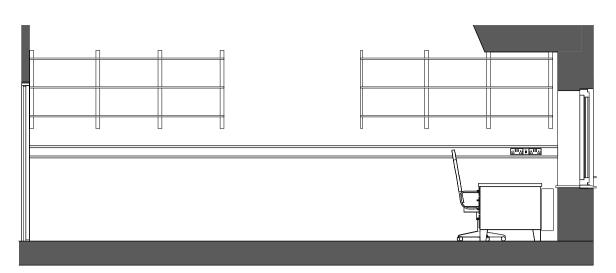


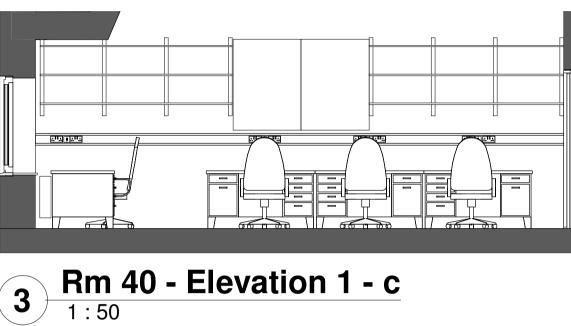
Proposed Offices 38 & 40 - Plan

1:50

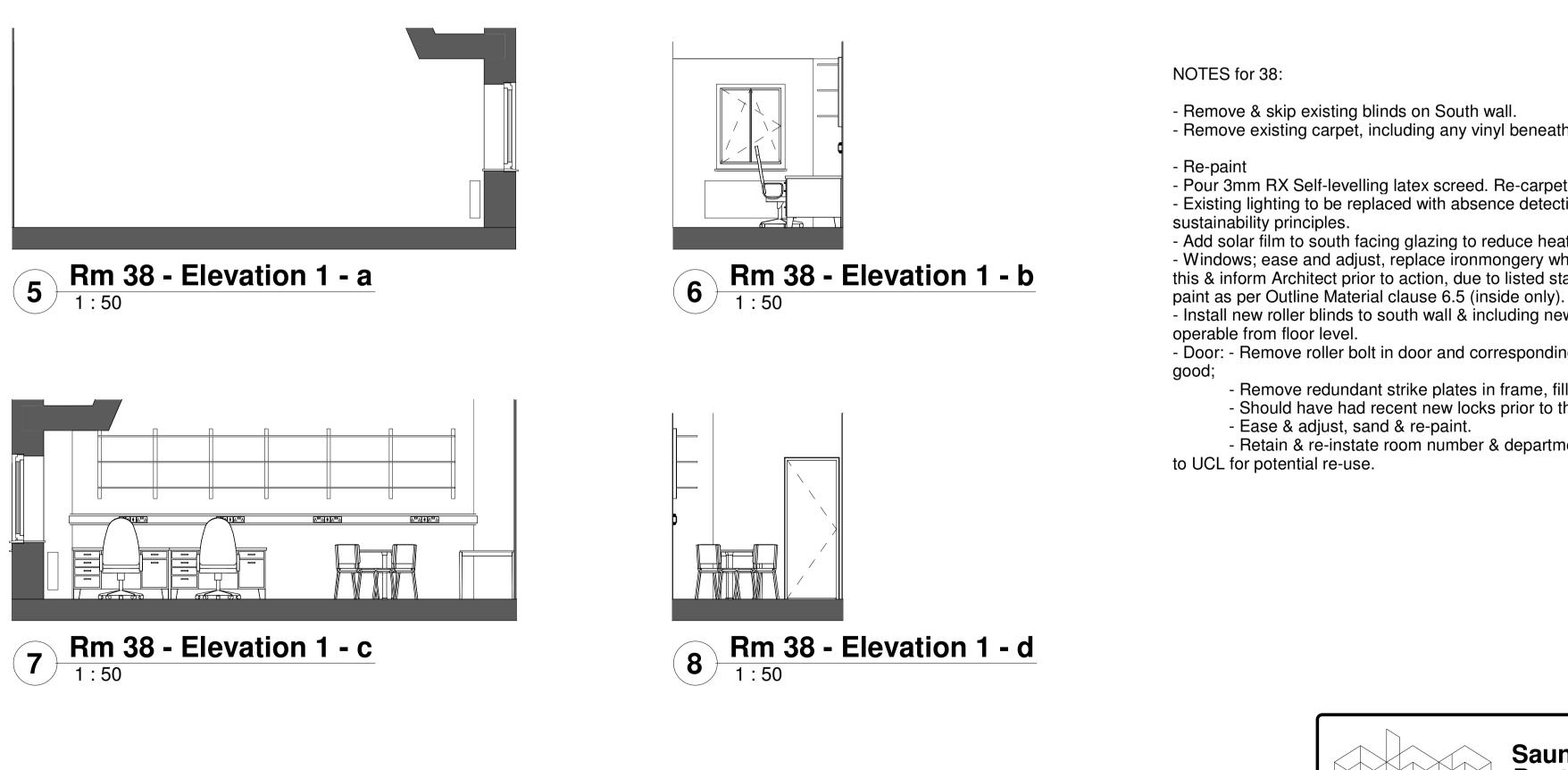


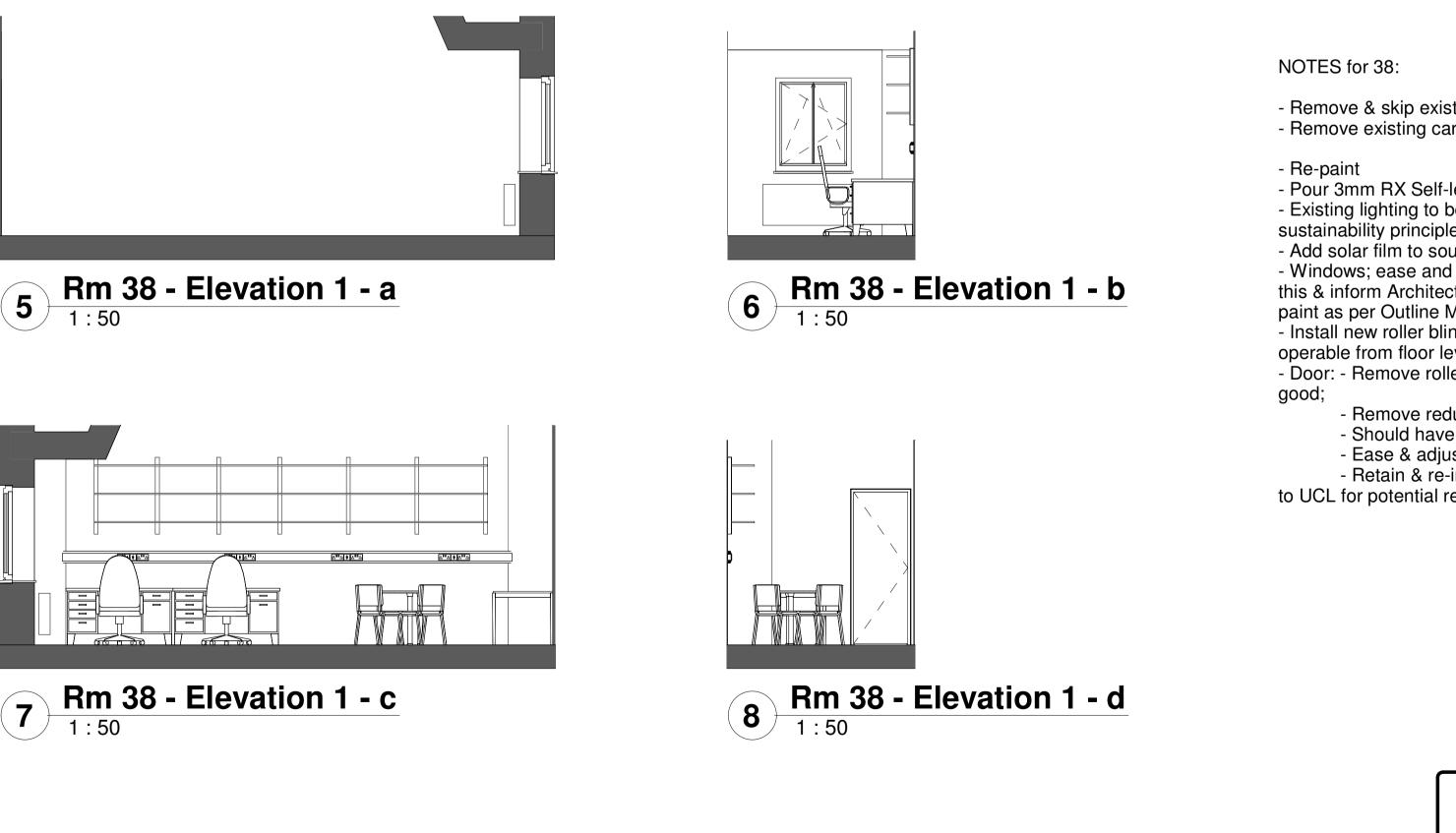


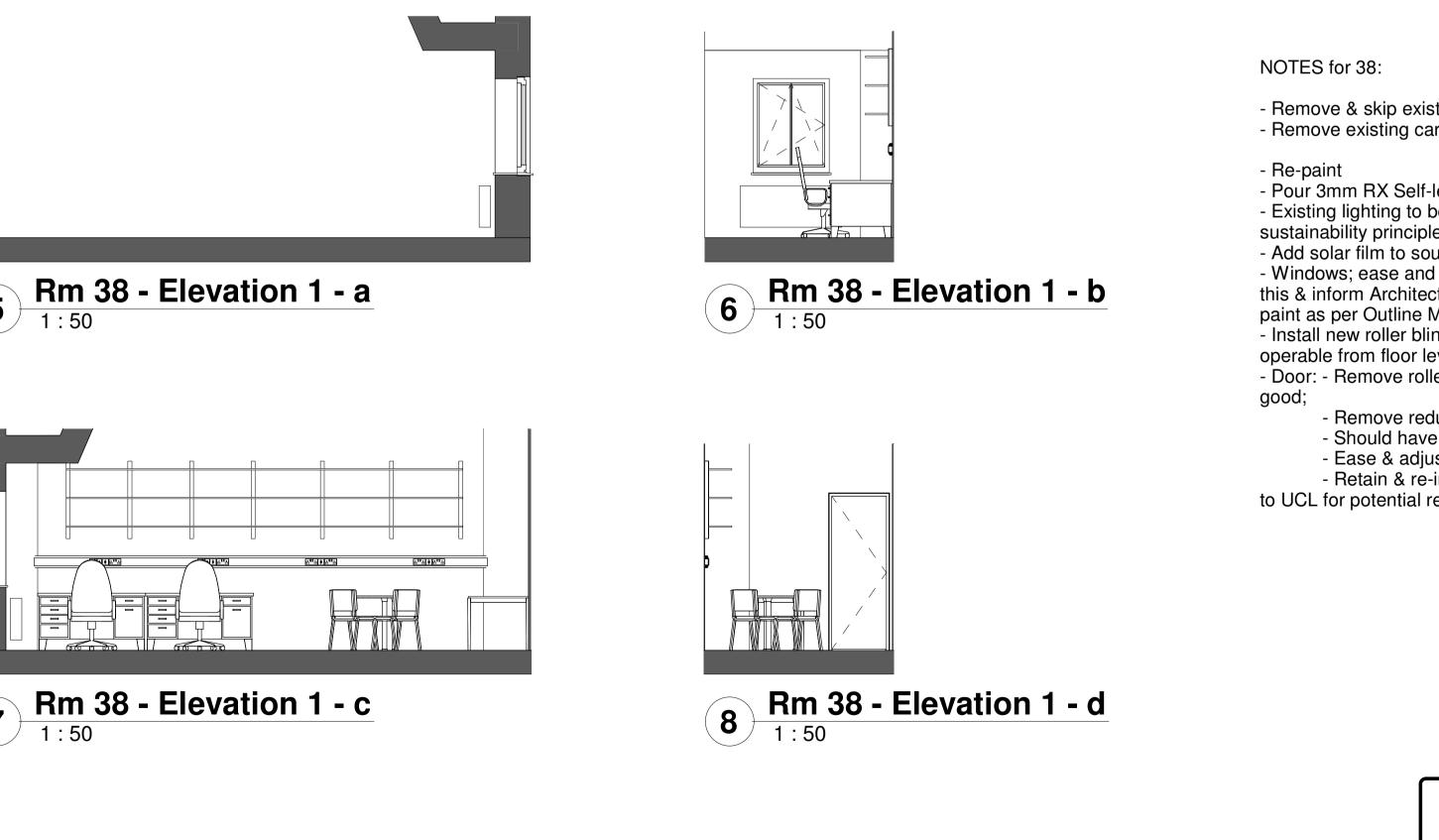


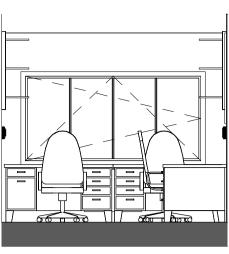






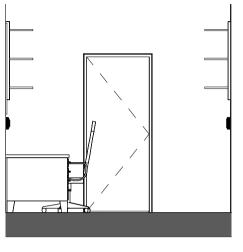






Rm 40 - Elevation 1 - b 1:50 2





Rm 40 - Elevation 1 - d 4

NOTES for 40:

- Remove 2 x dead power outlets on east wall.
- Remove & skip existing blinds.
- Retain shelves, & pin boards.
- Re-paint
- Add solar film to south facing glazing to reduce heat gains.
- Doors; ease & adjust, sand & re-paint.

۷o.	Note

- All dimensions to be verified on site by GENERAL CONTRACTOR prior to any work, setting out or shop drawings being prepared.
- 2 Drawings not to be scaled. Work to figured dimensions only.
- © copyright SAUNDERS BOSTON LIMITED. All rights reserved. This drawing remains the property of SAUNDERS BOSTON LIMITED at all times and may not be reproduced or copied in whole or in part without their prior written consent.
