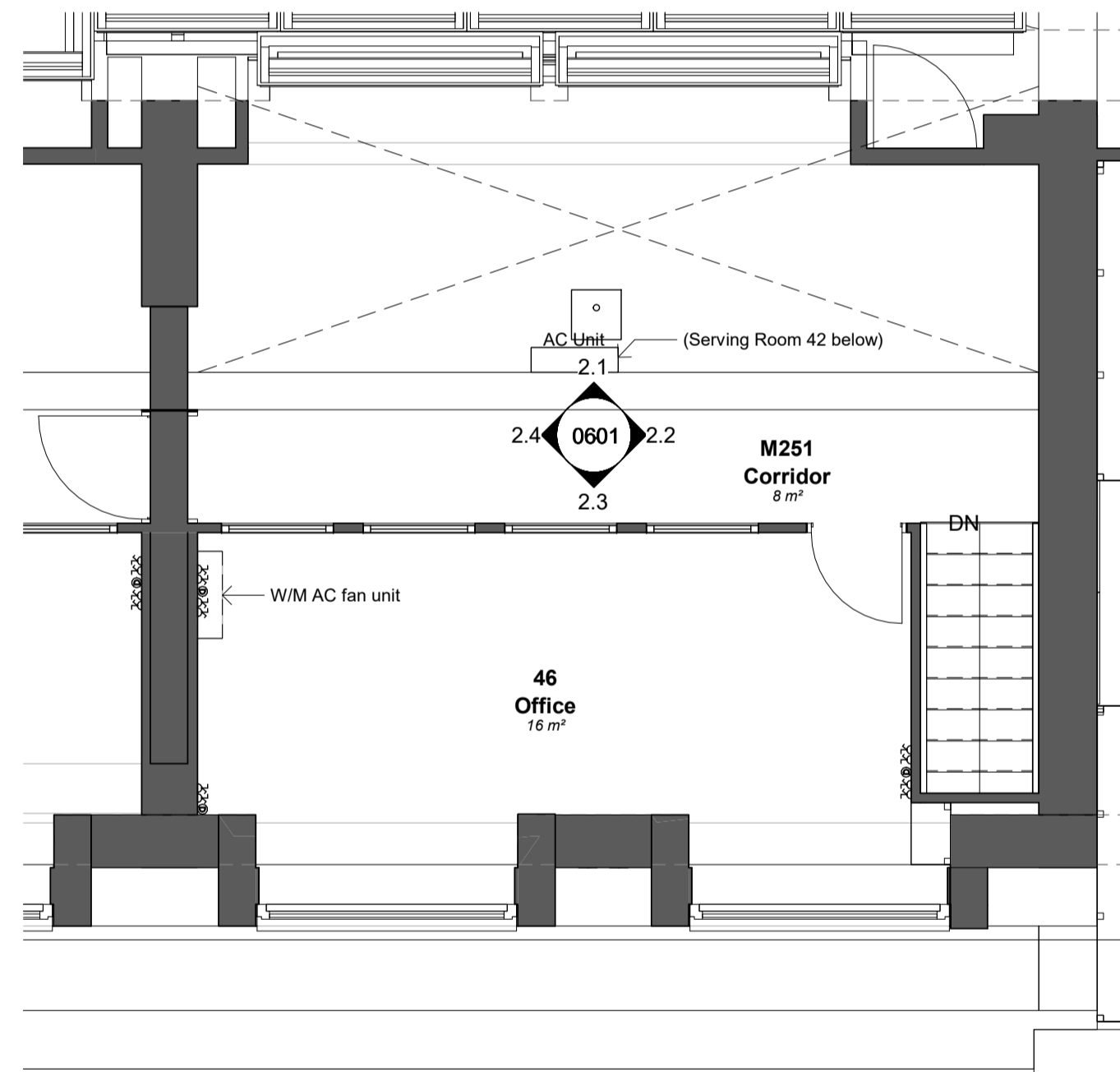
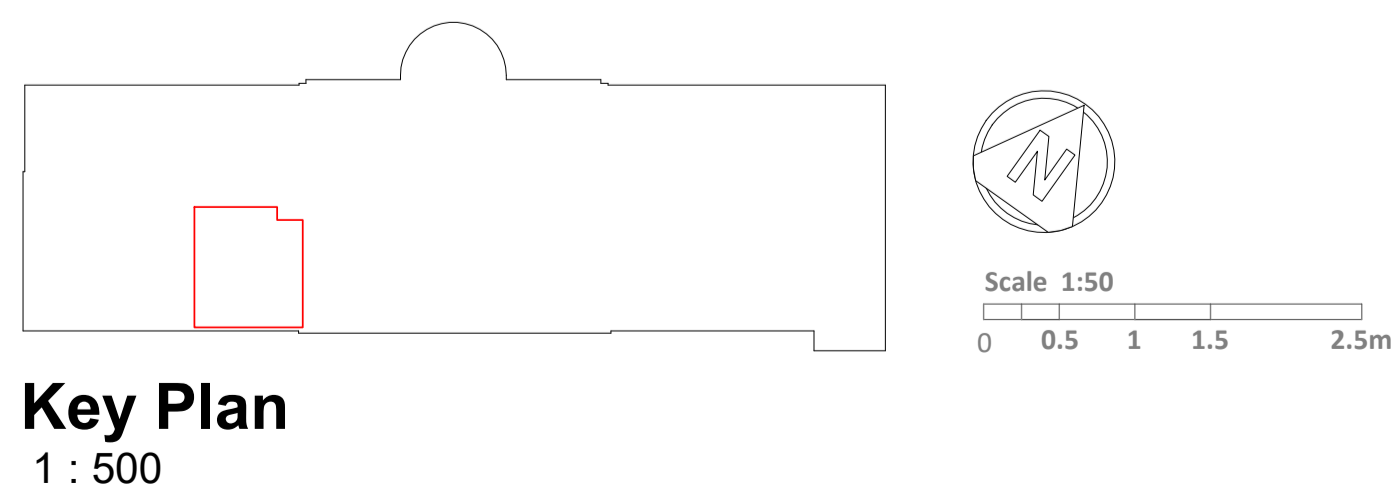


