



**HQ MANAGEMENT SOLUTION LTD**

107 Vox Studios  
1-45 Durham Street  
London  
United Kingdom  
SE11 5JH

Copyright HQ MANAGEMENT SOLUTION LTD.  
This drawing is the property of HQ MANAGEMENT SOLUTION LTD and copyright is reserved by them. This drawing is issued on condition that it is not copied, used or disclosed by or to any unauthorised person without the prior written consent of HQ MANAGEMENT SOLUTION LTD.  
These drawings are to be read in conjunction with all other relevant documentation produced by HQ MANAGEMENT SOLUTION LTD and other consultants employed by the client.  
These proposals are subject to the approval of all Statutory Building Control requirements and the requirements of all Statutory Authorities and Service Providers.  
The site boundaries and surroundings are based on the following:  
A survey carried out by Laser Survey

The site boundaries are those described by the client.  
The areas have been calculated in accordance with the stated options NIA, GIA, GEA. They are approximate and relate to the likely areas of the building at the current state of the design. Any decisions to be made on the basis of these predictions, whether as to project viability, pre-letting, lease agreements and the like, should make allowance for the following:  
- Design development  
- Accurate site survey, site levels and dimensions need to be fully evaluated  
- Allowance for construction methods and building tolerances.  
- Local authority consents  
Do not scale from this drawing, except for town planning purposes.  
Work to figured dimensions only.

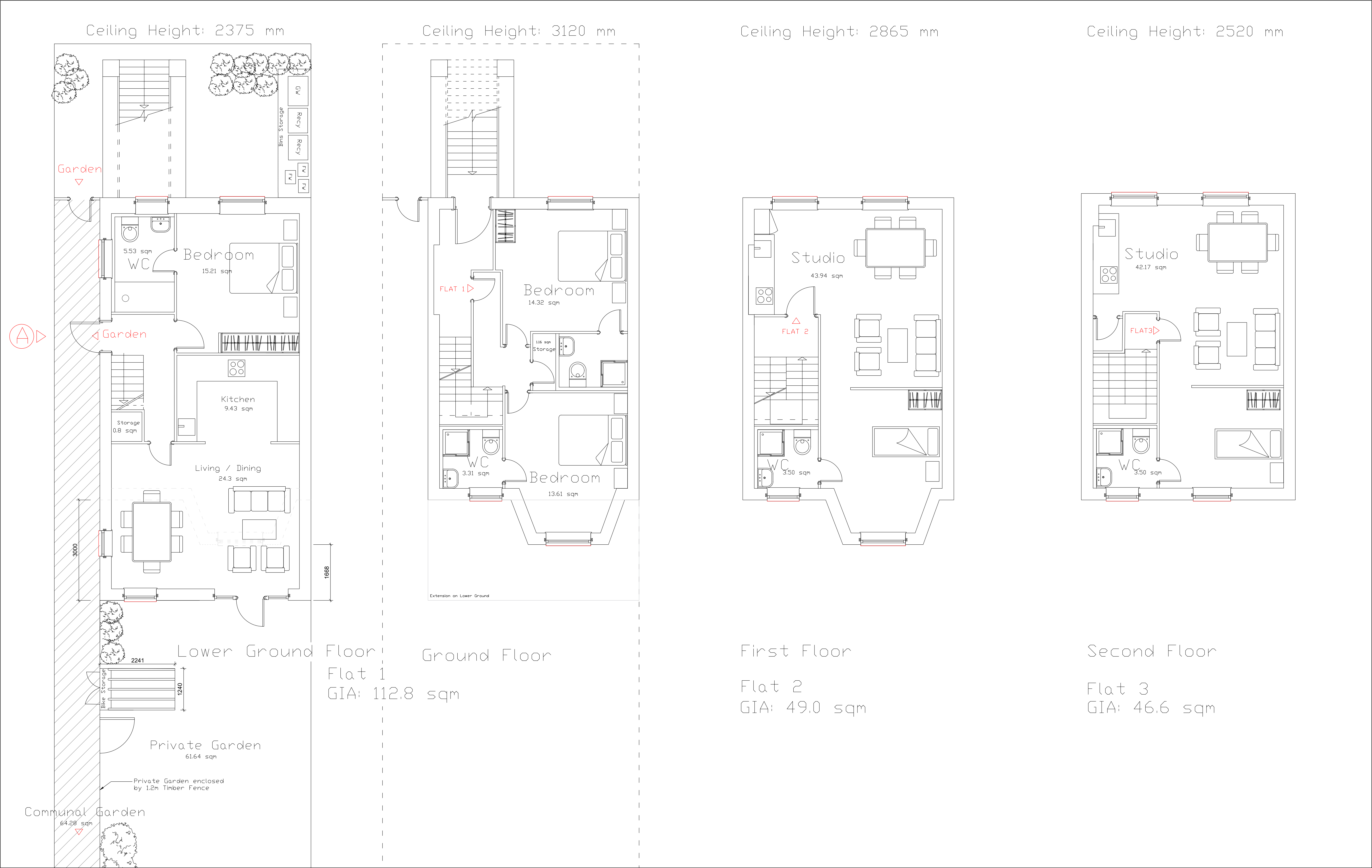
NOTE:	
CLIENT APPROVAL	
X	A - APPROVED
X	C - APPROVED WITH COMMENTS
X	C - DO NOT USE