- This drawing and related specifications are for use only in the stated location.
- 5 This drawing is to be read in conjunction with all other Consultants drawings and
- specification 6 Drainage has not been surveyed and any/all pipe locations and below ground drainage runs
- are indicative.
- It is assumed that all works will be carried out by a competent contractor who will be working, where appropriate, to an approved method statement.

- Remove existing carpet, including any vinyl beneath to strip back to concrete.

- Pour 3mm RX Self-levelling latex screed. Re-carpet

- Existing lighting to be replaced with absence detection system in accordance with UCL sustainability principles.

- Windows; ease and adjust, replace ironmongery where required (Identify any marked for this & inform Architect prior to action, due to listed status), clean and rub down, then re-paint as per Outline Material clause 6.5 (inside only).

- Retain & re-instate room number & department signage; return all other signage to UCL for potential re-use. - Should have had recent new locks prior to this project's commencement.

- Ceiling; replace suspended ceiling tiles (existing grid & suspension can be retained).

- Remove & skip existing blinds on South wall. - Remove existing carpet, including any vinyl beneath to strip back to concrete.

- Pour 3mm RX Self-levelling latex screed. Re-carpet

- Existing lighting to be replaced with absence detection system in accordance with UCL

- Add solar film to south facing glazing to reduce heat gains.

- Windows; ease and adjust, replace ironmongery where required (Identify any marked for this & inform Architect prior to action, due to listed status), clean and rub down, then re-

- Install new roller blinds to south wall & including new blinds to high level north wall

- Door: - Remove roller bolt in door and corresponding strike plate in frame, fill and make

- Remove redundant strike plates in frame, fill and make good.

- Should have had recent new locks prior to this project's commencement.

- Ease & adjust, sand & re-paint.

- Retain & re-instate room number & department signage; return all other signage

				T1 No.	TENDER ISSU Revision	JE	18/02/2019 Date		RJB Auth
Saunders Boston Architects		Client University College London							
		ston	Wilkins-South Wing Level 2 Refurb						
		chitects	Drawing Proposed Offices 38 & 40 RDS						
Eastern Gate House, 119 New Cambridge CB5 8HA T:01223 367733 office@saundersboston.co.uk	vmarket Road,	The Quay, T:01392 34	ator, The Gallery, King's Wharf Exeter EX2 4AN 8627 Jersboston.co.uk						
	TEND	ER		Scale	indicate		Revision	T1	
A Project Code	Drawn LJM		Date 18/02/19	project	multute	originator zone level type	role nu	mber	
1657	Checked RJB		Suitability Code	PS	00999	-SBA-XX-02 -D	R-A-0	606	;