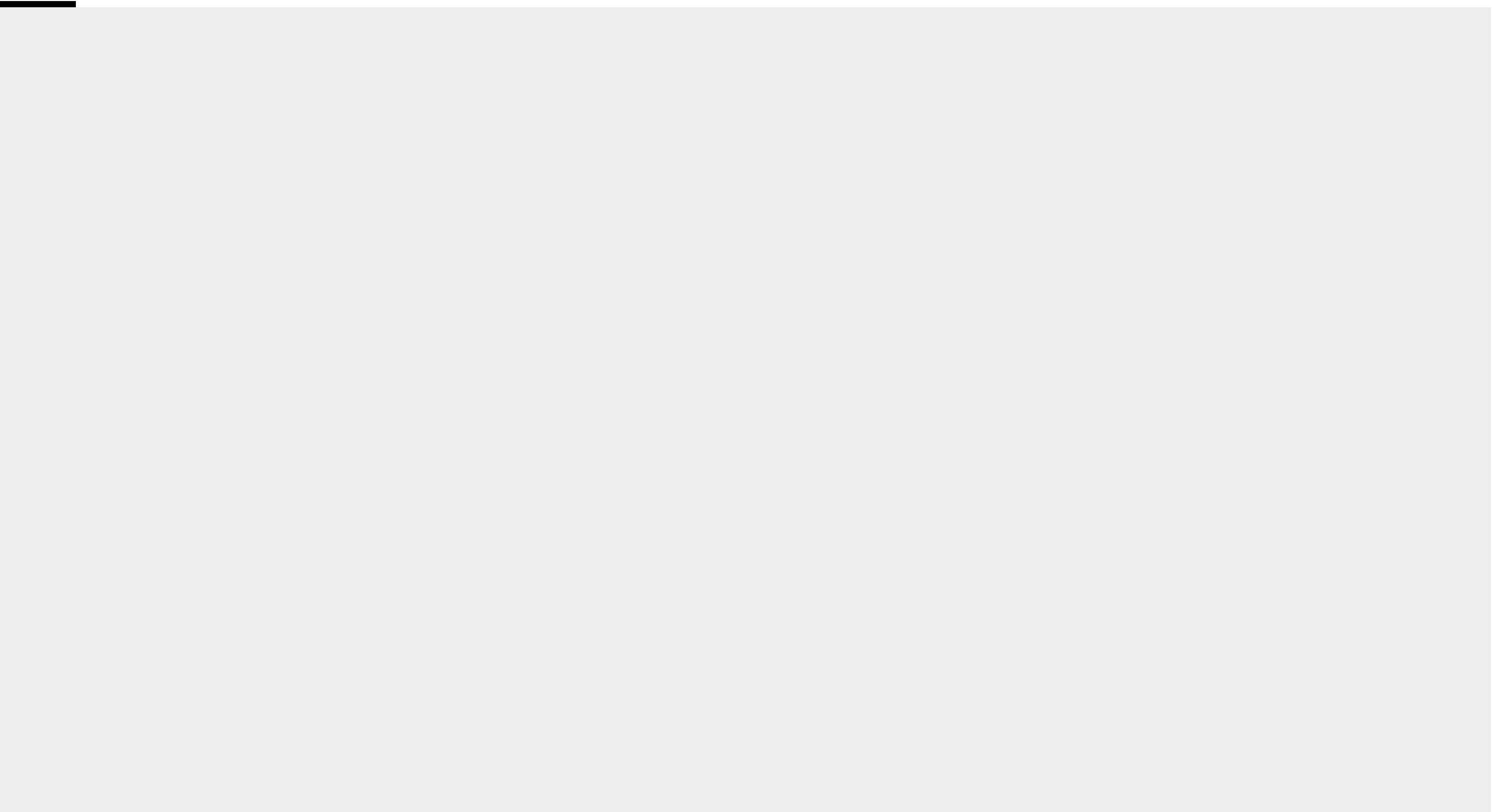
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Planning Application 01
Design & Access Statement

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Final Version
19 December, 2019

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1. Introduction

This statement has been written on the behalf of the applicants, to support a planning application for the development of 28 Redington Road. The application follows the pre-application advice for the property received from Camden Council, reference 2019/1492/PRE, prepared by Mr. David Peres da Costa and received on 16/5/2019. This advice has been carefully considered and adhered to in the preparation of this proposal.

