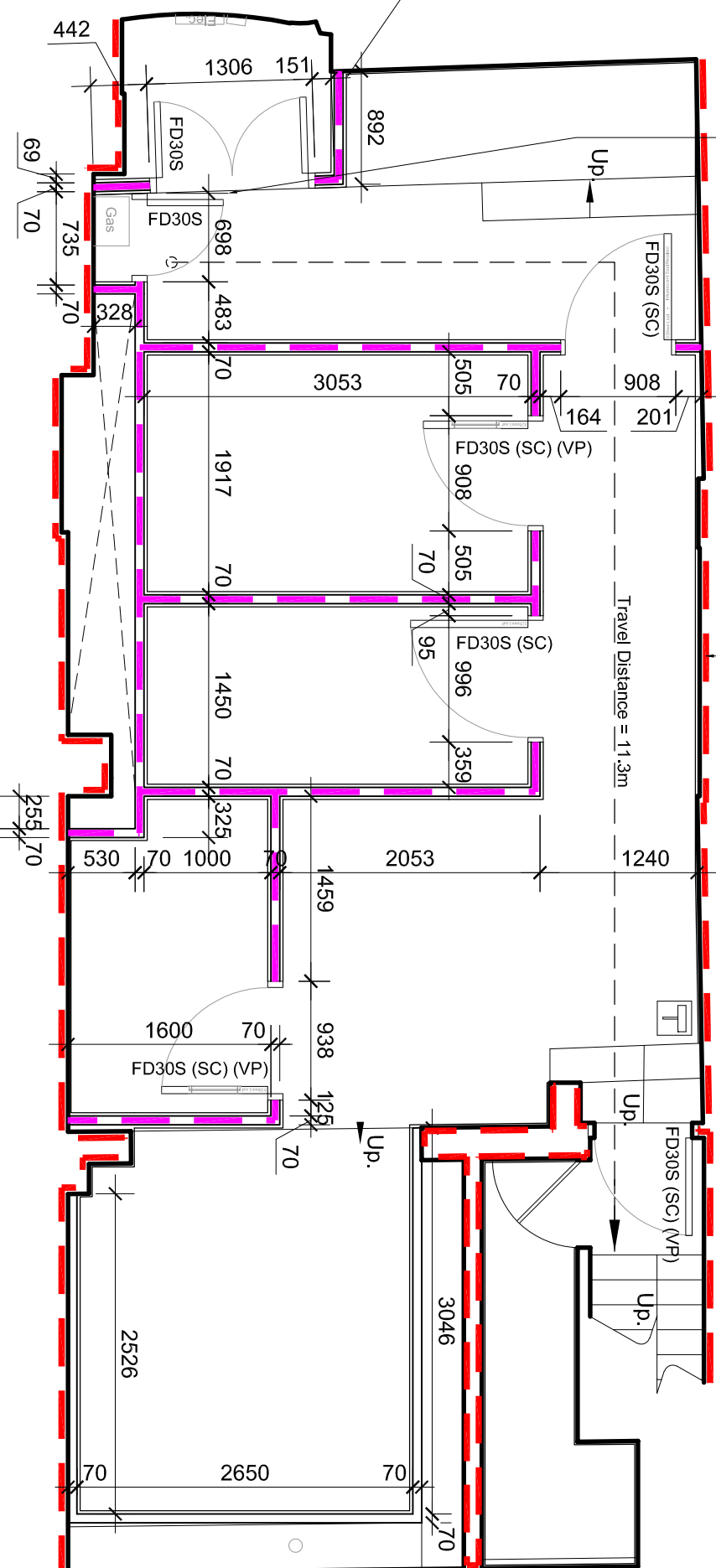


30 minute fire rated door to be installed to dedicated boiler cupboard with ventilation to AVE design and detail

Ground Floor

Gas cupboard in basement and associated doors to be vented an fire rated to achieve minimum 30 minute fire resistance

Main contractor to check and ensure sub-dividing walls achieve minimum 60 minutes fire-rating. No works to be carried out by main contractor if existing wall already achieves 60 minutes fire resistance. (To be checked and confirmed on-site prior to commencement of works)



