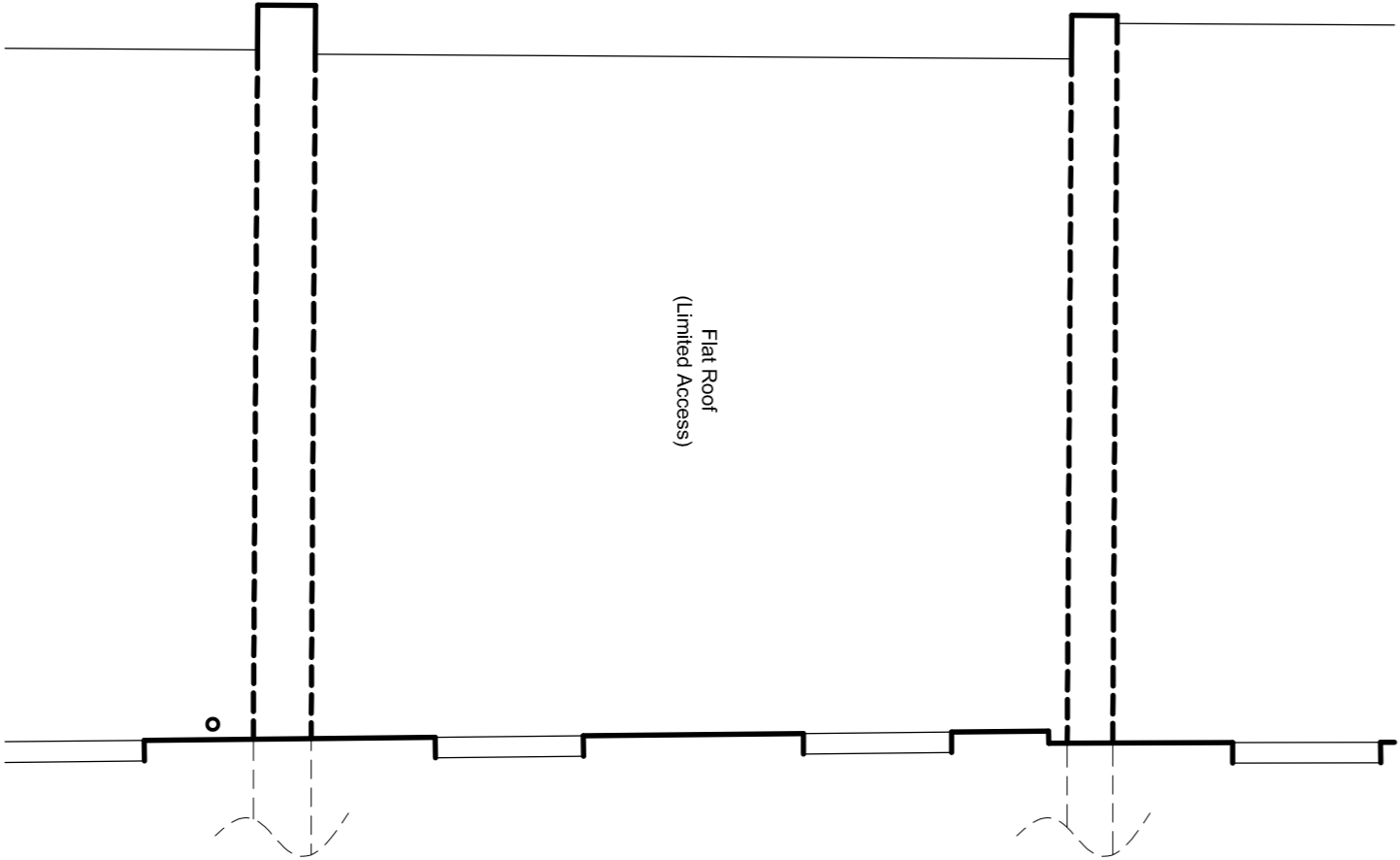
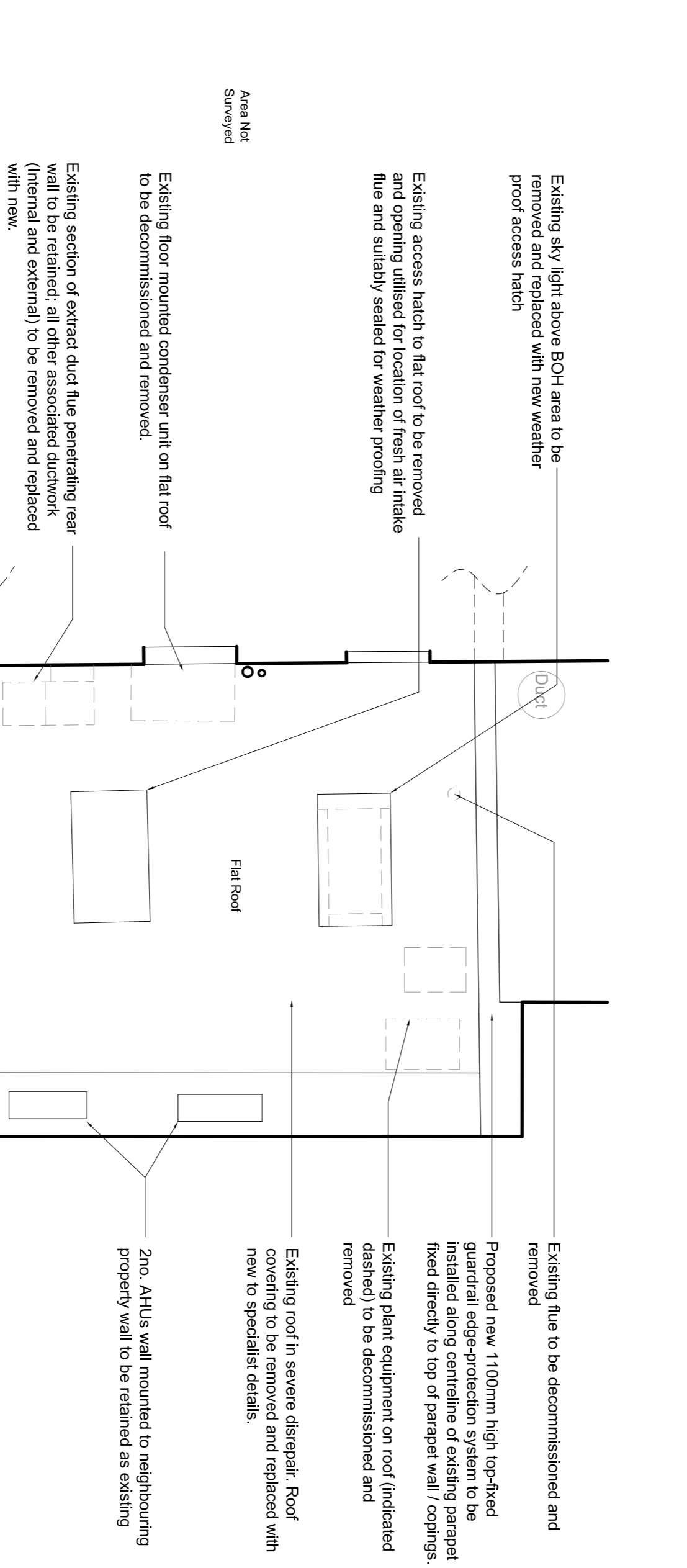