--

KEY
-----

Project Name
<b>65 Agar Grove - London - NW1 9UE</b>
Drawing Title
<b>Proposed Block Plan</b>

Purpose of Issue		Scale	
		1:100	A1
Drawn by	Checked by		
AA	RL		
Drawing Ref.			
Project Name - Drawing No - Status - Revision			
PL006		01	



HQ MANAGEMENT  
SOLUTION LTD

107 Vox Studios  
1-45 Durham Street  
London  
United Kingdom  
SE11 5JH

Copyright HQ MANAGEMENT SOLUTION LTD.  
This drawing is the property of HQ MANAGEMENT SOLUTION LTD and copyright is reserved by them. This drawing is issued on condition that it is not copied, used or disclosed by or to any unauthorised person without the prior written consent of HQ MANAGEMENT SOLUTION LTD. These drawings are to be read in conjunction with all other relevant documentation produced by HQ MANAGEMENT SOLUTION LTD and other consultants employed by the client. These proposals are subject to the approval of all Statutory Building Control requirements and the requirements of all Statutory Authorities and Service Providers. The site boundaries and surroundings are based on the following:  
A survey carried out by Laser Survey

The site boundaries are those described by the client. The areas have been calculated in accordance with the RICS property measurement (IPMS), 2nd Edition (2018) using the stated options N/A, GIA, GEA. They are approximate and relate to the likely areas of the building at the current state of the design. Any decisions to be made on the basis of these predictions, whether as to project viability, pre-letting, lease agreements and the like, should make allowance for the following:  
- Design development  
- Accurate site survey, site levels and dimensions need to be fully evaluated  
- Allowance for construction methods and building tolerances.  
- Local authority consents  
Do not scale from this drawing, except for town planning purposes. Work to figured dimensions only.

NOTE:

CLIENT APPROVAL

X	A - APPROVED
X	C - APPROVED WITH COMMENTS
X	C - DO NOT USE

KEY

Project Name

65 Agar Grove - London - NW1 9UE

Drawing Title

Proposed Floor Plans - 3 units

Purpose of Issue

Drawn by

AA

Checked by

RL

Drawing Ref.

Project number  
1907

Project Name - Drawing No - Status - Revision  
PL007 01

Scale

1:50 A1

HQ MANAGEMENT  
SOLUTION LTD

107 Vox Studios  
1-45 Durham Street  
London  
United Kingdom  
SE11 5JH

Copyright HQ MANAGEMENT SOLUTION LTD.  
This drawing is the property of HQ MANAGEMENT SOLUTION LTD and copyright is reserved by them. This drawing is issued on condition that it is not copied, used or disclosed by or to any unauthorised person without the prior written consent of HQ MANAGEMENT SOLUTION LTD. These drawings are to be read in conjunction with all other relevant documentation produced by HQ MANAGEMENT SOLUTION LTD and other consultants employed by the client. These proposals are subject to the approval of all Statutory Building Control requirements and the requirements of all Statutory Authorities and Service Providers. The site boundaries and surroundings are based on the following:

