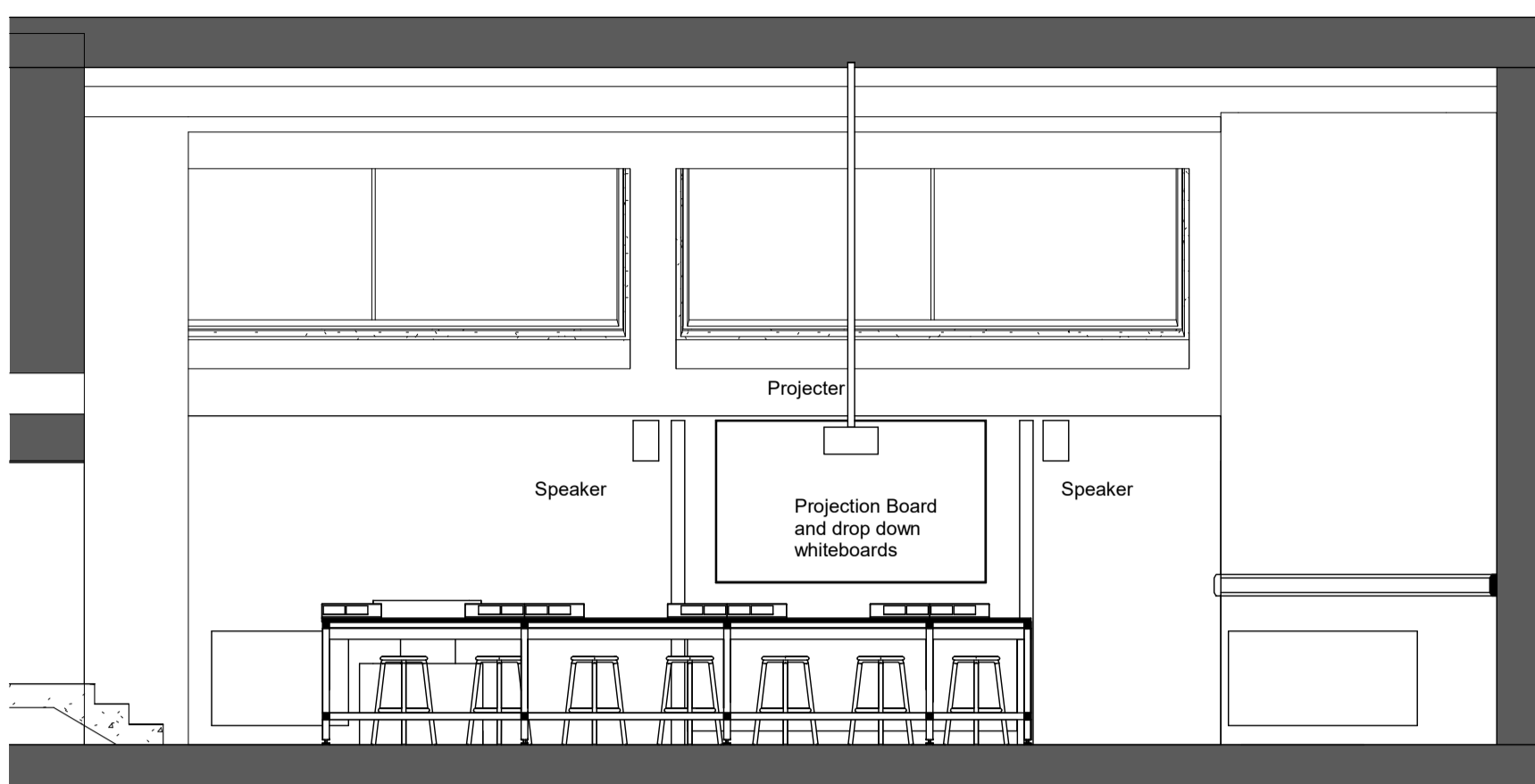
