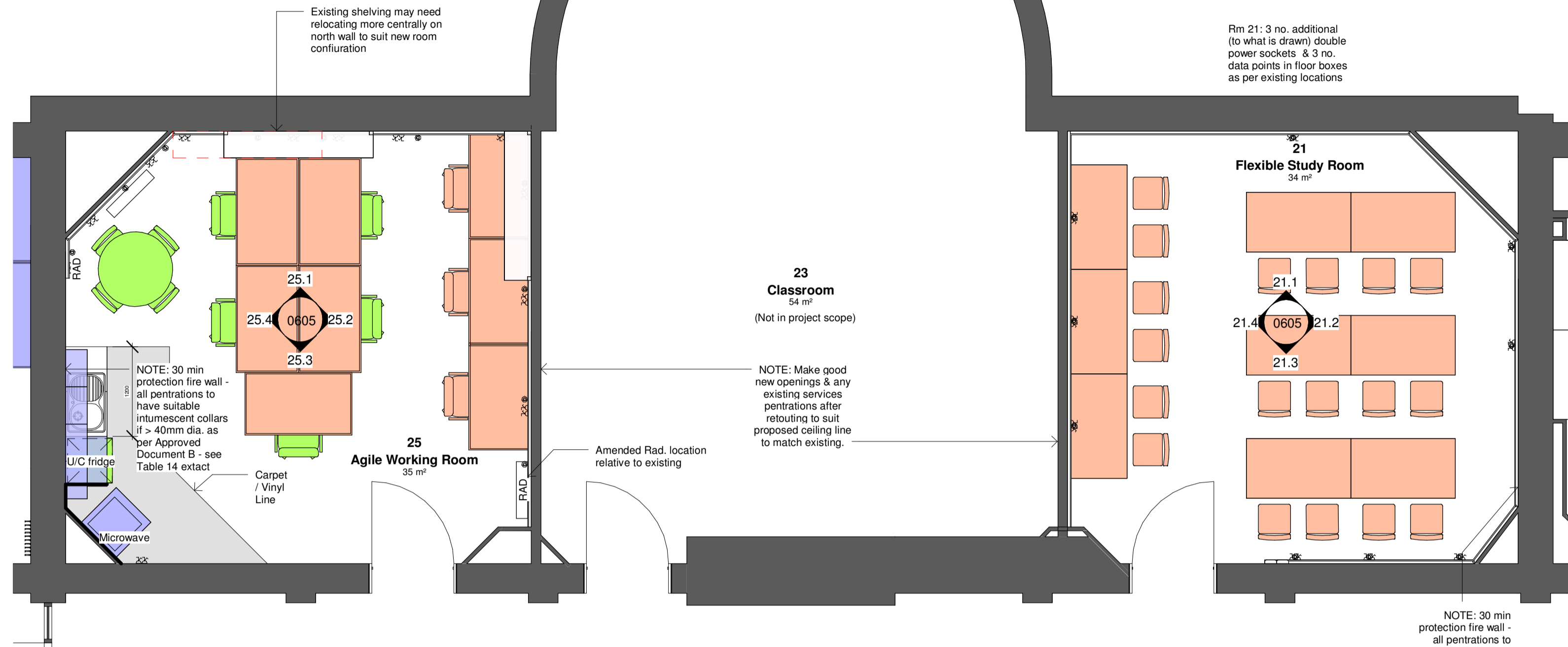
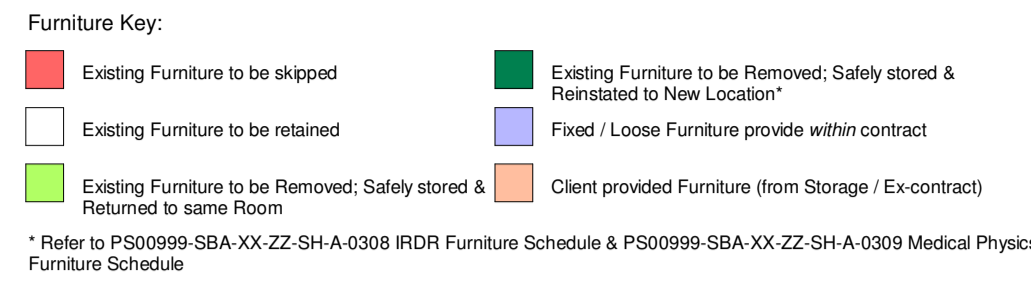