1.1 Proposed 42 Classroom Bench Plan
1 : 50



1.2 Proposed 42 Classroom Mezzanine Plan
1 : 50

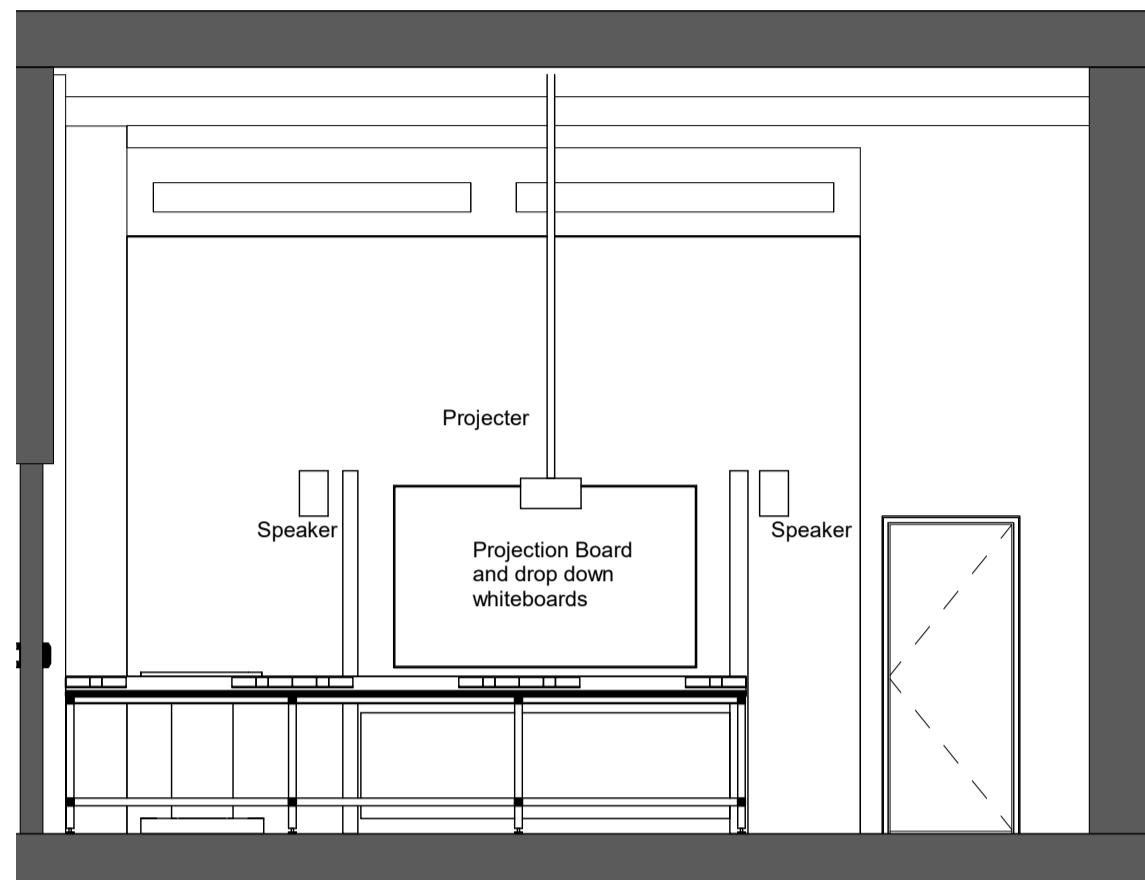


Key Plan
1 : 500

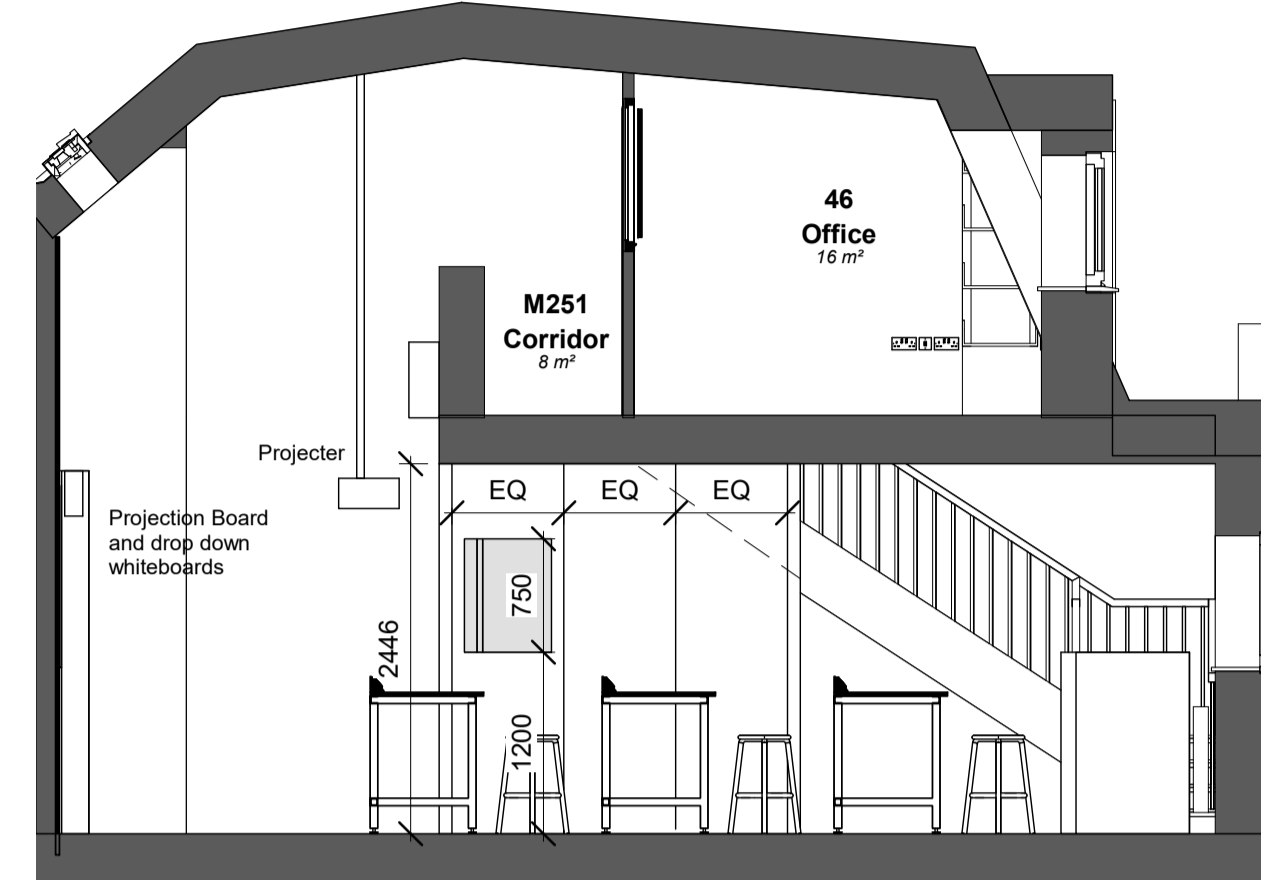
- Furniture Key:**
- Existing Furniture to be retained
 - Existing Furniture to be Removed; Safely stored & Returned to same Room
 - Existing Furniture to be Removed; Safely stored & Reinstated to New Location*
 - Fixed / Loose Furniture provide within contract
 - Client provided Furniture (from Storage / Ex-contract)
- * Refer to PS00999-SBA-XX-ZZ-SHA-0308 IRDR Furniture Schedule & PS00999-SBA-XX-ZZ-SHA-0309 Medical Physics Furniture Schedule

