

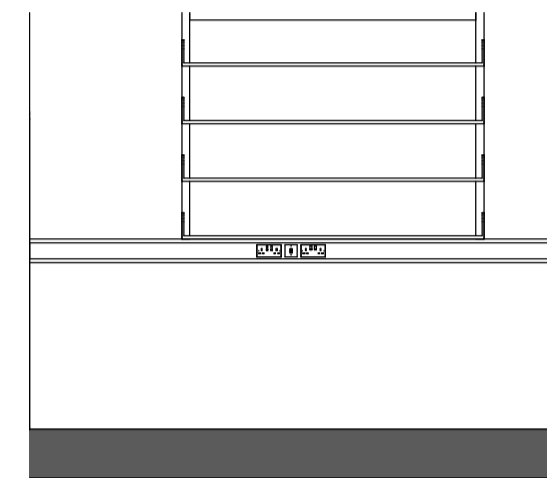
Proposed Offices 32, 32B & 34 - Plan
1 : 50

- Furniture Key:**
- Existing Furniture to be skipped
 - Existing Furniture to be Removed; Safely stored & Reinstated to New Location*
 - Existing Furniture to be retained
 - Fixed / Loose Furniture provide within contract
 - Existing Furniture to be Removed; Safely stored & Returned to same Room
 - Client provided Furniture (from Storage / Ex-contract)
- * Refer to PS00999-SBA-XX-ZZ-SH-A-0308 IRDR Furniture Schedule & PS00999-SBA-XX-ZZ-SH-A-0309 Medical Physics Furniture Schedule

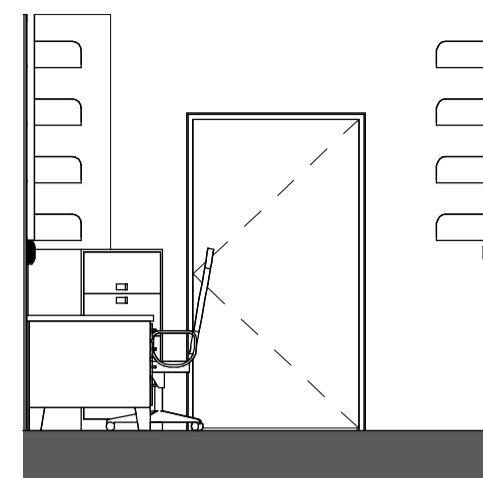
Room 34:



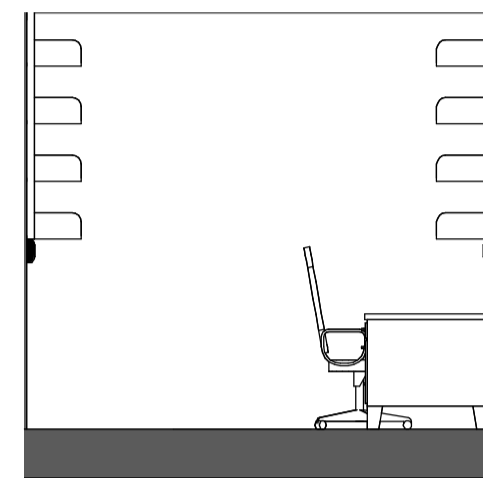
1 34 West Elev.
1 : 50



3 34 East Elev.
1 : 50



2 34 North Elev.
1 : 50

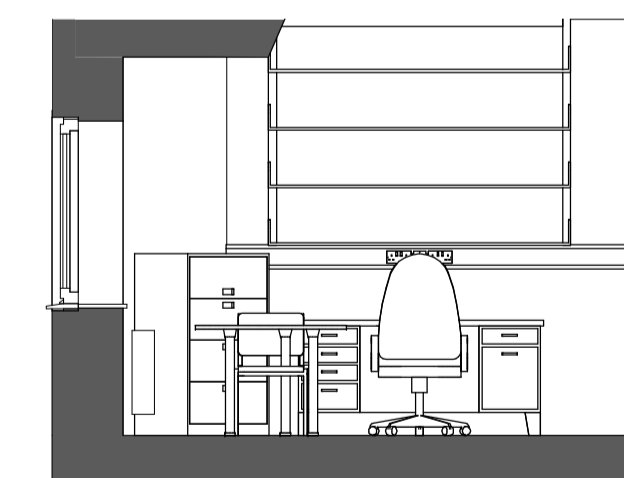


4 34 South Elev.
1 : 50

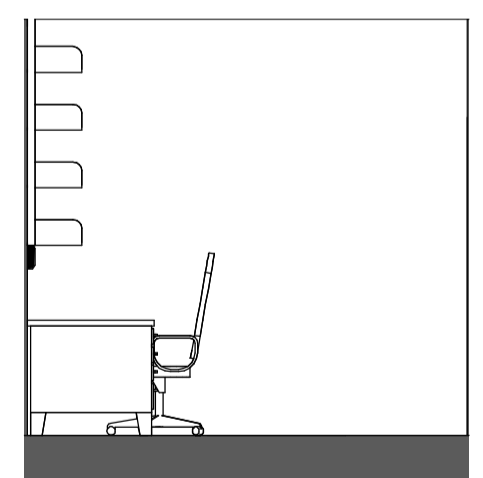
NOTES for 32A:

- Demolish all benching, sink run & boiler. Remove all pin boards, & white boards.
- Remove high level middle partition, make good wall & ceiling.
- Remove & skip existing blinds.
- Retain / demolish shelving as per elevations.
- Fit shelving as per elevations on east & west walls. Note reduction of shelving on west wall closest to window.
- Fit coat rack behind entrance door.
- Re-paint walls
- Re-carpet
- Existing lighting to be replaced with absence detection system in accordance with UCL sustainability principles.
- Add solar film to south facing glazing to reduce heat gains.
- Windows; ease and adjust, replace ironmongery where required (Identify any marked for this & inform Architect prior to action, due to listed status), clean and rub down, then re-paint as per Outline Material clause 6.5 (inside only).
- Install new roller blinds.
- Door; - Remove roller bolt in door and corresponding strike plate in frame, fill and make good.
 - Ease & adjust, sand & re-paint.
 - Retain & re-instate room number & department signage; return all other signage to UCL for potential re-use;
 - Should have had recent new locks prior to this project's commencement.

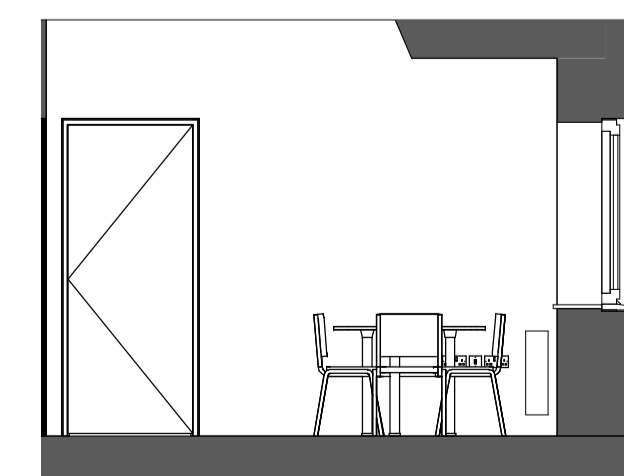
Room 32B:



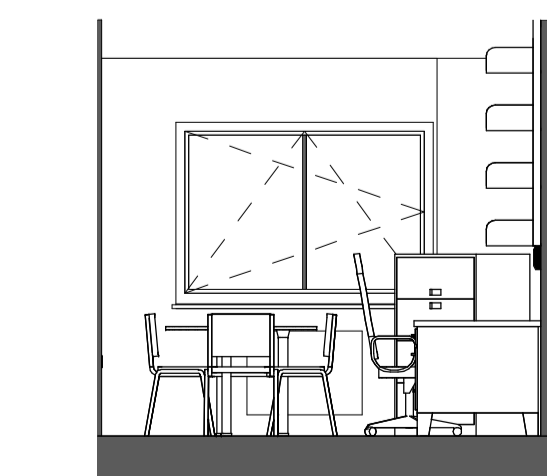
9 32B West Elev.
1 : 50



10 32B North Elev.
1 : 50



11 32B East Elev.
1 : 50

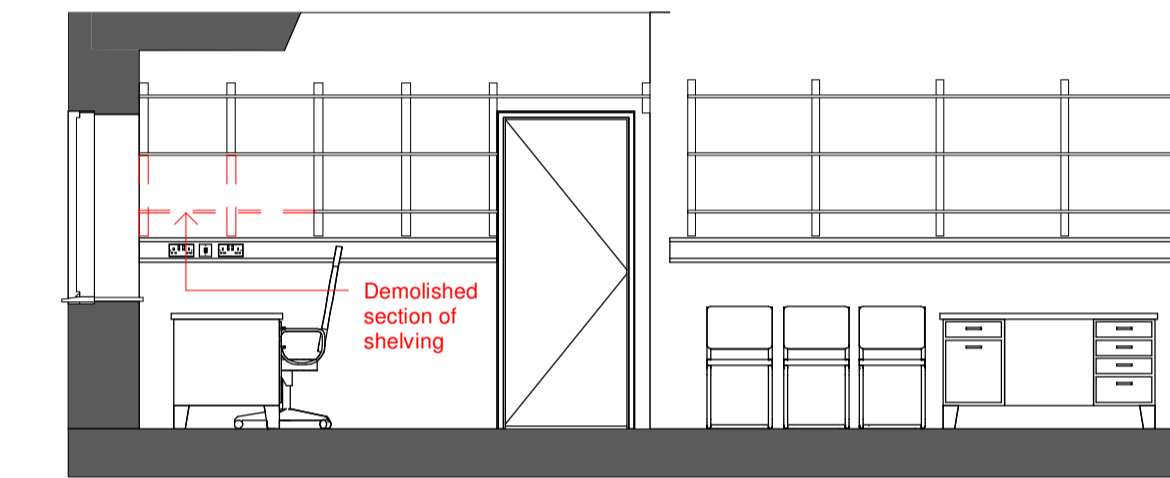


12 32B South Elev.
1 : 50

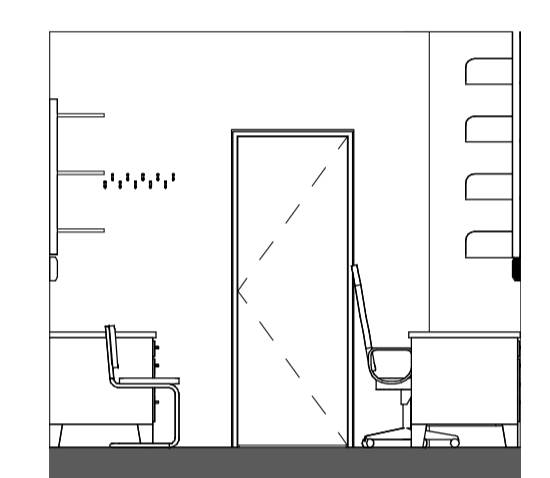
NOTES for 34:

- Demolish all sinks, fitted benches, shelves, pin boards, & fitted wall cabinet.
- Remove existing vinyl to strip back to concrete.
- Create separate room to 32B by blocking up existing opening using timber or metal studwork, fully fill void with rigid rockwool. Line with 2 layers of soundbloc plasterboard to both faces. Mastic all joints prior to skim & decoration. Ensure flush finish with adjacent walls by selecting appropriate stud depth.
- Make good any damage caused by fitted furniture or its removal; Re-paint walls
- Pour 3mm RX Self-levelling latex screed. Re-carpet
- Existing lighting to be replaced with absence detection system in accordance with UCL sustainability principles.
- Install new roller blinds operable from floor level.
- (High Level) Windows; - Manual window opening kit to be overhauled.
 - Ease and adjust, replace ironmongery where required (Identify any marked for this & inform Architect prior to action, due to listed status), clean and rub down, then re-paint as per Outline Material clause 6.5 (inside only).
- Door; - Fit new cylinder and lock (Euro - profile), provided by UCL, installed by contractor.
 - Blank off mortice beside door knob and mortice keyway above.
 - Ease & adjust, sand & re-paint.
 - Retain & re-instate room number & department signage; return all other signage to UCL for potential re-use.