The document should be read in conjunction with the following drawings:

Existing Drawings

- 099

Location Plan
- 001

Existing Site Plan
- 011

Existing Basement Plan
- 012

Existing Ground Floor Plan
- 013

Existing First Floor Plan
- 014

Existing Second Floor Plan
- 015

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- 022

Existing North-West Elevation
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Existing South-East Elevation
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Existing Street Elevation
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Existing Section AA
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Existing Section BB
- 042

Existing Section CC
- 043

Existing Section DD

Proposed Drawings

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Proposed Basement Plan
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Proposed Ground Floor Plan
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Proposed First Floor Plan
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Proposed Front Elevation
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Proposed South-East Elevation
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Proposed Street Elevation
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Street Sections
- 146

Rear Garden Sections
- D010

Demolition Basement
- D011

Demolition Ground Floor
- D012

Demolition First Floor
- D013

Demolition Second Floor
- D014

Demolition Roof
- D020

Demolition Front Elevation
- D021

Demolition Rear Elevation
- D022

Demolition North West Elevation
- D023

Demolition South East Elevation

Also accompanying the application are a number of documents:

1.

Arboricultural Method Statement & Plan by Boward Tree Management
2.

Construction Traffic Management Plan by Paul Mew Associates
3.

Noise, Dust and Vibration Report by 24 Acoustics
4.

Basement Impact Assessment by Symmetrys Ltd
5.

Completed CIL Forms by Montagu Evans LLP
6.

Planning Statement by Montagu Evans LLP
7.

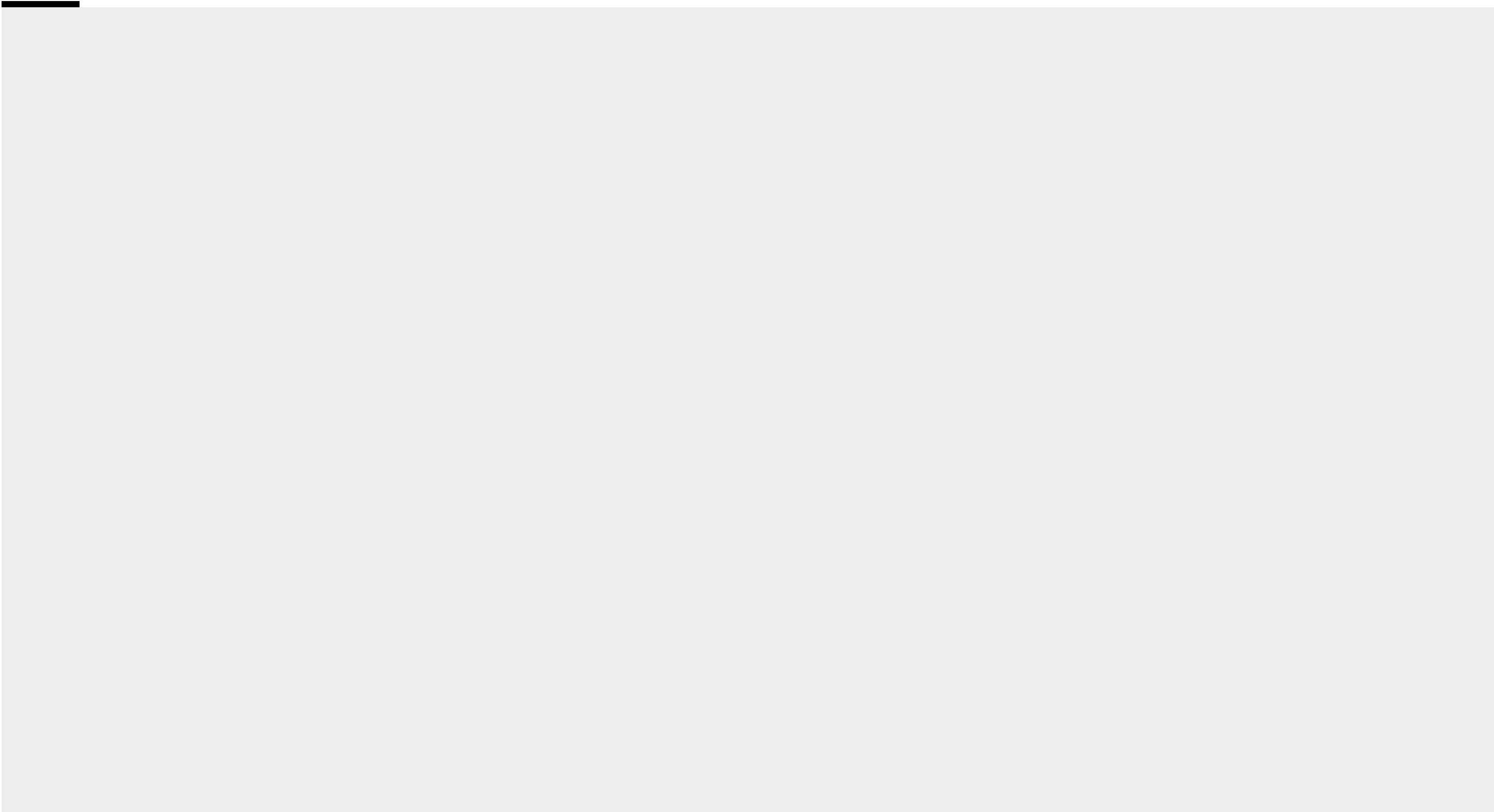
Bat Survey by Middlemarch Environmental Ltd
8.