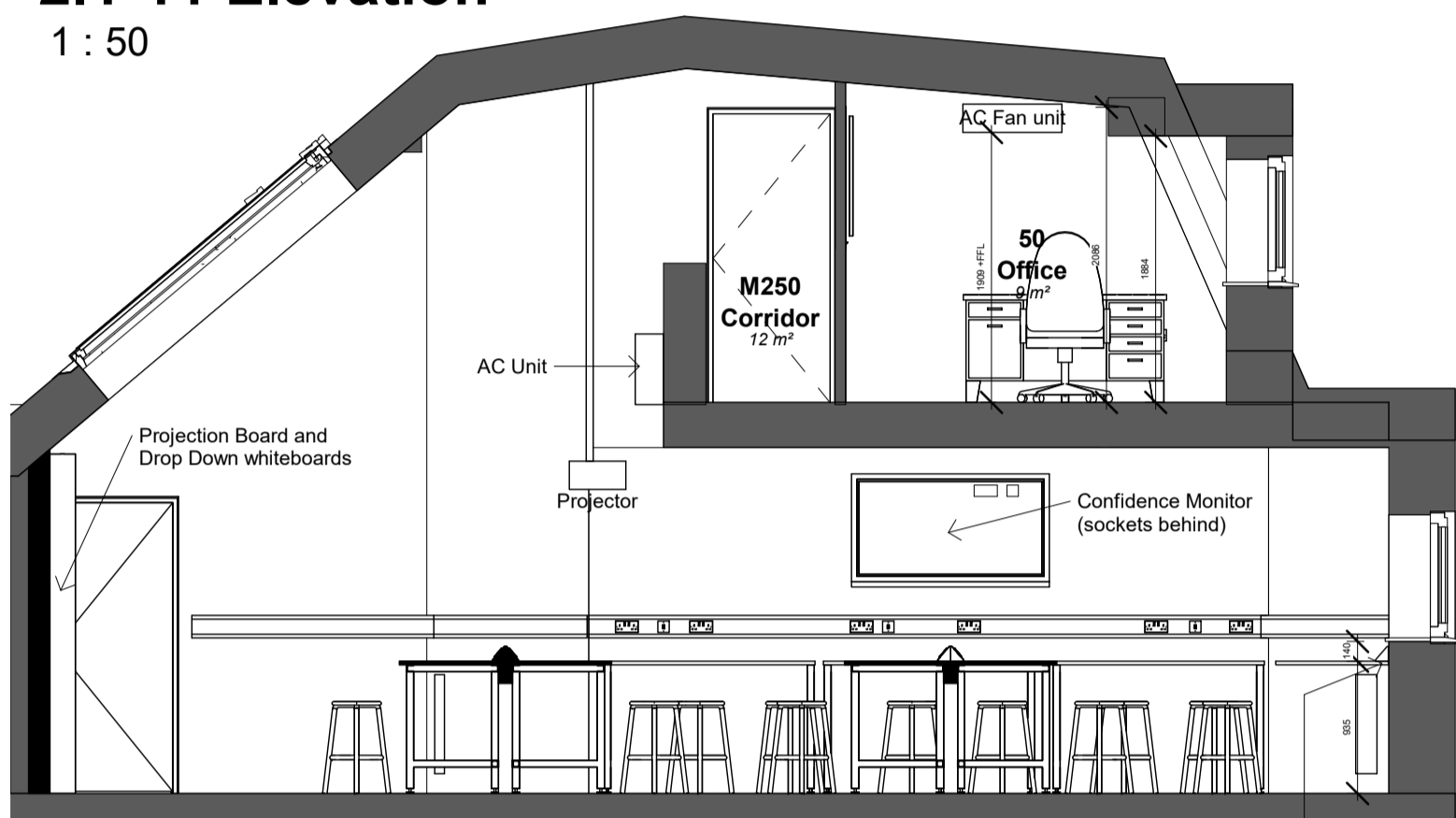