NOTES for M251:

- Asbestos removal as 46 & then demolish rest of corridor wall.
- Remove & replace asbestos containing stair nosing at top of stair from 42. **(both Cat.1)**
- Replace partition to corridor with acoustic partition system with same make up of glazing vs solid panels. Re-paint framing to match context. Re-paint any other sections of wall.
- Re-paint skirting to match existing, as per Outline Material clause 6.4.
- Plywood over existing vinyl; glue and screw; Re-carpet over that.
- Existing lighting to be replaced with absence detection system in accordance with UCL sustainability principles.



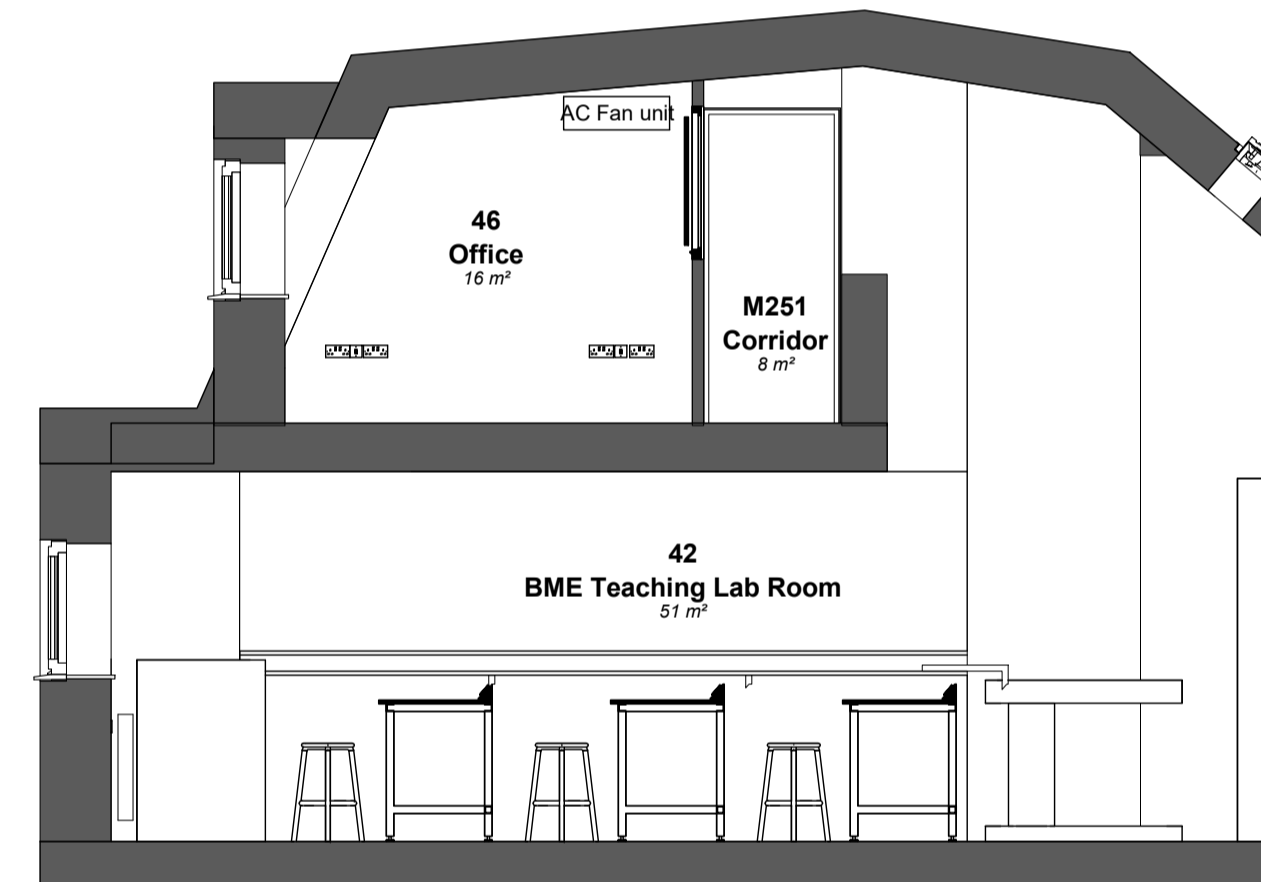
2.1 42-Elevation
1 : 50



2.2 42-Elevation
1 : 50



2.3 42-Elevation
1 : 50



2.4 42-Elevation
1 : 50

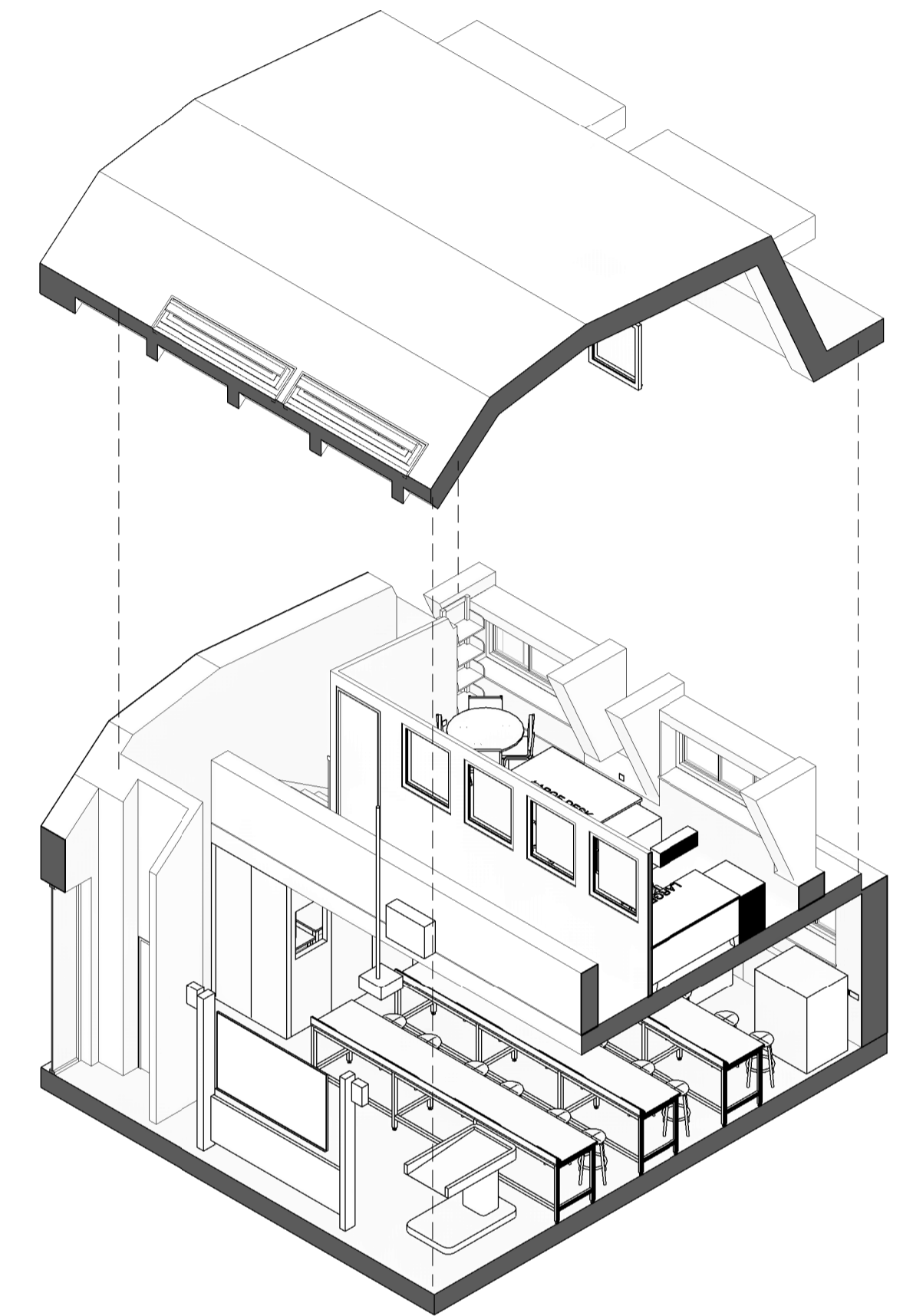
NOTES for 42:

- Remove asbestos containing panels forming under-stair cupboard panels, door & ceiling. **(Cat. 1)**
- Demolish all old furniture except under stair cupboards. Demolish platform at front. Remove all existing services, fittings and floor finishes.
- Lectern to be replaced, new AV provided ex-contract, retain projector pole from high ceilings.
- Doors: Remove existing rim latch; install new CoDoor locks to lab entrance doors – supplied by UCL; installed by contractor;
 - Ease & adjust, sand & re-paint;
 - Retain & re-instate room number & department signage; return all other signage to UCL for potential re-use.
- Make good floor where platform removed; Pour 3mm RX Self-levelling latex screed (deeper screed may be required to facilitate distribution of power & data supply within floor chasing). Lay new vinyl flooring
- Installation of sound insulating folding partition walls around Instron machine & associated desk. Void between enclosure & residual under-stair space to be fitted with shelving. Exact spacing TBC.
- Over-board north wall to provide smooth surface to mount screen on.
- Re-paint walls.
- Existing lighting to be replaced with absence detection system in accordance with UCL sustainability principles. Labs must have manual override switch.
- Add solar film to south facing glazing to reduce heat gains
- Windows; Ease and adjust, replace ironmongery where required (Identify any marked for this & inform Architect prior to action, due to listed status), clean and rub down, then re-paint as per Outline Material clause 6.5 (inside only).
- Blinds: - Ensure high level north black-out blinds in good functional order – repair/replace as required.
 - South window blinds - Ensure black-out blinds in good functional order – repair/replace as required.
- Reinforce middle stringer / stiffening of stairs to the mezzanine.
- Add air-conditioning
- M&E - power & data - only proposed / required shown, existing not known at this point. Phone provision required. M&E drawings take precedent.

NOTES for 46:

- Remove asbestos containing partition panels to corridor & replaced with timber or metal stud partition walls. **(Cat. 1)**
- Remove existing carpet, including any vinyl beneath to strip back to concrete.
- Remove & skip existing blinds.
- Add air conditioning
- Pour 3mm RX Self-levelling latex screed. Re-carpet
- Re-paint interior walls

No.	Note
1	All dimensions to be verified on site by GENERAL CONTRACTOR prior to any work, setting out or shop drawings being prepared.
2	Drawings not to be scaled. Work to figured dimensions only.
3	© copyright SAUNDERS BOSTON LIMITED. All rights reserved. This drawing remains the property of SAUNDERS BOSTON LIMITED at all times and may not be reproduced or copied in whole or in part without their prior written consent.
4	This drawing and related specifications are for use only in the stated location.
5	This drawing is to be read in conjunction with all other Consultants drawings and specifications.
6	Drainage has not been surveyed and any/all pipe locations and below ground drainage runs are indicative.
7	It is assumed that all works will be carried out by a competent contractor who will be working, where appropriate, to an approved method statement.



3.1 42-3D View

NOTES for 46 (cont.):

- Existing lighting to be replaced with absence detection system in accordance with UCL sustainability principles.
- Add solar film to south facing glazing to reduce heat gains.
- Windows: ease and adjust, replace ironmongery where required (Identify any marked for this & inform Architect prior to action, due to listed status), clean and rub down, then re-paint as per Outline Material clause 6.5 (inside only).
- Ease & adjust, sand & re-paint; Retain & re-instate room number & department signage; return all other signage to UCL for potential re-use; Fit Cylinder lock supplied by UCL – installed by the contractor
- Replace existing with new roller blinds.
- All Electrical & data points shown in plan to be at +450mm FFL.

No.	Revision	Date	By	Check	Auth
C3	As Installed	20/09/2019	BJR	RJB	RJB
C2	m 42 Clarification	12/09/2019	LJM	RJB	RJB
C1	CONTRACT ISSUE	08/05/2019	RJB	LJM	LJM

<p>Saunders Boston Architects</p> <p>Eastern Gate House, 119 Newmarket Road, Cambridge CB5 8HA 119223 367733 office@saundersboston.co.uk</p> <p>The Generator, The Gallery, King's Wharf The Quay, Exeter EX2 4AN 131332 346627 www.saundersboston.co.uk</p>		<p>Client: University College London</p> <p>Job: Wilkins-South Wing Level 2 Refurb</p> <p>Drawing: Proposed 42 Classroom</p>
<p>CONSTRUCTION RECORD</p> <p>SBA Project Code: 1657</p> <p>Drawn: LJM</p> <p>Checked: RJB</p>		<p>Scale: As indicated @A1</p> <p>Revision: C3</p> <p>Date: 08/05/19</p> <p>Sustainability Code: A4</p> <p>Project: PS00999 -SBA-XX-02 -DR-A-0601</p>