Daylight, Sunlight & Overshadowing Report by Syntegra Group
9.

Energy Strategy Report by Syntegra Group
10.

Heritage Statement by Montagu Evans LLP
11.

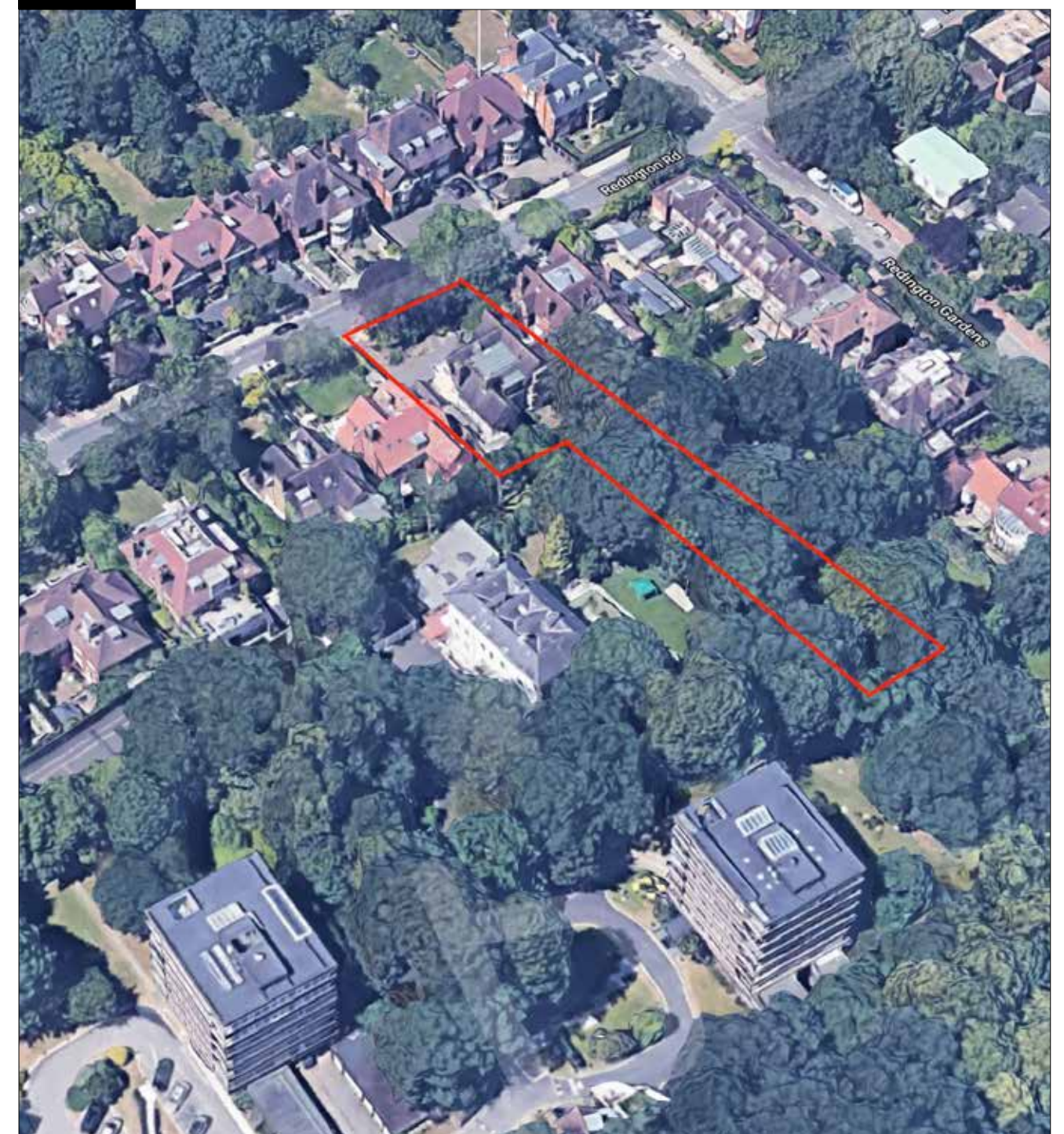
Landscape Concept Design by Jinny Blom Design