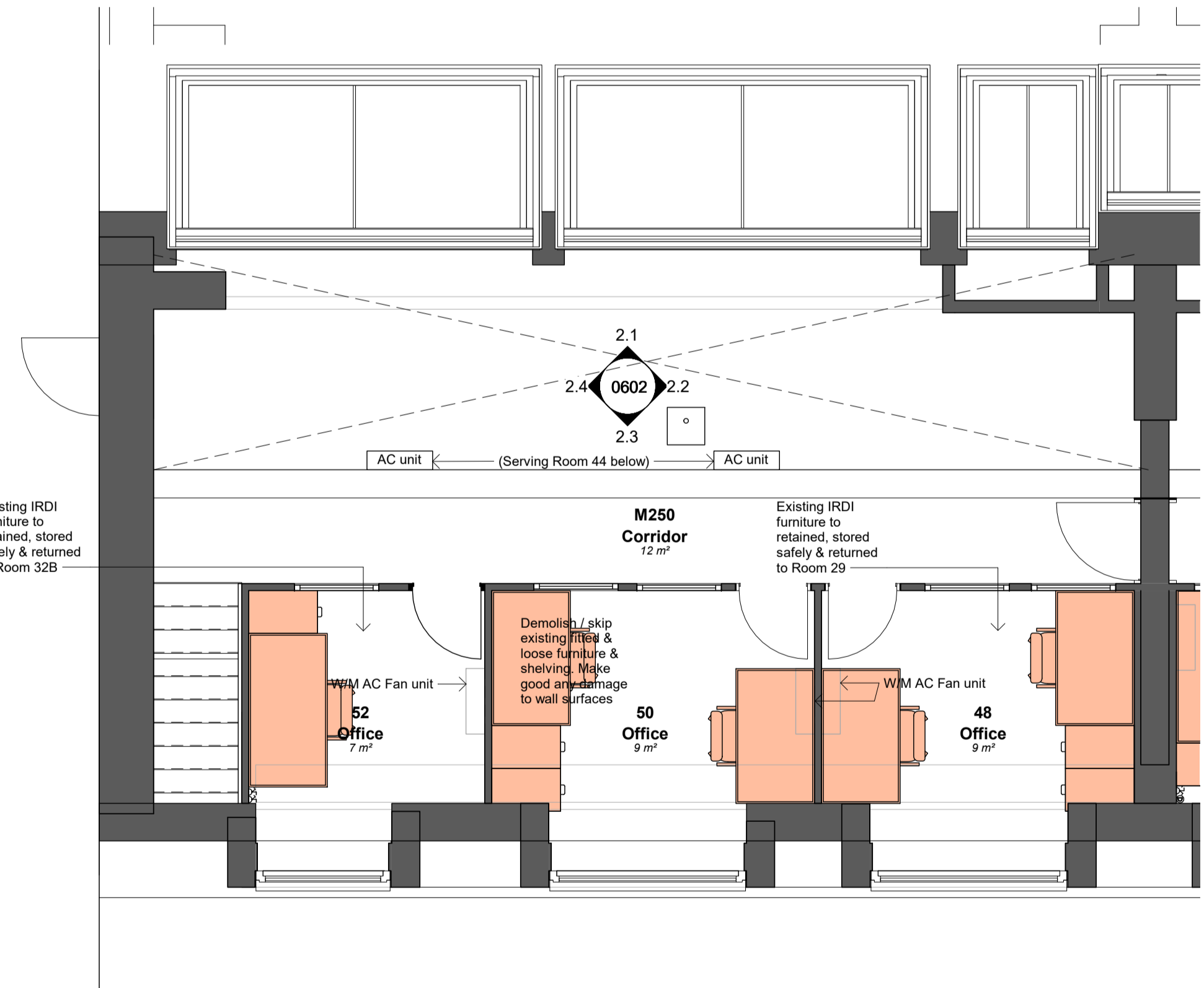
1.1 Proposed 44 Classroom Plan
1 : 50



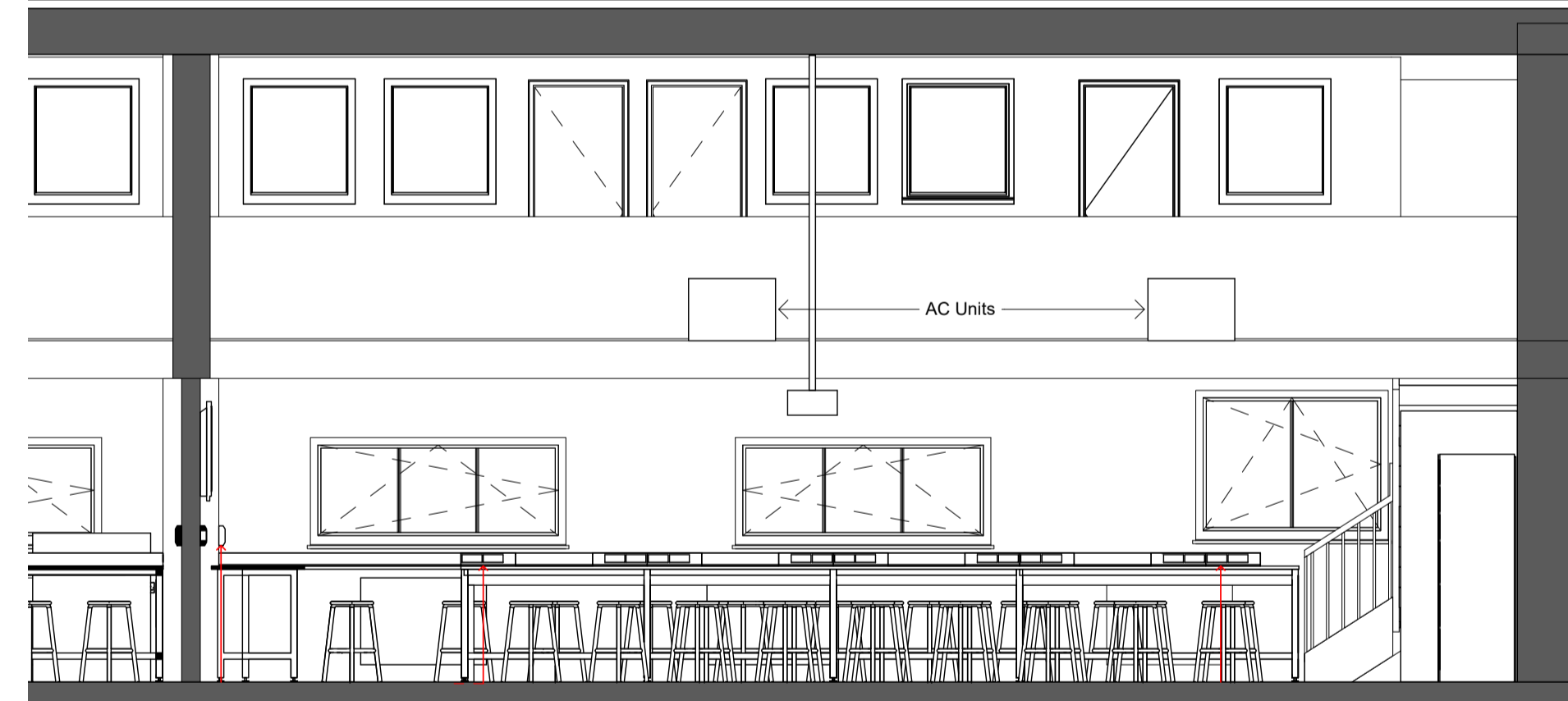
2.1 44-Elevation
1 : 50



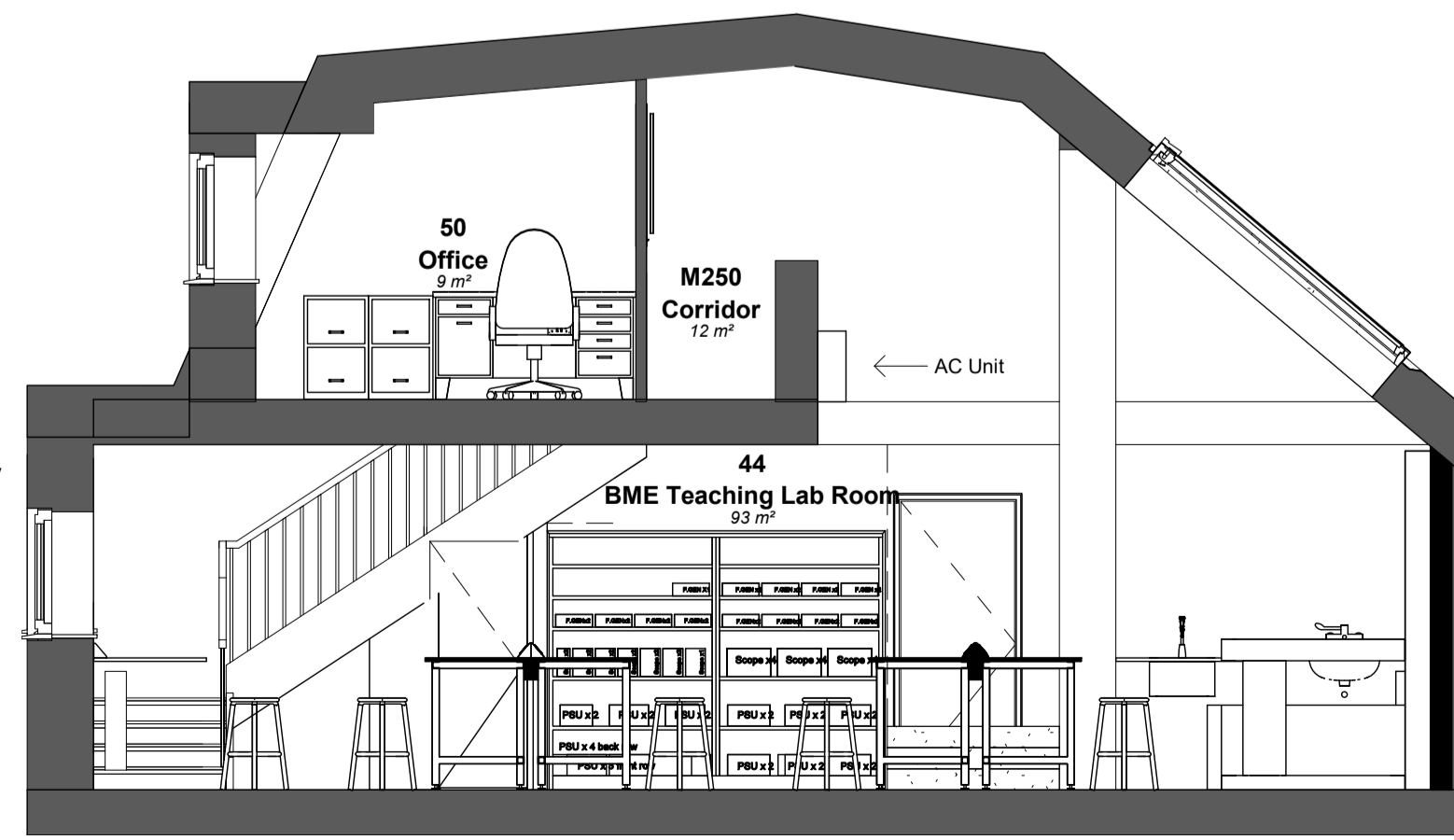
2.2 44-Elevation
1 : 50



1.2 Proposed 44 Classroom Mezzanine Plan
1 : 50



2.3 44-Elevation
1 : 50



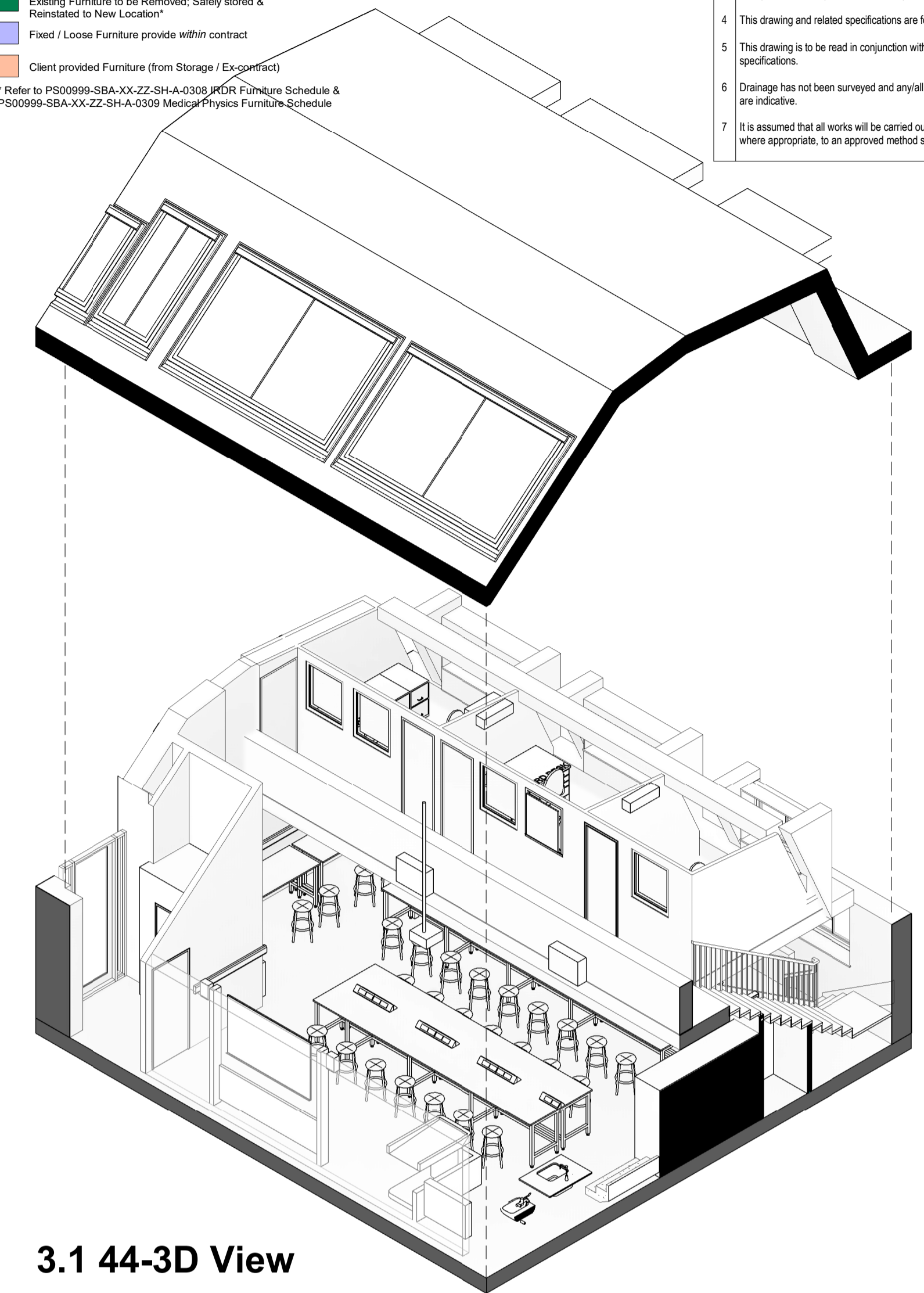
2.4 44-Elevation
1 : 50

Furniture Key:

- Existing Furniture to be retained
- Existing Furniture to be Removed, Safely stored & Returned to same Room
- Existing Furniture to be Removed, Safely stored & Reinstated to New Location*
- Fixed / Loose Furniture provide within contract