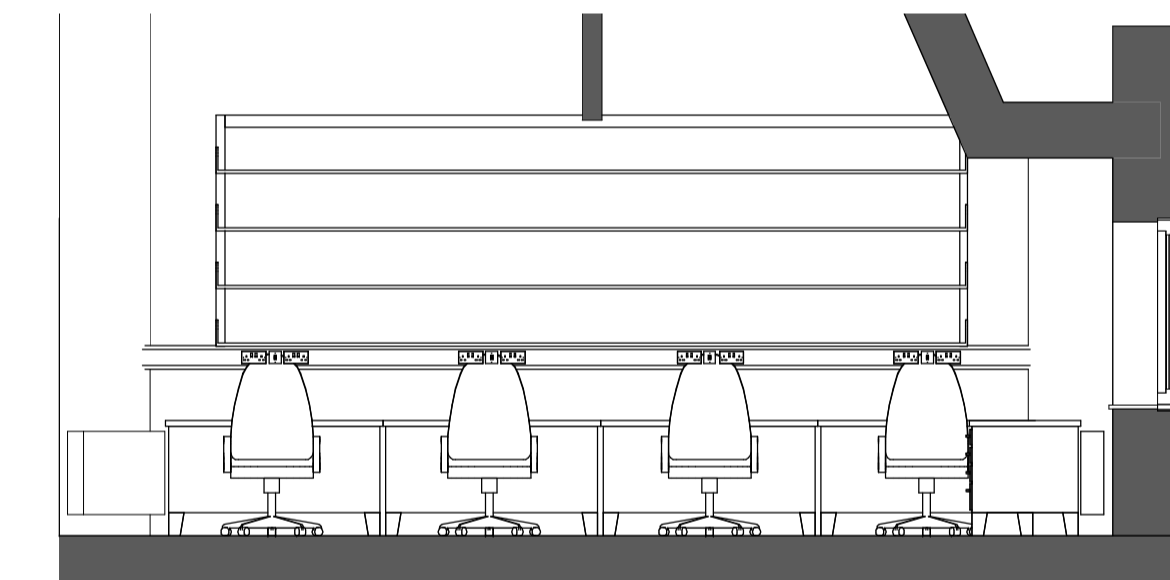
Room 32A:



5 32A - West Elevation
1 : 50



6 32A - North Elevation
1 : 50



7 32A - East Elevation
1 : 50



8 32A - South Elevation
1 : 50

NOTES for 32B:

- Remove asbestos containing boxing behind radiator. Remove asbestos containing floor covering (tile). **(Both Cat. 1)**
- Remove & skip existing blinds.
- Remove existing vinyl to strip back to concrete.
- Demolish all sinks, fitted benches, shelves, pin boards, & fitted wall cabinet.
- Create separate room to 32B by blocking up existing opening using timber or metal studwork, fully fill void with rigid rockwool. Line with 2 layers of soundbloc plasterboard to both faces. Mastic all joints prior to skim & decoration. Ensure flush finish with adjacent walls by selecting appropriate stud depth.
- Make good damage to walls caused by fixed furniture or water ingress & hole adjacent to door in east wall; Re-paint walls
- Pour 3mm RX Self-levelling latex screed. Re-carpet
- Existing lighting to be replaced with absence detection system in accordance with UCL sustainability principles.
- Add solar film to south facing glazing to reduce heat gains.
- Install new roller blinds.
- Windows; ease and adjust, replace ironmongery where required (Identify any marked for this & inform Architect prior to action, due to listed status), clean and rub down, then re-paint as per Outline Material clause 6.5 (inside only).
- Re-open & re-hang door with swing to match plans, remove obstructions from vision panel; Ease & adjust, sand & re-paint; Will require new signage - room number & department (unless on door to 32A); Will require new lock - UCL to provide; contractor to install.

No.	Note
1	All dimensions to be verified on site by GENERAL CONTRACTOR prior to any work, setting out or shop drawings being prepared.
2	Drawings not to be scaled. Work to figured dimensions only.
3	© copyright SAUNDERS BOSTON LIMITED. All rights reserved. This drawing remains the property of SAUNDERS BOSTON LIMITED at all times and may not be reproduced or copied in whole or in part without their prior written consent.
4	This drawing and related specifications are for use only in the stated location.
5	This drawing is to be read in conjunction with all other Consultants drawings and specifications.
6	Drainage has not been surveyed and any/all pipe locations and below ground drainage runs are indicative.
7	It is assumed that all works will be carried out by a competent contractor who will be working, where appropriate, to an approved method statement.

T1	TENDER ISSUE	18/02/2019	LJM	RJB
No.	Revision	Date	Chk.	Auth.

Client: University College London
 Job: Wilkins-South Wing Level 2 Refurb
 Drawing: Proposed Offices 32A, 32B & 34 RDS

Eastern Gate House, 119 Newmarket Road, Cambridge CB5 8HA
 T: 01223 367733
 office@saundersboston.co.uk

The Generator, The Gallery, King's Wharf
 The Quay, Exeter EX2 4AN
 T: 01392 346627
 www.saundersboston.co.uk

TENDER

SBA Project Code: **1657**

Drawn: LJM
Checked: RJB

Date: 18/02/19
Suitability Code:

Scale: As indicated @A1

Revision: **T1**

project: PS00999 -SBA-XX-02 -DR-A-0604