- A survey carried out by Laser Survey
- The site boundaries are those described by the client. The areas have been calculated in accordance with the RICS property measurement (IPMS), 2nd Edition (2018) using the stated options NIA, GIA, GEA. They are approximate and relate to the likely areas of the building at the current state of the design. Any decisions to be made on the basis of these predictions, whether as to project viability, pre-letting, lease agreements and the like, should make allowance for the following:
  - Design development
  - Accurate site survey, site levels and dimensions need to be fully evaluated
  - Allowance for construction methods and building tolerances.
  - Local authority consents
- Do not scale from this drawing, except for town planning purposes. Work to figured dimensions only.

NOTE:

No.	Description	Date

CLIENT APPROVAL		
X	A - APPROVED	
X	C - APPROVED WITH COMMENTS	
X	C - DO NOT USE	

Client <b>HQ Management Solution LTD</b>		
Project Name <b>Camden House</b> 65 Agar Grove - NW1 9UE - London - United Kingdom		
Purpose of Issue		
Scale <b>1 : 50</b>	Date <b>04.12.19</b>	
Drawn by <b>AA</b>	Checked by <b>R.L</b>	Project No. <b>Project Number</b>
Drawing Title <b>Proposed Elevations - 3 Units</b>		
Drawing No. <b>PL008</b>	Revision <b>01</b>	