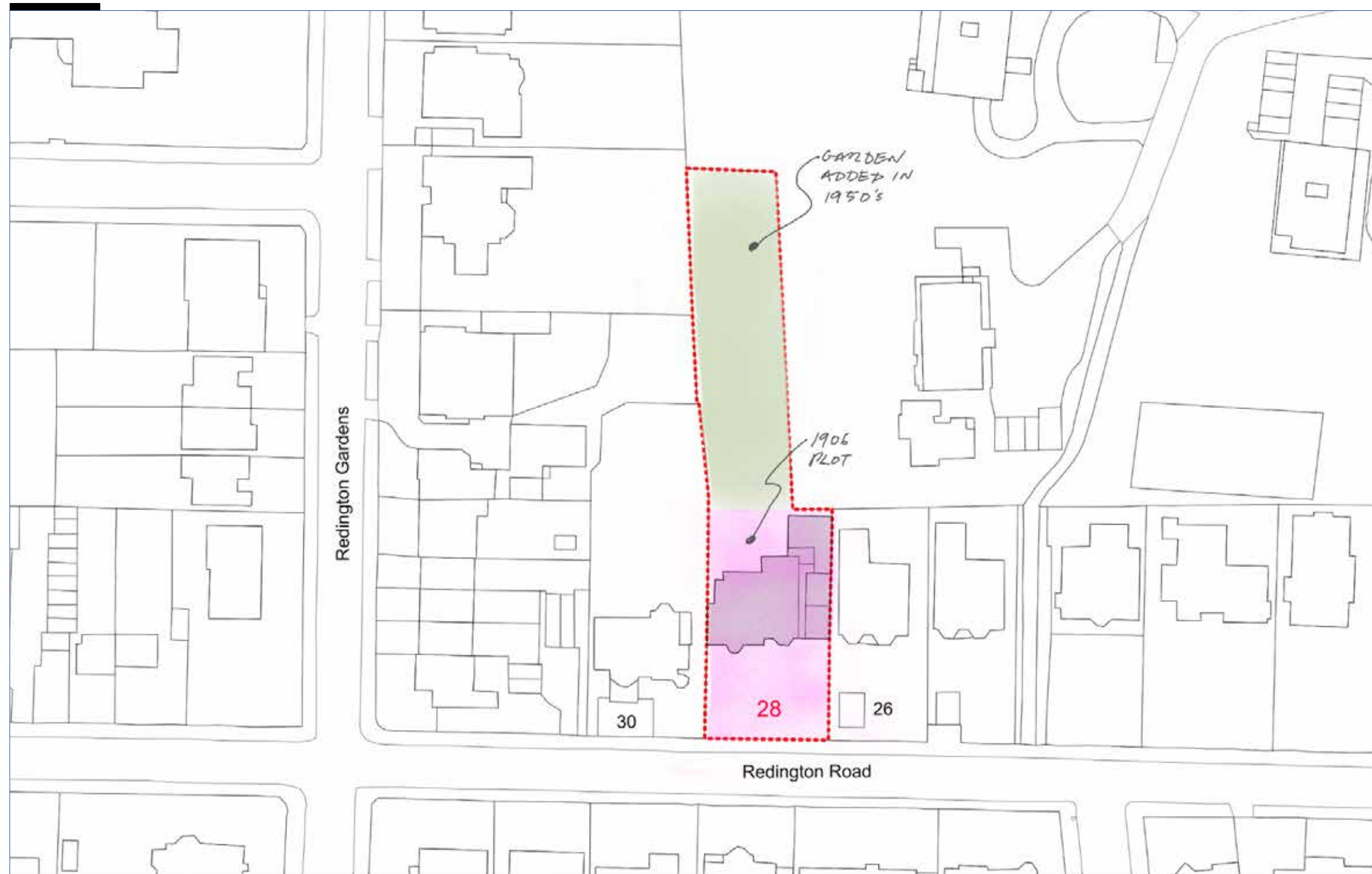
2.1 The site & the existing building



Aerial view from South



Aerial view from East



Site plan

2.2 Description of the Building

2.3 Conservation Area

2.2 Description of the Building

(For more detail see also the accompanying Heritage Statement by Dr Roger Bowdler of Montagu Evans)

28 Redington Road was built in 1906 as a detached 4 storey single dwelling with a spacious front garden & a relatively small rear garden backing onto the large grounds of Oak Hill House. It is designed in a late Arts & Crafts manner but is not attributed to any particular designer.

By 1914 the building had been extended on each side with infills right across the plot with a 'Motor House' garage to the right (south-easterly) side & an extension to the left (north- westerly) side.

A large rear extension wing was added in the mid- 1930's.

In the early 1950's the rear garden was hugely lengthened by the acquisition of part of Oak Hill House's garden.

The front garden is raised above the pavement level and includes some assorted vegetation, 2 mature deciduous trees and a line of small conifers that currently conceal the building's front elevation from the street. This planting area, just as other planting areas around the building, has been neglected over a number of years. The house's lowest floor sits almost a whole storey level above street level. There is a street crossover & ramp joining the pavement with an off-street parking area at the front of the house for up to 6 cars.

