

INTERNAL WALLS All structure to be fire

Partition

Setting Out and Fire Strategy Plan

inted on studwork the stud centres,

FIREFIGHTING EQUIPMENT AND WARNING SIGNS

Note: setting out dimensions of internal partitions indistud. Refer to key for partition types and fire ratings.

All new internal partitions to be British Gypsum Gyproc Gypwall metal stud construction in accordance with British Gypsum's details and specification. Maximum spacing of stud centres 600mm. All joints to be fully supported, taped and filled. Plasterboard surfaces which are to receive a ceramic tile finish are to be sealed with PVA bonding agent. All fire and sound resisting partitions and linings to be taken full height to u/s. floor/roof above and junctions with existing structure to be acoustically sealed and fire stopped. Wall finishes to achieve CLASS 1 - CLASS 0 Surface Spread of Flame. Partition walls, counter fronts, door frames must not be butted up tight to glazed windows

Intumescent strips/smoke seals to be provided along side: FD30s doors to provide minimum 30mins resistance comb seal. All fire doors to be fitted with high melting point hinge

FIRE DOORS

Basement

All self closing (SC) fire doors to be fitted with a positive self clevice should close the door in a controlled manner from any strong enough to overcome the resistance of any latch and constrong enough to overcome the resistance of any latch and constrong enough to overcome the resistance of any latch and constrong enough to overcome the resistance of any latch and so strong enough to be fitted book sign reading "FIRE DOOR KEEP LOCKED SHUT WHEN NOT letters on blue circle on 100x100mm white background. SELF CLOSING DOORS

ward opening fire exit doors required to be kept locked building are to be fitted with panic bars (PB) over the function reading "PUSH BAR TO OPEN", or similar easily ce indicating how to operate.