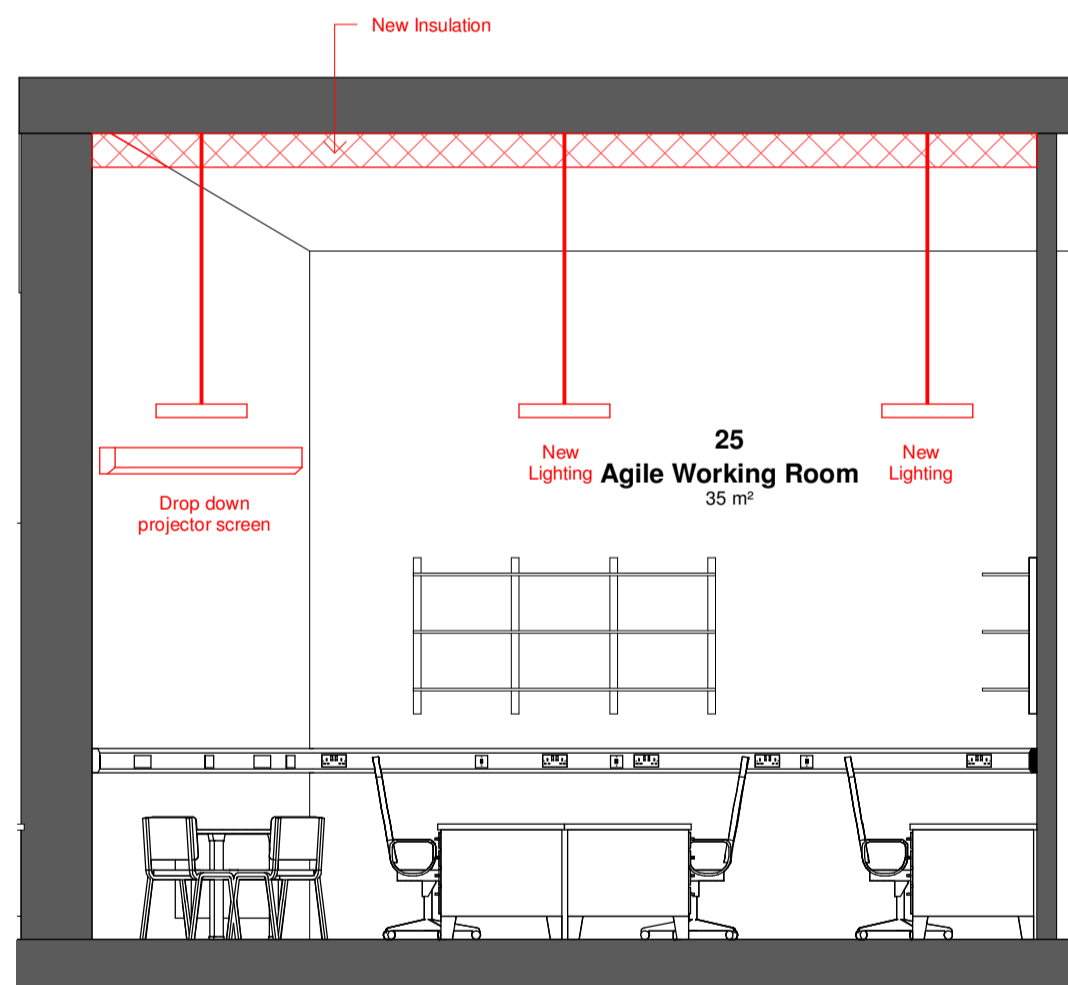
NOTES for 25:

- Demolish false ceiling to access substantial natural light.
- Make good any damage to walls caused by suspended ceiling, & historic routing of services or their removal.
- Remove existing carpet, including any vinyl beneath to strip back to concrete.
- Take down AV equipment & store safely before re-installing after work is complete.
- Kitchen fittings: retain recently added teapoint/sink. Extend worktop to allow additional worktop space over under-counter fridge. Provide new table for microwave, in front of riser – allowing maintenance access. Allow for additional overhead storage cupboards across west wall.
- U/C fridge to be provided by client (re-use existing).
- New microwave required to replace existing broken one.
- Pour 3mm RX Self-levelling latex screed. Re-carpet except for new vinyl area to existing area around tea-point as per plan (750mm offset from front edge & aligned to side end). Floor beneath existing kitchen units can be retained as existing beyond plinth of kitchen unit being retained.
- Re-paint walls. Ensure wall to Room 27 is suitable to provide 30 minute fire protection for entirety of newly exposed height, including any penetrations requiring suitable (intumescent) detailing.
- Install new rigid insulation between roof joists/rafters with composite plasterboard ceiling beneath.
- Existing lighting to be replaced with absence dection system in accordance with UCL sustainability principles. Suspended at comparable height to high level window cill.
- Add solar film to high level glazing to reduce heat gains.
- Windows; Ensure window opening mechanisms are in functional order. Repair/replace if not. Ease and adjust, replace ironmongery where required (Identify any marked for this & inform Architect prior to action, due to listed status), clean and rub down, then re-paint as per Outline Material clause 6.5 (inside only).
- Install new black-out blinds to high level windows, operable from floor level.
- Fill in and blank holes in door; Remove pull handle; Remove redundant strike plates in frame, fill and make good. Remove roller bolt in door and corresponding strike plate in frame, fill and make good; Piece in and make good split at base of door. Re-instate Door knob to match historic precedent within corridor. Will require new lock - UCL to provide; contractor to install. Ease & adjust, sand & re-paint. Retain & re-instate room number & department signage; return all other signage to UCL for potential re-use