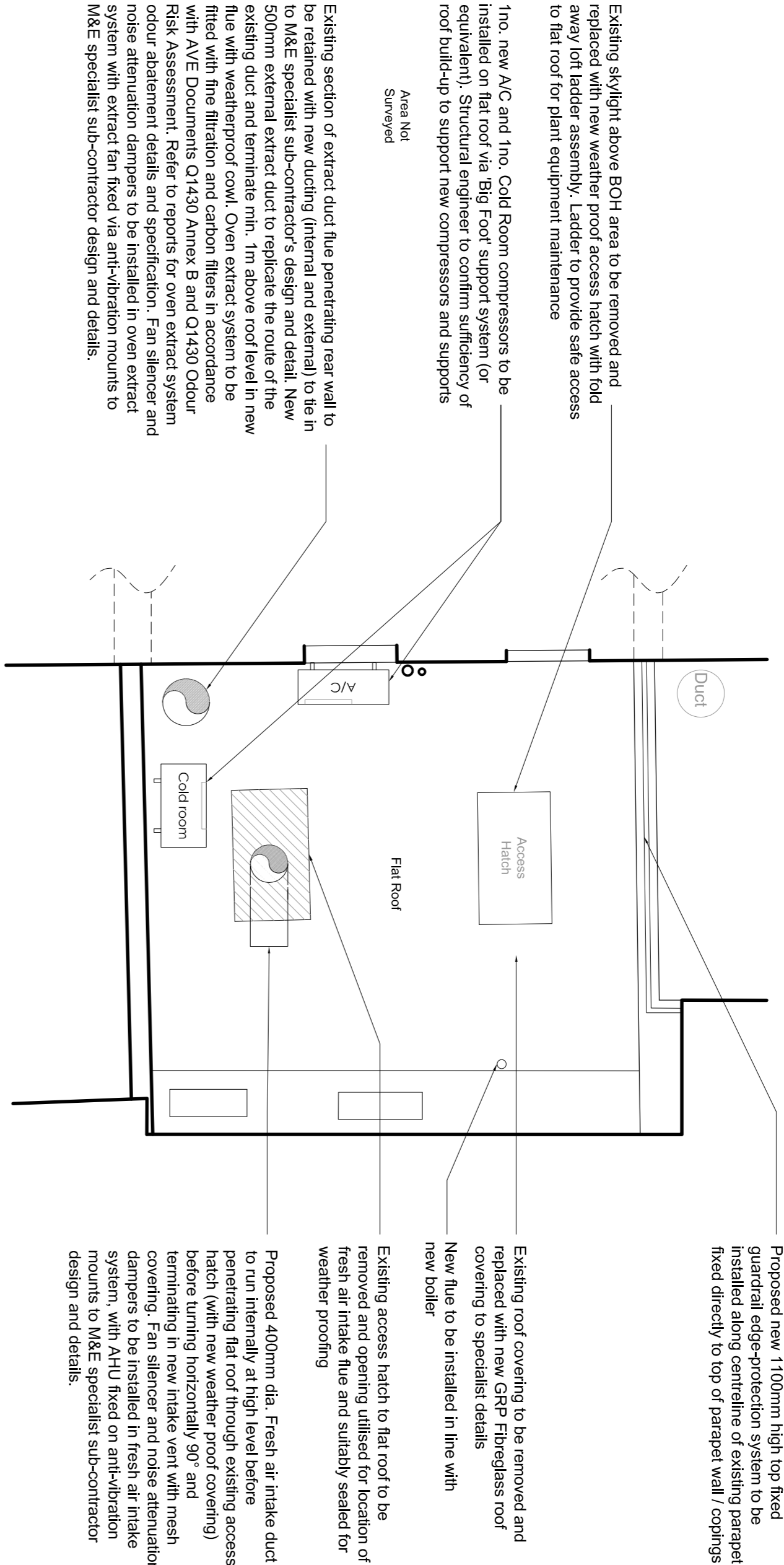