- Client provided Furniture (from Storage / Ex-contract)

* Refer to PS00999-SBA-XX-ZZ-SH-A-0308 JRD/R Furniture Schedule & PS00999-SBA-XX-ZZ-SH-A-0309 Medical Physics Furniture Schedule

- No. Note
- 1 All dimensions to be verified on site by GENERAL CONTRACTOR prior to any work, setting out or shop drawings being prepared.
 - 2 Drawings not to be scaled. Work to figured dimensions only.
 - 3 © copyright SAUNDERS BOSTON LIMITED. All rights reserved. This drawing remains the property of SAUNDERS BOSTON LIMITED at all times and may not be reproduced or copied in whole or in part without their prior written consent.
 - 4 This drawing and related specifications are for use only in the stated location.
 - 5 This drawing is to be read in conjunction with all other Consultants drawings and specifications.
 - 6 Drainage has not been surveyed and any/all pipe locations and below ground drainage runs are indicative.
 - 7 It is assumed that all works will be carried out by a competent contractor who will be working, where appropriate, to an approved method statement.



3.1 44-3D View

NOTES for 44:

- Encapsulate Asbestos containing loose asbestos / debris from drawers to South wall (containing rock samples) & then replace with plasterboard dry lining & decorate. Remove & replace stair nosing to steps on east wall. Remove vertical panel forming partition within low level cupboard to south wall. **(All Cat. 1)**
- Demolish all old furniture except under stair cupboards. Demolish platform at front. Remove all existing services, fittings and floor finishes.
- Lectern to be replaced, new AV provided ex-contract, retain projector pole from high ceilings.
- Re-paint & re-furbish doors including any fire protection.
- Remove rim latch & fit new pin code locks to entrance door.
- RHS blind system requires servicing and repair. Allow option for new automated blinds to north high level windows.