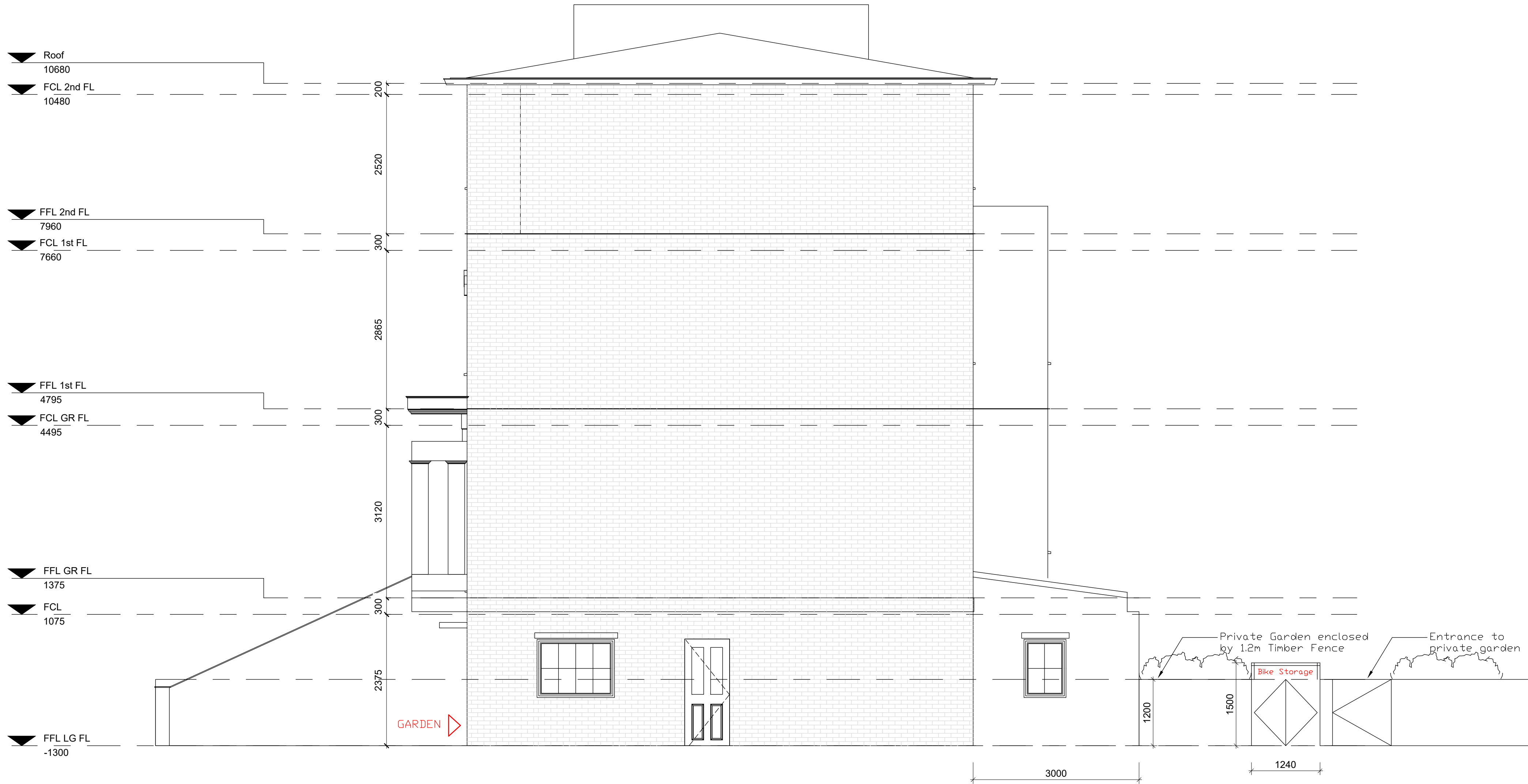


1 Back Elevation  
1 : 50



2 Front Elevation  
1 : 50





2 Side Elevation  
1 : 50

## HQ MANAGEMENT SOLUTION LTD

107 Vox Studios  
1-45 Durham Street  
London  
United Kingdom  
SE11 5JH

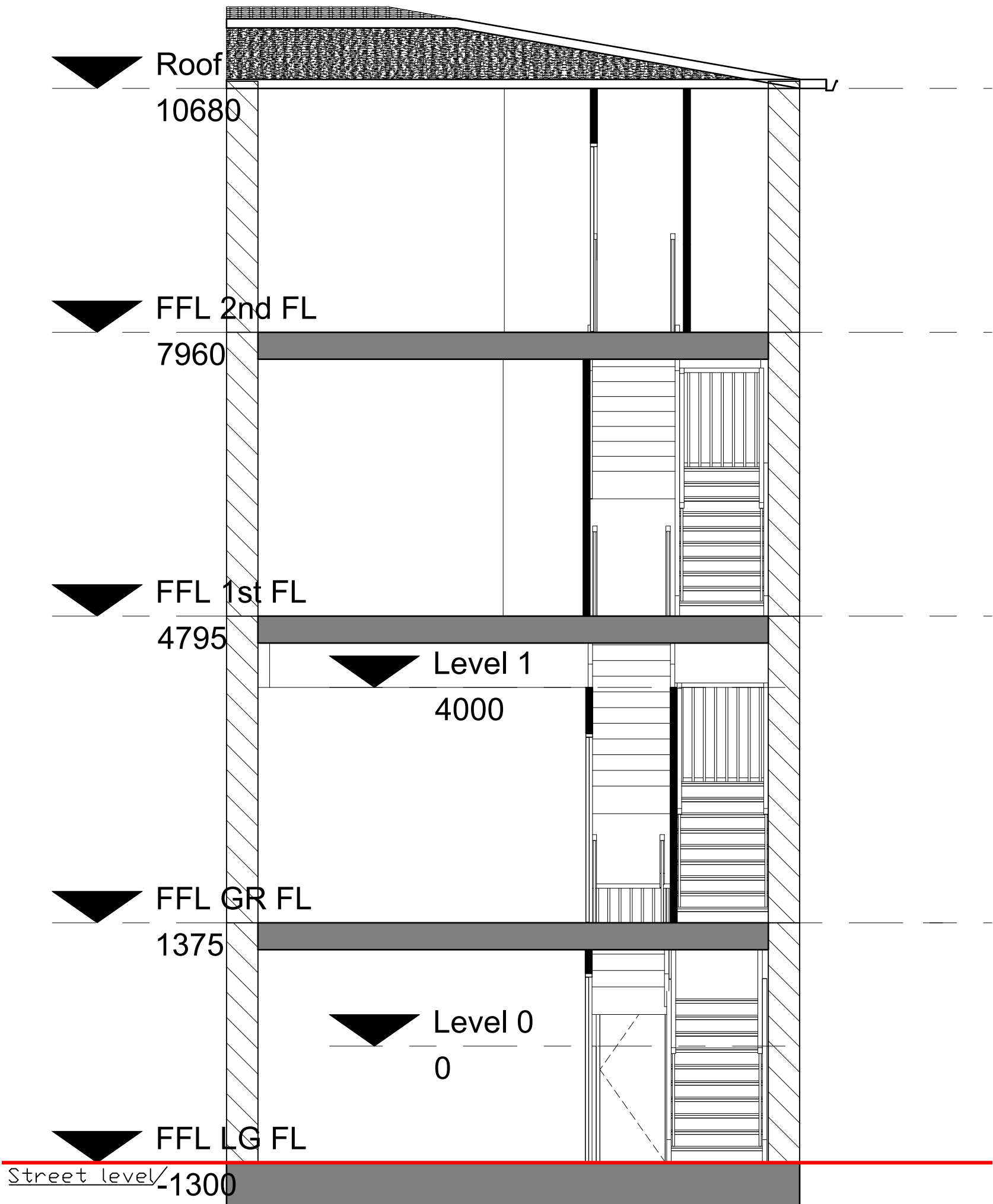
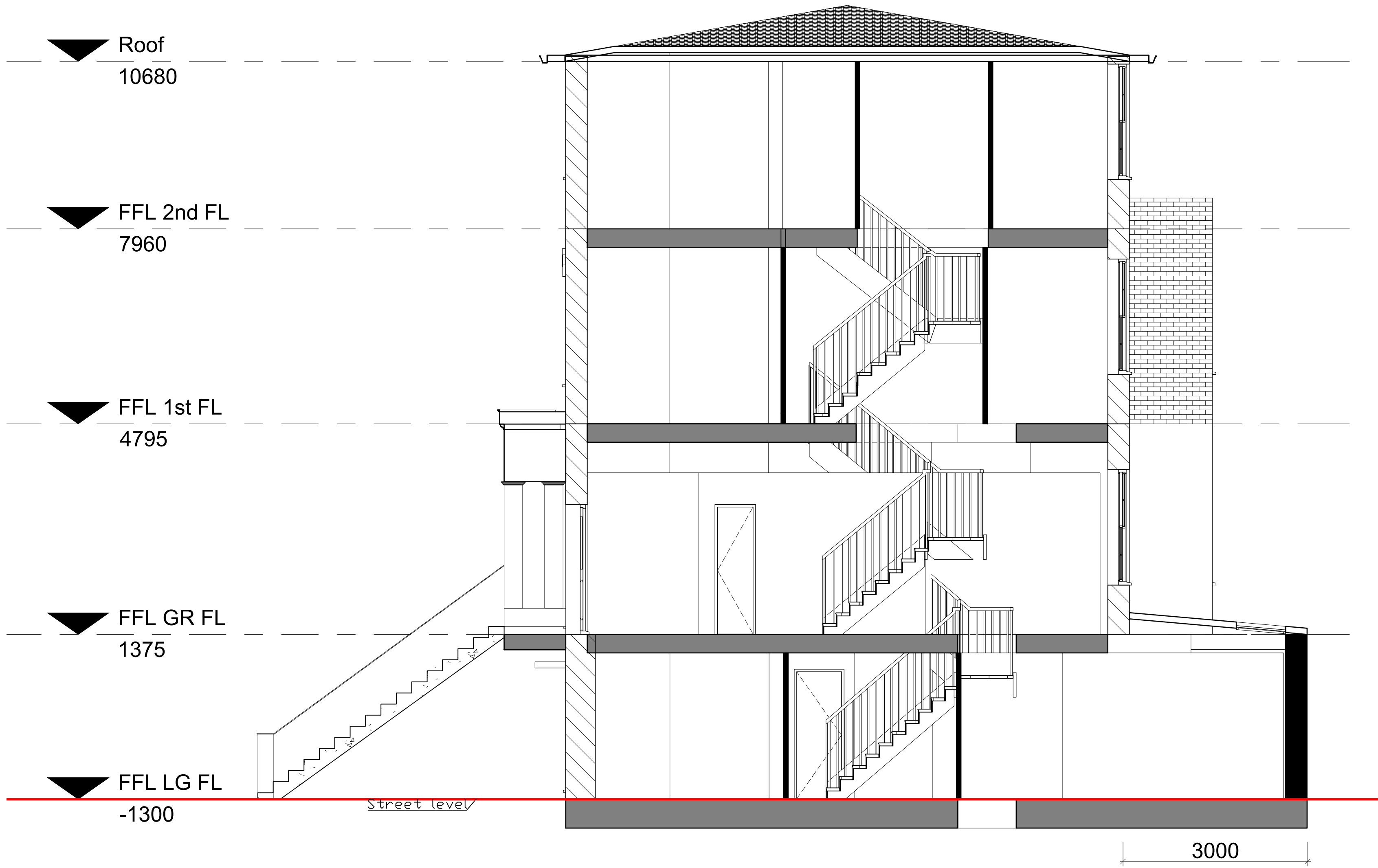
Copyright HQ MANAGEMENT SOLUTION LTD.  
This drawing is the property of HQ MANAGEMENT SOLUTION LTD and copyright is reserved by them. This drawing is issued on condition that it is not copied, used or disclosed by or to any unauthorised person without the prior written consent of HQ MANAGEMENT SOLUTION LTD. These drawings are to be read in conjunction with all other relevant documentation produced by HQ MANAGEMENT SOLUTION LTD and other consultants employed by the client.  
These proposals are subject to the approval of all Statutory Building Control requirements and the requirements of all Statutory Authorities and Service Providers.  
The site boundaries and surroundings are based on the following:  
A survey carried out by Laser Survey  
The site boundaries are those described by the client.  
The areas have been calculated in accordance with the RICS property measurement (PMS), 2nd Edition (2018) using the stated options NIA, GIA, GEA. They are approximate and relate to the likely areas of the building at the current state of the design. Any decisions to be made on the basis of these predictions, whether as to project viability, pre-letting, lease agreements and the like, should make allowance for the following:  
- Design development  
- Accurate site survey, site levels and dimensions need to be fully evaluated  
- Allowance for construction methods and building tolerances.  
- Local authority consents  
Do not scale from this drawing, except for town planning purposes. Work to figured dimensions only.