Proposed Roof Plan



Existing Roof Plan



NOTES AEWTP039

- All dimensions and levels are to be checked on site.
- Any discrepancies are to be reported to the architect before any work commences.
- This drawing shall not be used to ascertain any dimensions. Work to figure dimensions only.
- This drawing shall not be reproduced without express written permission from AEW.
- Title, overall drawings and ownership boundaries are the responsibility of AEW. AEW shall not be responsible for the accuracy or scale discrepancy of base plans supplied to them.
- All works are to be undertaken in accordance with Building Regulations and the latest British Standards.
- All proprietary materials and products are to be used strictly in accordance with the manufacturers recommendations.
- This drawing is based on Greenhatch Survey Solutions drawing no. 19803-182\_01\_PES (dated 28/10/2019).

CDM 2015

Client notified of duties: **At Annual Review Meeting**  
Principal Designer: **Bernard Sims Associates**  
Unless stated below all known hazards have been highlighted on the drawing.

- Access survey report ref. J455221 by Tenax received 20/12/2019. No ACHs identified.
- Proposed layout subject to Building Control approval of fire escape from the basement is subject to Building Control approval (and possible fire engineered solution) as egress route is past the oven and the travel distance from basement current PH layout).
- Structural Engineer details for structural opening at ground details ref: D721-1-01 and calculations ref: 101-1-02. Structural engineer to confirm the following prior to commencement of works:
  - Proposed layout is acceptable for proposed loads of raw traffic during and after construction
  - 100mm lowering of floor in customer area to allow for level covering.
  - Any existing wall to be removed identified as structural are subject to structural engineer's design and detail
  - Scaffolding is required to remove existing and install new accept imposed loads required.
- Customer area floor to be lowered to create level access to proposed layout. Subject to Building Control, 100mm wide Plinth to be retained to both sides of customer area to avert requirement of serving party wall notice
- Refer to AVE reports reference: Q1430 (Annex B and Odour Risk Assessment) for oven extract system odour abatement details and specification.
- Both gas and electric supplies / meters to be housed within new 30 minute fire rated cupboards. Ventilation to gas cupboard is to be to AVE design and detail
- Evidence of damp in basement. DPG to advise if specialist damp contractor will be appointed to inspect and provide report/quorate for remedial works.
- Released sacks to be kept internally and collection from front of store to be arranged with local council
- Extent of legal duties TBC.
- DPG to instruct DWP to provide the strategy report in support of building regulations application

project	store
38 Camden High Street Camden Town London, NW1 0JH	PJ003931

Existing and Proposed Roof Plan

date	10/01/2020	drawn	BMK
scale	1:50	checked	JJS