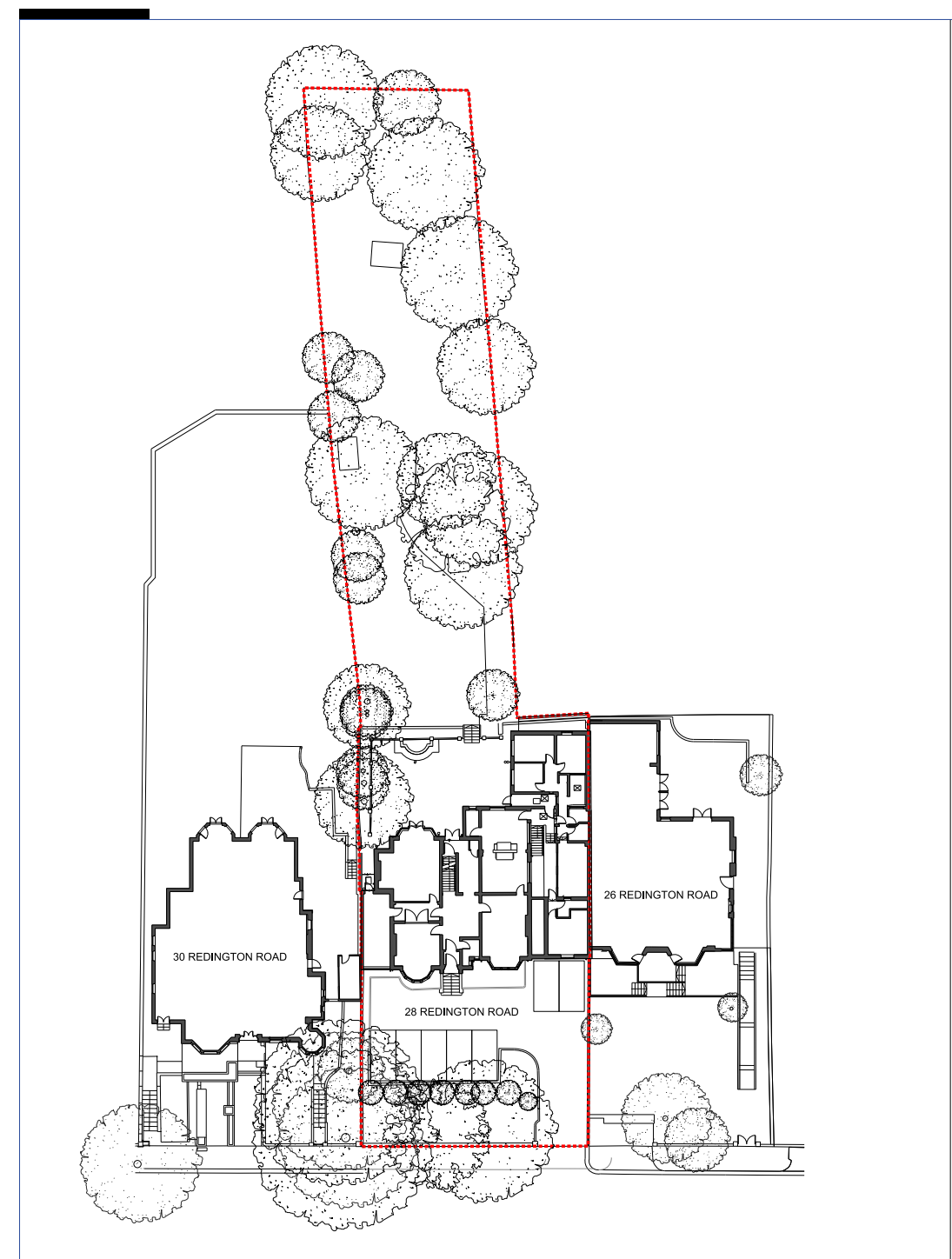
The property has been vacant for a number of years and is in poor condition.

The surrounding properties along Redington Road present a mix of characters including Arts & Crafts, Neo-Georgian & Modern Contemporary. Some have very recently had full refurbishment and alterations (26 Redington Road), however some are quite altered and divided into flats (30 & 43 Redington Road) or modified from their original form (45 Redington Road).

For a much fuller appreciation of the local context & the existing building please see the accompanying Heritage Statement.