38 Camden High Street Camden Town London, NW1 0JH

PJ003931

aew architects 0161 214 4370 www.aewarchitects.com

Partition Setting Out and Fire Strategy Plan

10/01/2020 1:50

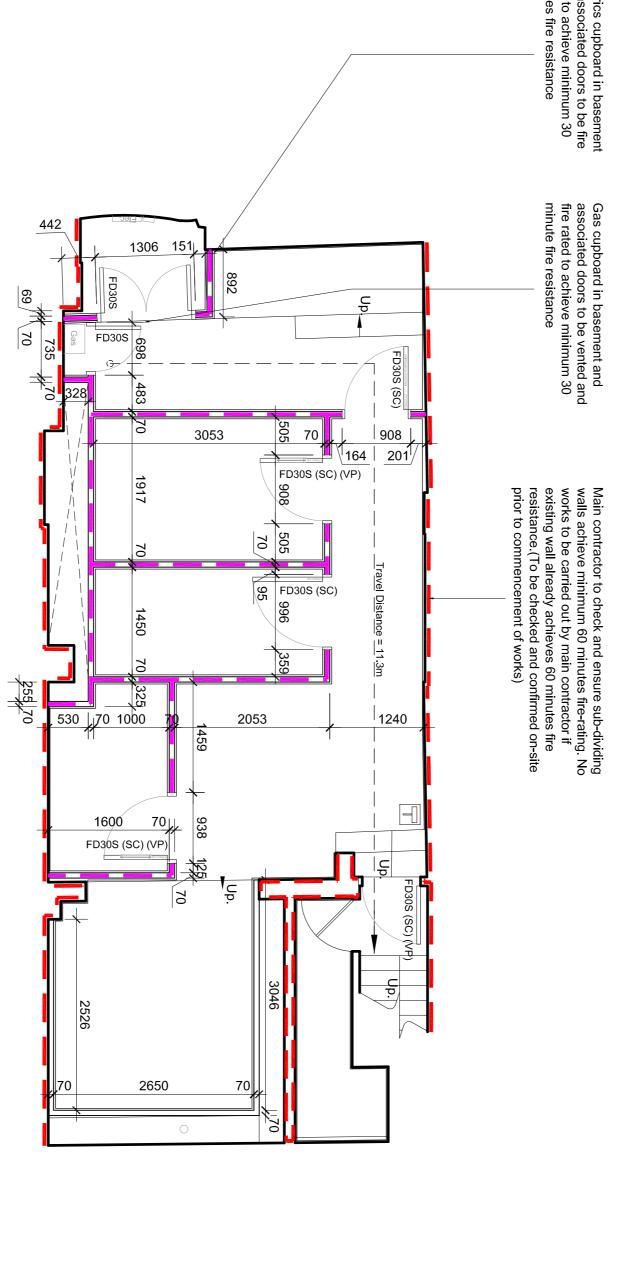
/+eW

Domino's Pizza Group

Stage 3 - Shopfit

Typical Head Deflection Detail

centres	of channel 72mm Gyproc metal channel fixed to underside of plywood deck through	Gyproc Sealent 19mm Gyproc Plank fire stop to full width	FS Firestop U.S of slab	Continuous strip of Gyproc						
									Linestyle	Partition Type / I
Fire Alarm Manual Call Point	Existing assumed structure to be checked on site by Main Contractor to satisfy minimum 60 minute fire resistance	30 Minute Fire Rating	60 Minute Fire Rating	90 Minute Fire Rating	120 Minute Fire Rating	Travel Distance	Cavity Barrier	Fire Boundary Condition	Туре	Fire Strategy Key



Ground Floor

70

70

743

Main contractor to che sub-dividing walls ac minutes fire-rating. No by main contractor if achieves 60 minutes checked and confirm commencement of walls and commencement of walls.

Travel Distance = 16.7m

70, 551

Client notified of duties: At Annual Review Meeting
Principal Designer: Bernard Sims Associates
Unless noted below, all known hazards have been highlighted on the drawing:

Asbestos survey report ref: J459221 by Ters 20/12/2019. No ACMs identified.

Proposed layout subject to Building Control approval of fire strategy and access arrangements. Single dead-end means of escape from the basement is subject to Building Control approval (and possible fire engineered solution) as egress route is past the oven and the travel distance from basement level exceeds 18m (Both are existing conditions in the current PH layout)

tructural Engineers details for structural opening at ground oor level received 05/12/2019. Refer to ABP Engineer's stalls ref: D731-01 and calculations ref: 101-103. Tructural engineer to confirm the following prior to ommencement of works:
Flat roof construction acceptable for imposed loads of new HVAC equipment, HVAC supports, scaffolding and foot traffic during and after construction 160mm lowering of floor in customer area to allow for level threshold at entrance
Any existing walls to be removed identified as structural are subject to structural engineer's design and detail scaffolding is required to remove existing and install new extract duct flue. S.E. to confirm existing roof structure will accept imposed loads required.

CDM 2015

This drawing is based on Greenhatch Survey Solutions drawing no. 19803-183_01_PES (dated 28/10/2019).

Ann	⊳
Annotations amended following receipt of BRCS Schedule of	17/0
s ame	17/01/2020
nded	
follow:	BMR
no rec	
eint c	
T DD	
25.5	SLL
hedille	
<u>5</u>	

A 17/	17/01/2020 tations amende	A 17/01/2020 BMR JJS Annotations amended following receipt of BRCS Schedule of	JJS 3RCS Schedule o
١	10/01/2020	BMR	Srr
Initia	Initial issue		
REV	REV Date	Drawn by: -	Checked by: -
Status		Purpose of Issue	

	- 10/01/2020 BMR	Annotations amended following receipt of BRCS Schedule of comments	A 17/01/2020 BMR	
	SLL	CS Schedule of	SLL	

For Construction

11600-AEW-PJ003931-ZZ-DR-0012

nise TBC.

vidence of damp in basement. DPG to advise if specialist amp contractor will be appointed to inspect and provide sport/quote for remedial works.

) gas and electric supplies / meters to be housed within 30 minute fire rated cupboards. Ventilation to gas poard is to be to AVE design and detail

sfer to AVE reports reference: Q1430 (Annex B and Odounsk Assessment) for oven extract system odour abatement tails and specification.

mer area floor to be lowered to create level access lold with 160mm step relocated to bake & serve area - ct to review by Building Control. 100mm wide 'Plinth' to ained to both sides of customer area to avert ement of serving party wall notice

A

NOTES Any discrepancies are to be reported to the archite before any work commences. All dimensions and levels are to be checked on site AEWTP039

This drawing shall not be scaled to ascertain any dimensions. Work to figured dims only.

Title overlay drawings and ownership boundaries are produced using all reasonable endeavours. AEW cannot be responsible for the accuracy or scale discrepancy of base plans supplied to them.

This drawing shall not be reprowritten permission from AEW.

All works are to be undertaken in accordance with Building Regulations and the latest British Standard

All proprietary materials and products are to be used strictly in accordance with the manufacturers recommendations.