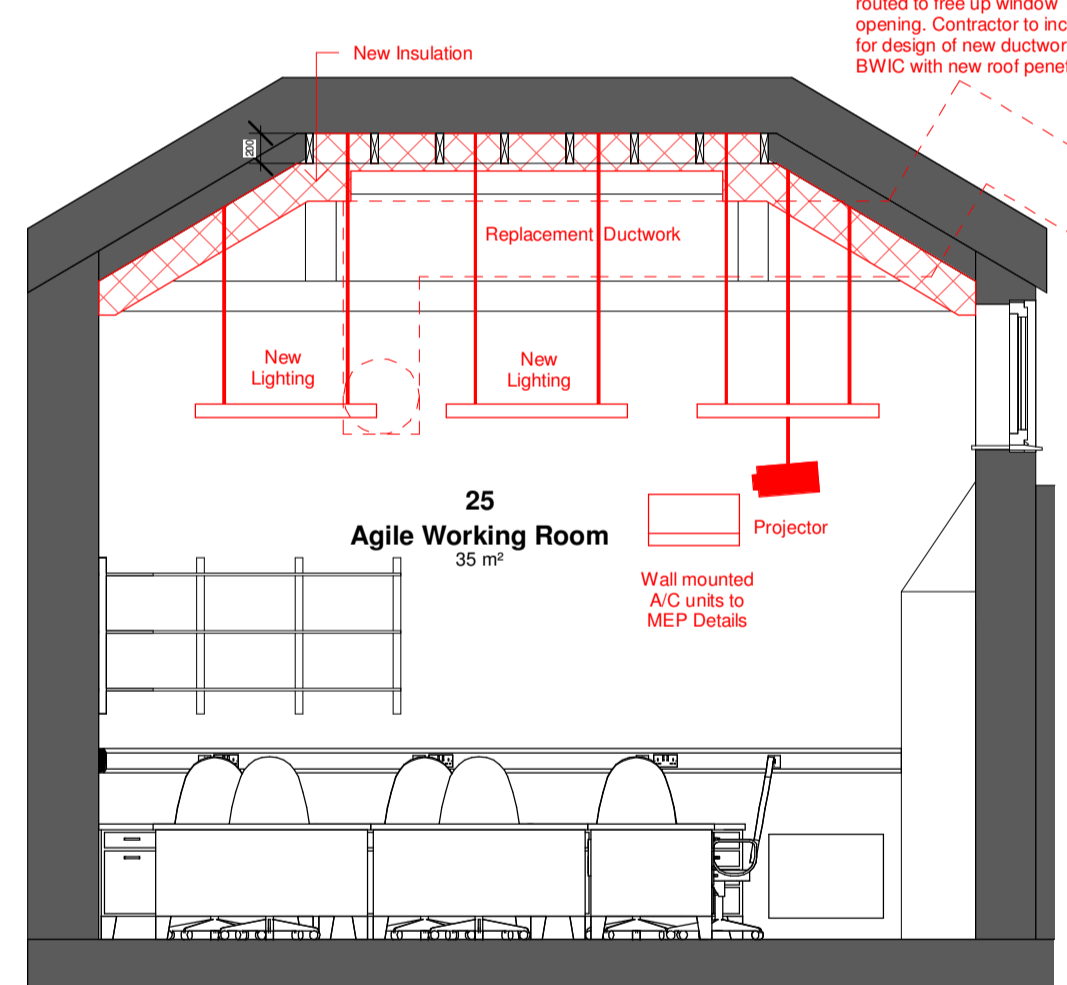
Proposed Plan - Rooms 21 and 25

1 : 50



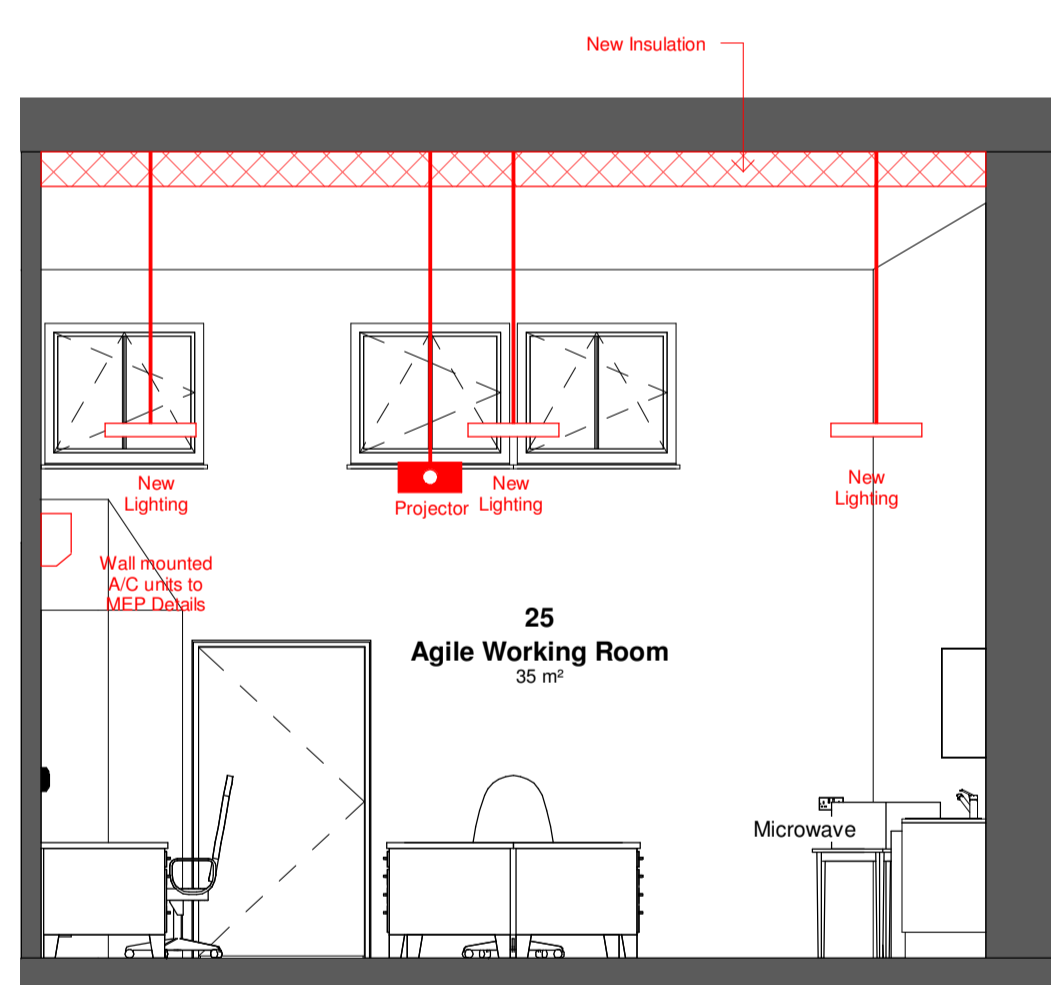
25.1 Rm 25 North Elevation

1 : 50



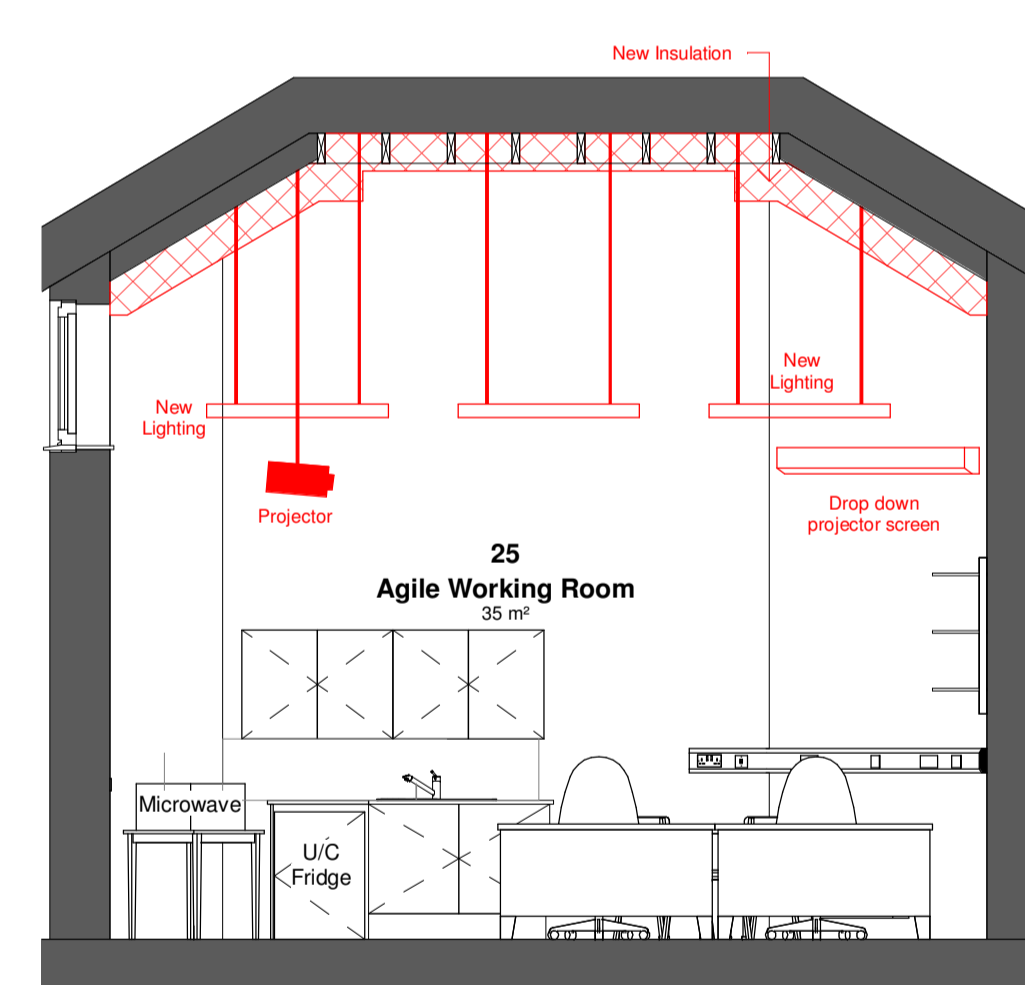
25.2 Rm 25 East Elevation

1 : 50



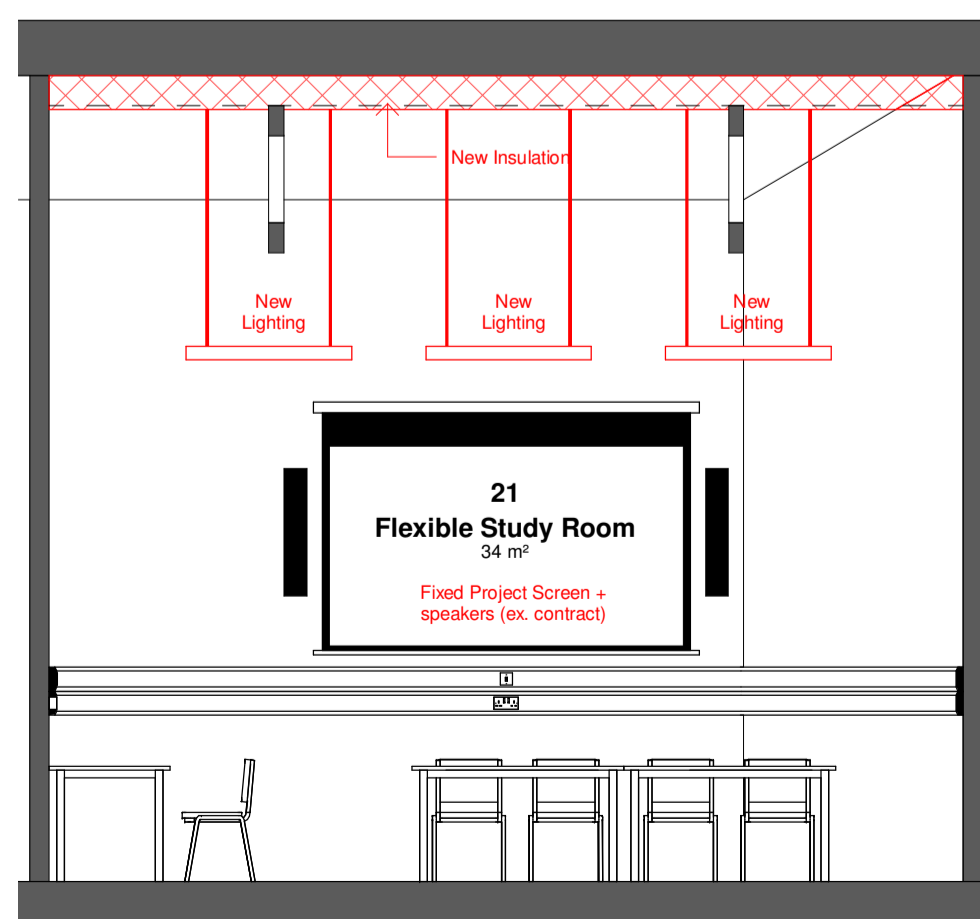
25.3 Rm 25 South Elevation

1 : 50



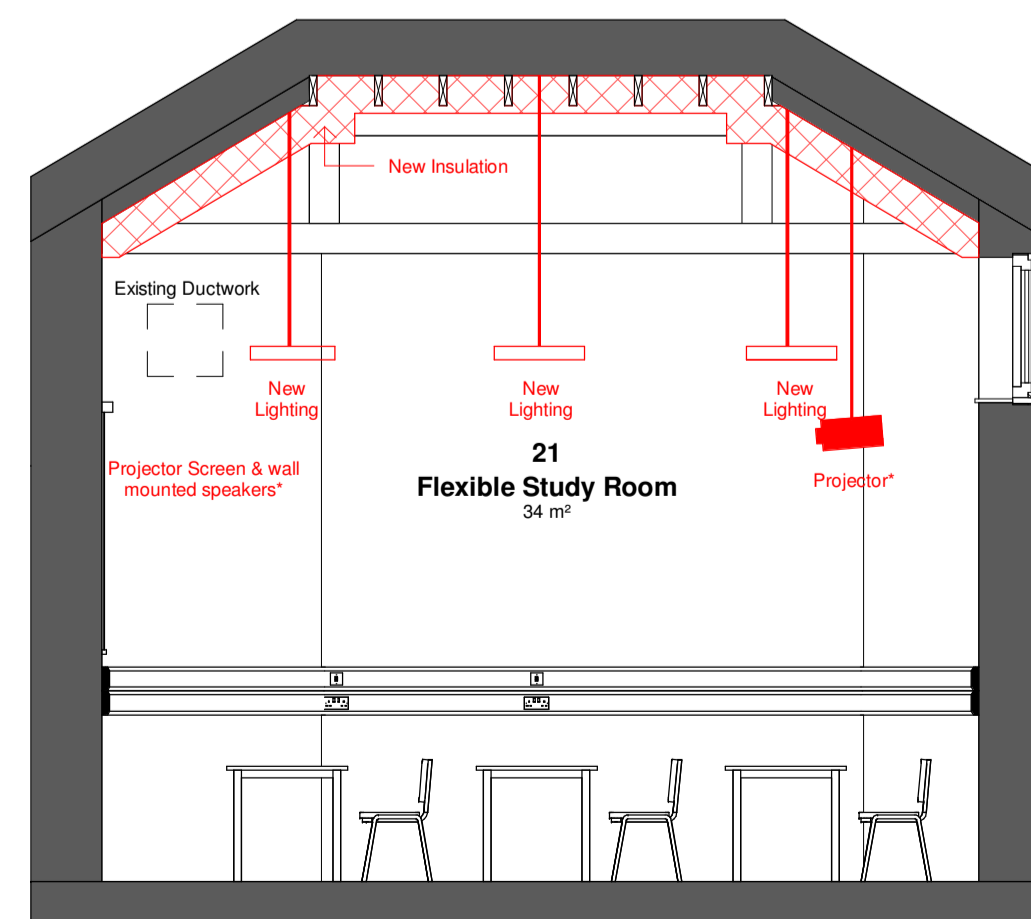
25.4 Rm 25 West Elevation

1 : 50



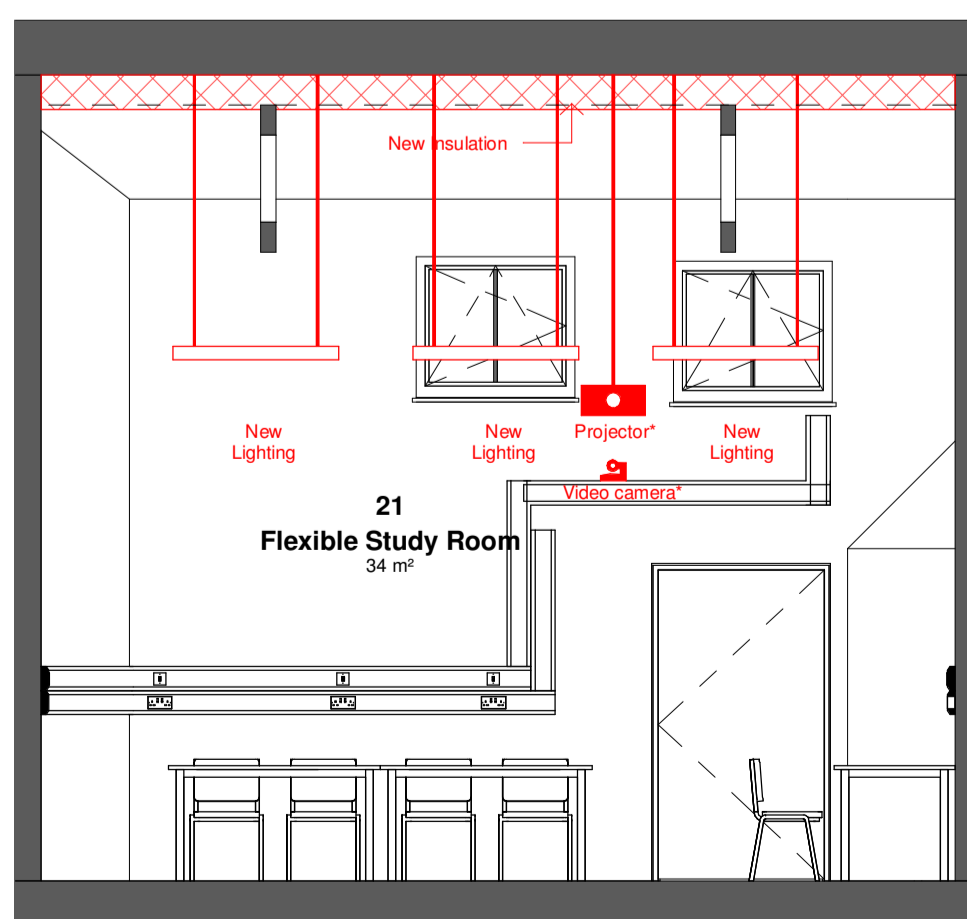
21.1 Rm 21 North Elevation

1 : 50



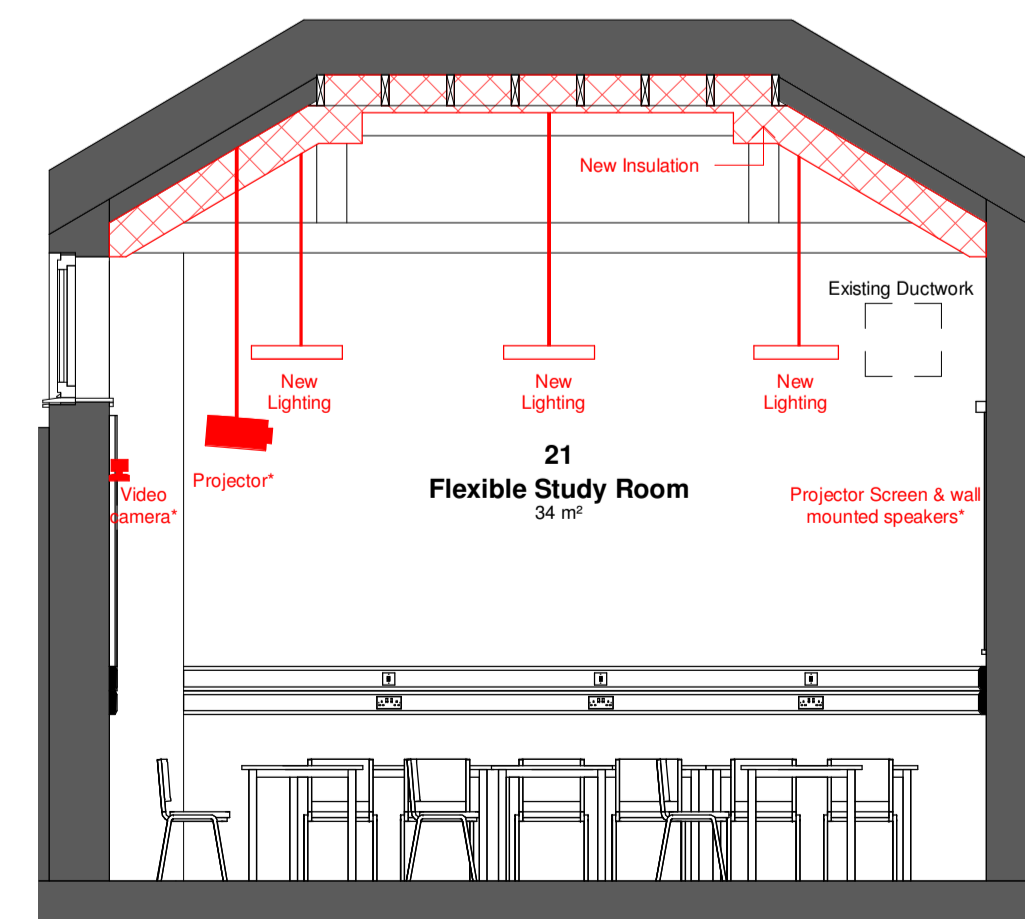
21.2 Rm 21 East Elevation

1 : 50



21.3 Rm 21 South Elevation

1 : 50



21.4 Rm 21 West Elevation

1 : 50

HEALTH, SAFETY & ENVIRONMENTAL INFORMATION	
In addition to the hazards/risks normally associated with the types of work detailed on this drawing, also note the following:	No. Note