2.3 Conservation Area

The property is not a Listed Building but the site is within the Redington/Frogna Conservation Area & is referred to twice in the conservation area appraisal: once when numbers 16-28 Redington Road are described as being "set back behind dense vegetation", and again when it is identified as one of a group of buildings – numbers 18-28 Redington Road – that make a positive contribution to the Conservation Area.



Site Location Plan

2.4 The Proposal

Planning permission is sought for the restoration, refurbishment & extension of this handsome dwelling into a new home for a young family.

The principal proposed changes are:-

A. The building's external fabric is in a very poor state of repair &/or has been altered using unsympathetic materials like uPVC windows. Our intention is to restore the building's original Arts & Crafts character & reinstate traditional materials & features which may have been lost over time; examples would be the reinstatement of timber framed windows instead of the uPVC & the stripping off of non-original paintwork to reveal the original stone dressings to window openings. At the recent Planning Appeal the Inspector commented that the building "has heritage interest and as a result contributes positively to the character and appearance of the Conservation Area" & our intention is to help restore & enhance that contribution.

B. Retain the 1906 house & the 1914 'Motor House' garage as requested by the Planners in the PreApp, but demolish both of the other 1914 side extensions & the 1950's rear extensions.

C. Rebuild the north-westerly extension (i.e. facing 30 Redington Rd) in a more sympathetic manner but stopping well short of the site boundary in order to create generous external access to the rear garden without the need to go through the building. In general terms all the proposed new extensions will use the same elements and materials as the existing building, or complimentary materials that will sit comfortably with the original. The new interventions will respect the building's Arts & Crafts style and are intended to harmonise & enhance it & the building's contribution to the Conservation Area.

D. Rebuild the south-easterly extension (i.e. facing 26 Redington Rd & behind the retained 'Motor House') in a sympathetic manner to create more usable internal space within the house. A daylight & sunlight study is included with our application to demonstrate neighbours will not be affected by proposals C&D.

E. Rebuild the extensive rear extension in a more sympathetic manner & in a way more suitable for modern family life.

F. Alter a 2nd floor gable on the garden elevation to provide an extra bedroom.

G. Renovate the roof terrace at 3rd floor level & provide safer guarding etc. Extra screening will be installed to ensure that the already highly restricted views of neighbour's properties are further screened in order to avoid any danger of infringing their privacy. This terrace is not visible from the street.

H. The front door & porch will be rebuilt & relocated slightly, as will the front steps.

I. New windows are proposed facing towards our north-westerly neighbour 30 Redington Road to provide better natural lighting within what is otherwise a very deep floor plan, however they are not intended to provide views into the neighbour's property. These kind of side windows are a common feature of Arts & Crafts houses & wherever there is the potential for overlooking they will use obscure glass.

J. Make some internal plan layout changes to make the property more suitable for modern family living, although obviously this work will not actually require Planning Consent.

K. The extent of the existing Lower Ground Floor will be retained & there is no intention to enlarge it or do



Front elevation as existing



Front elevation as proposed
(Red line indicates the outline of the existing building)

any subterranean development. However the existing headroom is quite low & in order to make the rooms more useful for modern living we propose lowering the existing floor levels by 0.5m.

L. Both the front & rear gardens will be redesigned with some slightly altered levels to give better daylighting to some street elevation Lower Ground Floor rooms & create an entrance door at that level. A new tree survey accompanies this Application & demonstrates that none of these changes affect the existing trees at all.

M. Many of the houses in the street have gates & fencing on the street boundary & this house probably also originally had something similar that was removed during WW2 along with so much other domestic architectural metalwork. We are proposing gates & fencing are reinstated in a sympathetic manner.

N. A ground source heat pump connected to a borehole & solar thermal roof panels are proposed to provide a high proportion of onsite renewable energy. A fabric-first approach to building design will be adopted to minimise the energy demand from mechanical services. All building elements will be as highly insulated as possible and air tightness will be maximised.

O. No change of use is sought: The building will remain to be used as is currently described to be, a single-family residence (Class C3).



Rear elevation as existing



Rear elevation as proposed
(Red line indicates the outline of the existing building)