### NOTE:

No.	Description	Date

CLIENT APPROVAL	
X	A - APPROVED
X	C - APPROVED WITH COMMENTS
X	C - DO NOT USE

Client <b>HQ Management Solution LTD</b>		
Project Name <b>Camden House</b> 65 Agar Grove - NW1 9UE - London - United Kingdom		
Purpose of Issue		
Scale <b>1 : 50</b>	Date <b>04.12.19</b>	
Drawn by <b>AA</b>	Checked by <b>R.L</b>	Project No. <b>Project Number</b>
Drawing Title <b>Proposed Elevations - 3 Units</b>		
Drawing No. <b>PL009</b>	Revision <b>01</b>	



HQ MANAGEMENT  
SOLUTION LTD

107 Vox Studios  
1-45 Durham Street  
London  
United Kingdom  
SE11 5JH

Copyright HQ MANAGEMENT SOLUTION LTD.  
This drawing is the property of HQ MANAGEMENT SOLUTION LTD and copyright is reserved by them. This drawing is issued on condition that it is not copied, used or disclosed by or to any unauthorised person without the prior written consent of HQ MANAGEMENT SOLUTION LTD. These drawings are to be read in conjunction with all other relevant documentation produced by HQ MANAGEMENT SOLUTION LTD and other consultants employed by the client.  
These proposals are subject to the approval of all Statutory Building Control requirements and the requirements of all Statutory Authorities and Service Providers.  
The site boundaries and surroundings are based on the following:  
- A survey carried out by Laser Survey  
- The site boundaries are those described by the client.  
The areas have been calculated in accordance with the stated options NIA, GIA, GEA. They are approximate and relate to the likely areas of the building at the current state of the design. Any decisions to be made on the basis of these predictions, whether as to project viability, pre-letting, lease agreements and the like, should make allowance for the following:  
- Design development  
- Accurate site survey, site levels and dimensions need to be fully evaluated  
- Allowance for construction methods and building tolerances.  
- Local authority consents.  
Do not scale from this drawing, except for town planning purposes. Work to figured dimensions only.