CONSTRUCTION	1 All dimensions to be verified on site by GENERAL CONTRACTOR prior to any work, setting out or shop drawings being prepared.
MAINTENANCE/CLEANING	2 Drawings not to be scaled. Work to figured dimensions only.
DECOMMISSION/DEMOLITION	3 © copyright SAUNDERS BOSTON LIMITED. All rights reserved. This drawing remains the property of SAUNDERS BOSTON LIMITED at all times and may not be reproduced or copied in whole or in part without their prior written consent.
	4 This drawing and related specifications are for use only in the stated location.
	5 This drawing is to be read in conjunction with all other Consultants drawings and specifications.
	6 Drainage has not been surveyed and any/all pipe locations and below ground drainage runs are indicative.
	7 It is assumed that all works will be carried out by a competent contractor who will be working, where appropriate, to an approved method statement.

Table 14 Maximum nominal internal diameter of pipes passing through a compartment wall/floor (see paragraph 10.5 onwards)			
Situation	Pipe material and maximum nominal internal diameter (mm)		
	(a) Non-combustible material ⁽¹⁾	(b) Lead, aluminium, aluminium alloy, uPVC ⁽²⁾ , fibre cement	(c) Any other material
1. Structure (but not a wall separating buildings) enclosing a protected shaft which is not a stairway or a lift shaft	160	110	40
2. Compartment wall or compartment floor between flats	160	160 (stack pipes) ⁽³⁾ 110 (branch pipe) ⁽³⁾	40
3. Any other situation	160	40	40

Notes:

- Any non-combustible material (such as cast iron, copper or steel) which, if exposed to a temperature of 800°C, will not soften or fracture to the extent that flame or hot gas will pass through the wall of the pipe.