Basement

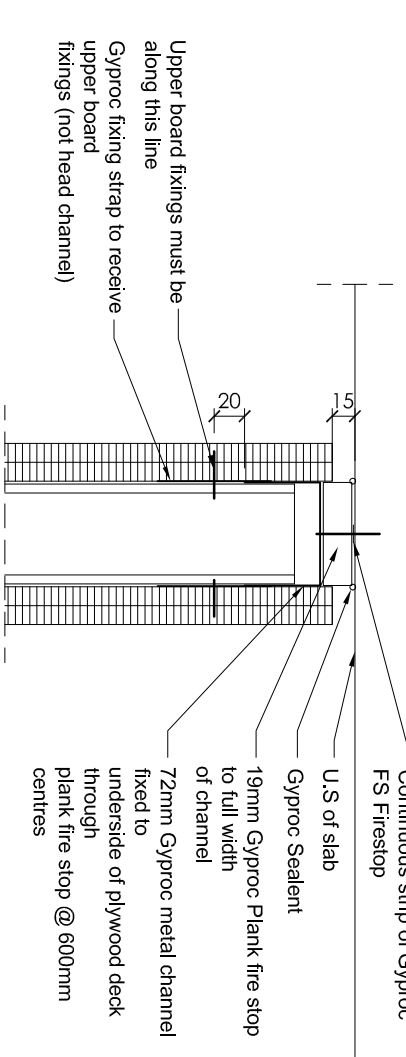
- This drawing is based on Greenhatch Survey Solutions drawing no. 19803-183_01_PES (dated 28/10/2019).

- All drawings to be read in conjunction with full shop fitting package of information.
- All structure to be fire rated to a minimum of 60mins

All existing internal walls to be retained are to be dry-lined, mounted on studwork or other suitable grounds. Principal Contractor must ensure that the stud centres, depth and specification generally, is fit for purpose.

Any penetrations through existing compartment walls to be suitably blocked up and fire stopped to achieve requisite fire rating integrity to the satisfaction of Building Control.

Partition Setting Out and Fire Strategy Plan



Typical Head Deflection Detail 1:5

Partition Type / Fire Strategy Key	
Linestyle	Type
	Fire Boundary Condition
	Cavity Barrier
	Travel Distance
	120 Minute Fire Rating
	90 Minute Fire Rating
	60 Minute Fire Rating
	30 Minute Fire Rating
	Existing assumed structure to be checked on site by Main Contractor to satisfy minimum 60 minute fire resistance
	Fire Alarm Manual Call Point

NOTES
AEWTP039

- All dimensions and levels are to be checked on site.
- Any discrepancies are to be reported to the architect before any work commences.
- The drawing shall not be used to ascertain any dimensions. Work to figured data only.
- The drawing shall not be reproduced without express written permission from AEC.
- Title, twenty drawings and ownership boundaries are to be clearly stated and the architect shall not be responsible for the accurate or scale discrepancy of base plans supplied to him.
- All plans are to be undertaken in accordance with Building Regulations and the latest British Standards.
- All proprietary materials and products are to be used strictly in accordance with the manufacturers' recommendations.

CDM 2015

- This drawing is based on Greenhatch Survey Solutions drawing no. 19803-183_01_PES (dated 28/10/2019).

CDM 2015

Client notified of duties: **At Annual Review Meeting**

Principal Designer: **Bernard Sims Associates**

highlighted on the drawing:

- | | |
|--|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| | Aesthetics survey report ref. J4692021 by Tervis received 20/12/2019; No ACNAs identified. |
| | Proposed layout subject to Building Control approval of fire strategy and access arrangements. Single door-and-entrance approval (if possible) per fire engineers' solution as egress route is past the house and the travel distance from entrance level accessed. Item B(8n) are existing conditions in the current floor (applies). |
| | Structural Engineers details re structure opening at ground level. Structural Engineer's details re: 101-102m depth details re D72141 refer to structural drawings. Structural engineer to confirm the following and for commencement of works:
H/VAC equipment, HVAC supports, scaffolding and foot traffic during and after construction
100mm flooring in front of customer area to allow for level change.
Any existing wall(s) to be removed identified as structural subject to structural engineer's design and detail
Access to roof to be confirmed by structural engineer to extract dust etc. E.C. to confirm existing roof structure was capable imposed loads required. |
| | Customer area floor to be planned to create level access threshold with 100mm steps relocated to waste & serve areas. Subject to reviews by Building Control, 100mm slope PIP/NIT be implemented if existing party wall exists |
| | Refer to AVE reports reference Q1420 (Annex B and C) and Annex D. External Exhaust system DVGAS and CO detectors details and specifications. |
| | Both gas and electric supplies / meters to be housed within kitchen cupboard. Gas supply to be installed in location to gas cupboard is to be an AVE design and detail |
| | Endorsement of damp treatment, DPG to advise if specialist remediation is required to protect and preserve the waterproofing for remedial works. |
| | Refined scope to be built thoroughly and collection from town of store to be arranged with local haulage. |
| | Extent of legal defence TEC. |
| | DPG to instruct DWP or provide free strategy report in support of building regulations application |

Client	Project	Initial Issue	Drawn by -	Checked by -	Annotations amended (following receipt of BFC's Schedule of Comments)	A	17/01/2020	BMR	JJS
Stage 3 - Shopfit	For Construction	Purpose of Issue	SS2						

project **38 Camden High Street**
Camden Town
London, NW1 0JH

store **PJ003931**

Partition Setting Out and Fire Strategy Plan