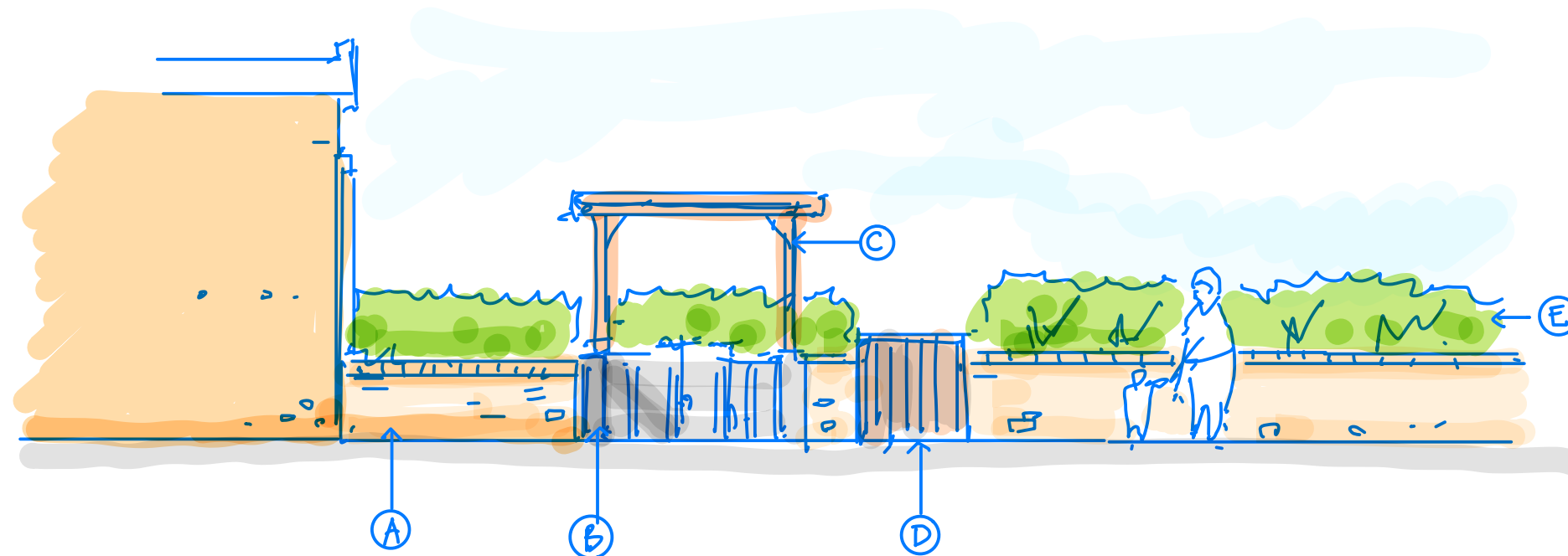
NOTE:

No.	Description	Date

CLIENT APPROVAL		
X	A - APPROVED	
X	C - APPROVED WITH COMMENTS	
X	C - DO NOT USE	

Client <b>HQ Management Solution LTD</b>		
Project Name <b>Camden House</b> 65 Agar Grove - NW1 9UE - London - United Kingdom		
Purpose of Issue		
Scale <b>1 : 50</b>	Date <b>03.09.19</b>	
Drawn by <b>AA</b>	Checked by <b>R.L</b>	Project No. <b>Project Number</b>
Drawing Title <b>Proposed Sections - 3 Units</b>		
Drawing No. <b>PL-010</b>	Revision	

## Indicative Plan



### ELEVATION A-

#### NOTE:

The drawing is 'not to scale' and the materials shown are indicative.

- (A) Brick garden wall, colour to match existing house
- (B) Bike pan block work with render finish, light grey.
- (C) Timber framed table structure flat roof for bicycle storage
- (D) Garden gate in timber
- (E) Hedging to soften boundary and maintain privacy

Cycle storage to have suitable anchor,  
with security lighting activated by PIR