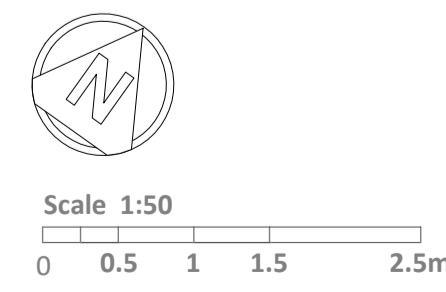
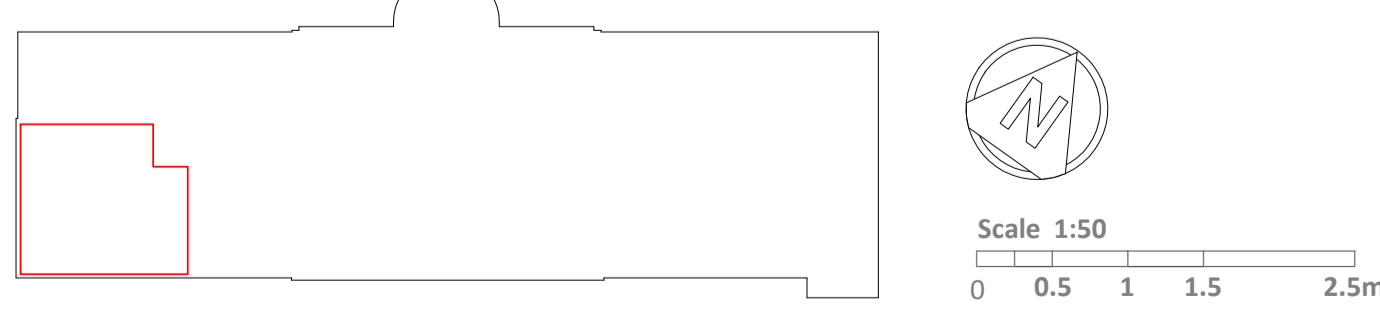
- Make good floor where platform removed. Lay new vinyl flooring.
- 1 no. Lab sink (C5) in alcove on west wall & 1 no. wash sink (C1) on north wall.
- Existing lighting to be replaced with absence detection system in accordance with UCL sustainability principles. Labs must have manual override switch.
- Add solar film to south facing glazing reduce heat gains
- Add air-conditioning
- M&E - power & data - only proposed / required shown, existing not known at this point. Reuse permissible if fully functional & in appropriate location. Any redundant points to be removed.

NOTES for 48, 50 & 52:

- Remove asbestos containing partition panels to corridor & then demolish rest of corridor wall. **(Cat. 1)**
- Remove & skip existing blinds.
- (50 only) Remove existing carpet, including any vinyl beneath to strip back to concrete.
- Replace partition to corridor with acoustic partition system with same make up of glazing vs solid panels. Paint framing to match context.
- Add air conditioning
- (50 only) Pour 3mm RX Self-levelling latex screed. Re-carpet
- Re-paint internal walls
- Re-paint skirting to match existing, as per Outline Material clause 6.4.- Existing lighting to be replaced with absence detection system in accordance with UCL sustainability principles.

- NOTES for 48, 50 & 52 (cont.)**
- Add solar film to south facing glazing to reduce heat gains.
 - Windows, ease and adjust, replace ironmongery where required (Identify any marked for this & inform Architect prior to action, due to listed status), clean and rub down, then re-paint as per Outline Material clause 6.5 (inside only).
 - Replace existing with new roller blinds.
 - Ease & adjust, sand & re-paint. Retain & re-install room number & department signage; return all other signage to UCL for potential re-use; Fit Cylinder lock supplied by UCL - installed by the contractor
 - All Electrical & data points shown in plan to be at +450mm FFL.
- NOTES for M250:**
- Asbestos removal as 48, 50 & 52 to corridor partition & then demolish rest of corridor wall.
 - Plus remove & replace asbestos containing hatch lining. **(both Cat. 1)**
 - *Include Option:* Demolition - remove polycarbon panels enclosing mezzanine above balustrade height. Make good top edge to match M251.
 - Replace partition to corridor with acoustic partition system with the same make up of glazing vs solid panels. Paint framing to match context. Re-paint any other sections of wall.
 - Re-paint skirting to match existing, as per Outline Material clause 6.4.
 - Remove existing carpet; plywood over existing vinyl; glue and screw, re-carpet over that.
 - Existing lighting to be replaced with absence detection system in accordance with UCL sustainability principles.

Key Plan
1 : 50



Eastern Gate House, 119 Newmarket Road, Cambridge CB5 8HA
T: 01223 367733
office@saundersboston.co.uk

The Generator, The Gallery, King's Wharf
The Quay, Exeter EX2 4AN
T: 01392 346627
www.saundersboston.co.uk

CONSTRUCTION RECORD

SBA Project Code	Drawn	Date	Scale	Revision
1657	LJM	08/05/19	As indicated @A1	C5
Checked	RJB	Stability Code	CR	PS00999 -SBA-XX-02 -DR-A-0602