- uPVC pipes complying with BS 4514:2001 and uPVC pipes complying with BS 5255:1989.
- These diameters are only in relation to pipes forming part of an above-ground drainage system and enclosed as shown in Diagram 36. In other cases the maximum diameters against situation 3 apply.

NOTES for 21:

- Remove / replace asbestos containing flue pipe in riser in furthest door. (Cat. 2)
- Demolish false ceiling to access substantial natural light.
- Demolish all fixed desks / benches.
- Make good any damage to walls caused by fixed furniture, suspended ceiling, & historic routing of services or their removal.
- Remove existing carpet, including any vinyl beneath to strip back to concrete.
- AV equipment shown to coordination purposes only - will be provided ex - contract.
- Pour 3mm RX Self-levelling latex screed (Note requirement for floor boxes). Re-carpet
- Re-paint walls. Ensure wall to Room 19 is suitable to provide 30 minute fire protection for entirety of newly exposed height, including any penetrations requiring suitable (intumescent) detailing.
- Install new rigid insulation between roof joists/rafters with composite plasterboard ceiling beneath.
- Existing lighting to be replaced with absence dection system in accordance with UCL sustainability principles. Suspended at comparable height to high level window cill.
- Add solar film to high level glazing to reduce heat gains.
- Windows; ease and adjust, replace ironmongery where required (Identify any marked for this & inform Architect prior to action, due to listed status), clean and rub down, then re-paint as per Outline Material clause 6.5 (inside only).
- Install new black-out blinds to high level windows, operable from floor level.
- Door; - Remove existing code lock and fit free issue Codoor lock;
 - remove existing padlock and clasps;
 - remove mortice lock, rim cylinder and latch, fill and make good.
 - Blank off keyhole in door.
 - Remove redundant strike plate on Frame, piece in and make good.
 - Ease & adjust, sand & re-paint.
 - Retain & re-instate room number & department signage; return all other signage to UCL for potential re-use.

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<p>Client</p> <p>University College London</p> <p>Job</p> <p>Wilkins-South Wing Level 2 Refurb</p> <p>Drawing</p> <p>Proposed Rooms 21 & 25 RDS</p>		<p>Scale</p> <p>As indicated @A1</p> <p>Revision</p> <p>T1</p>
<p>SBA Project Code</p> <p>1657</p>	<p>Drawn</p> <p>LJM</p> <p>Checked</p> <p>RJB</p>	<p>Date</p> <p>18/02/19</p> <p>Suitability Code</p> <p>02</p>
<p>Project</p> <p>PS09099 -SBA-XX-02 -DR-A-0605</p>		