

CAMDEN MARKET

PARASOLS

LABTECH

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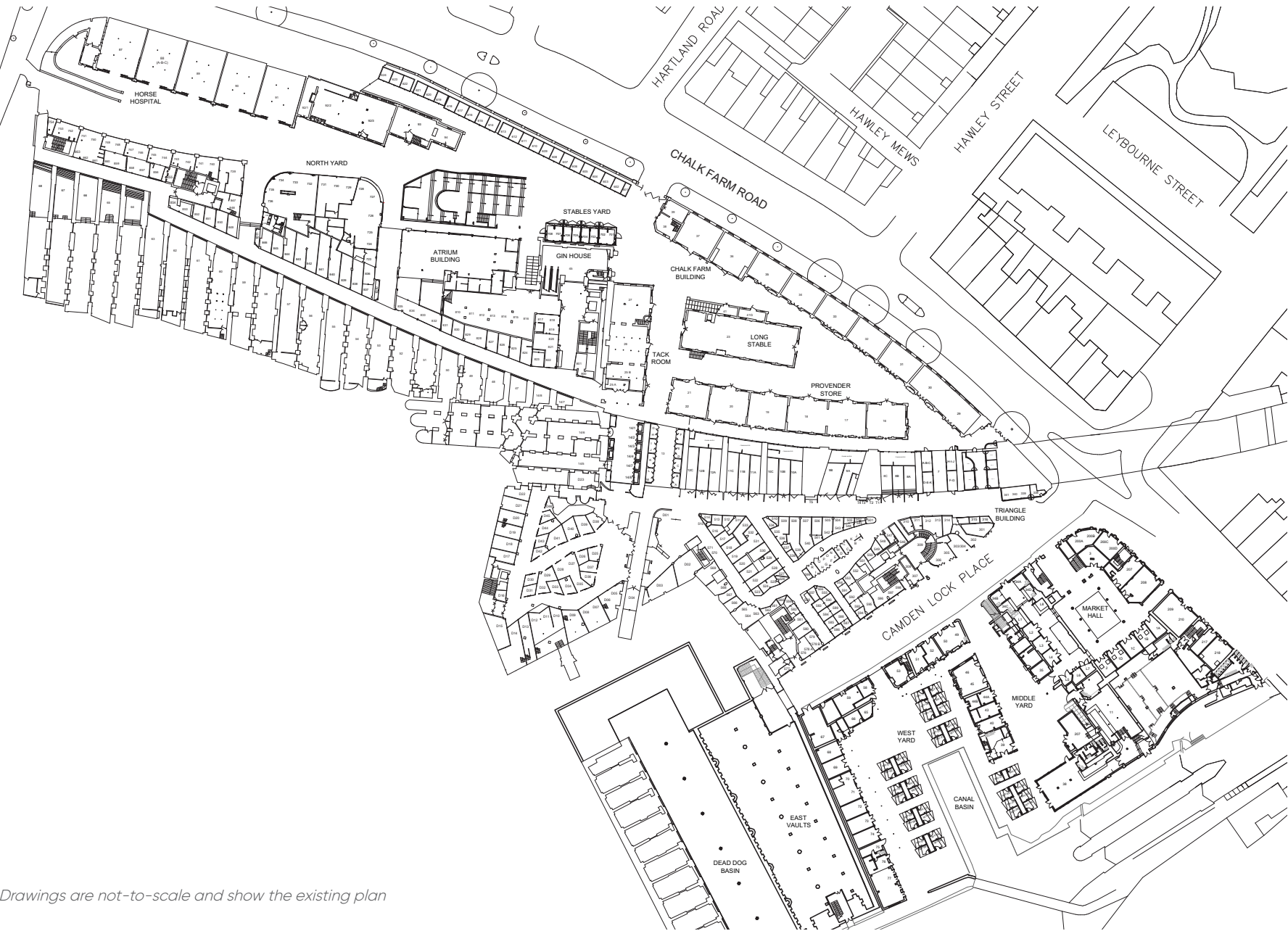
01.00 | Development Context

01.01 Site and Surroundings

The application site, as identified on the submitted Site Location Plan, includes The Stables Market and Camden Lock Market, both major economic, cultural and tourist attractions within Camden.

The markets contain a number of listed buildings and a mix of contemporary structures, stalls and tables, and large open areas with seating and tables for the general public.

The Markets are located within the Regents Canal Conservation Area.



Drawings are not-to-scale and show the existing plan

01.02 Market Context

The GLA report 'Understanding London's Markets' Nov. 2017, acknowledges that the markets sector is flourishing, but although many markets are thriving, there are challenges for markets to maximise social value, to evidence it to unlock further investment, and to ensure that the way markets change benefits all Londoners.

Markets are public spaces not only for selling and buying but also with vibrant social character stemming from the range of free activities which happen in market sites. They are historic spaces with a strong place identity for the community that has evolved over time.

Market traders are facing shifts in shopping patterns and competition from discount retailers, supermarkets and the Internet. Markets need to attract people to visit and stay in order to be sustained as successful public spaces.

Camden Market is committed to improving conditions for traders and visitors alike, while building a strong sense of local identity.



02.00 | Design Response

02.01 Proposal

The proposal seeks permission to install parasols in several open areas, where protection from sun and rain is much needed to encourage visitors to spend time in the markets.

In recent years a number of improvements to the markets have been sustained including proactive and engaged management, the introduction of a programme of events and festivals aimed at both visitors and the local business and residential communities, and an improved food offer which has proved very popular with local workers.

The parasols proposal builds upon these improvements, but they specifically seek to address a number of inherent physical constraints which detract from the overall visitor and trader experience.

Key issues identified include:

- *Improving seating areas including legibility
- * Access, wayfinding and circulation issues
- * Weather protection for traders and visitors
- * Better use of under-utilised open space
- *Encouraging consumption and permanence in the market



Drawings are not-to-scale and show the proposed plan

02.01A Position and sizing

Camden Lock Market Middle Yard

The Middle Yard currently serves as seating area for the Food Market located in the West Yard. This proposal is for 4 umbrellas measuring 4x4m to cover the seating area from excessive sun or rain. All umbrellas will remain folded when the weather allows.

Camden Lock Place

Six umbrellas measuring 4x4m are proposed to provide covering to the larger public seating area in the market. The umbrellas, tables and benches can be easily moved should the area need to be emptied for organised events.

Stables Market Provender Store West Elevation

Two smaller umbrellas measuring 2.5x2.5m are proposed in the seating area serving Arches 6 and 7 (Asian Alley) and Italian Alley in Arches 8 to 12. These umbrellas are mobile, as all the others, and can be folded or stored when not in use.

Stables Market Long Stable West Elevation

There are currently 3 jumbo umbrellas near the east elevation of the Long Stable providing cover to the outside seating area of the bar. It is proposed to retain only 2 of them at each side of the central door each one measuring 3x3m.

Stables Market by Building AB stairs to basement

Its is proposed to install two parasols measuring 3x3m to provide covering to the existing seating area by the parapet of the basement stairs.

Stables Market Horse Hospital South Elevation

Three cantilevered double parasols measuring 3x3m each canopy, two 3x3m single parasols and two 2.5x2.5m are proposed to provide covering to the outside seating of the F&B shops in the south elevation of the Horse Hospital.

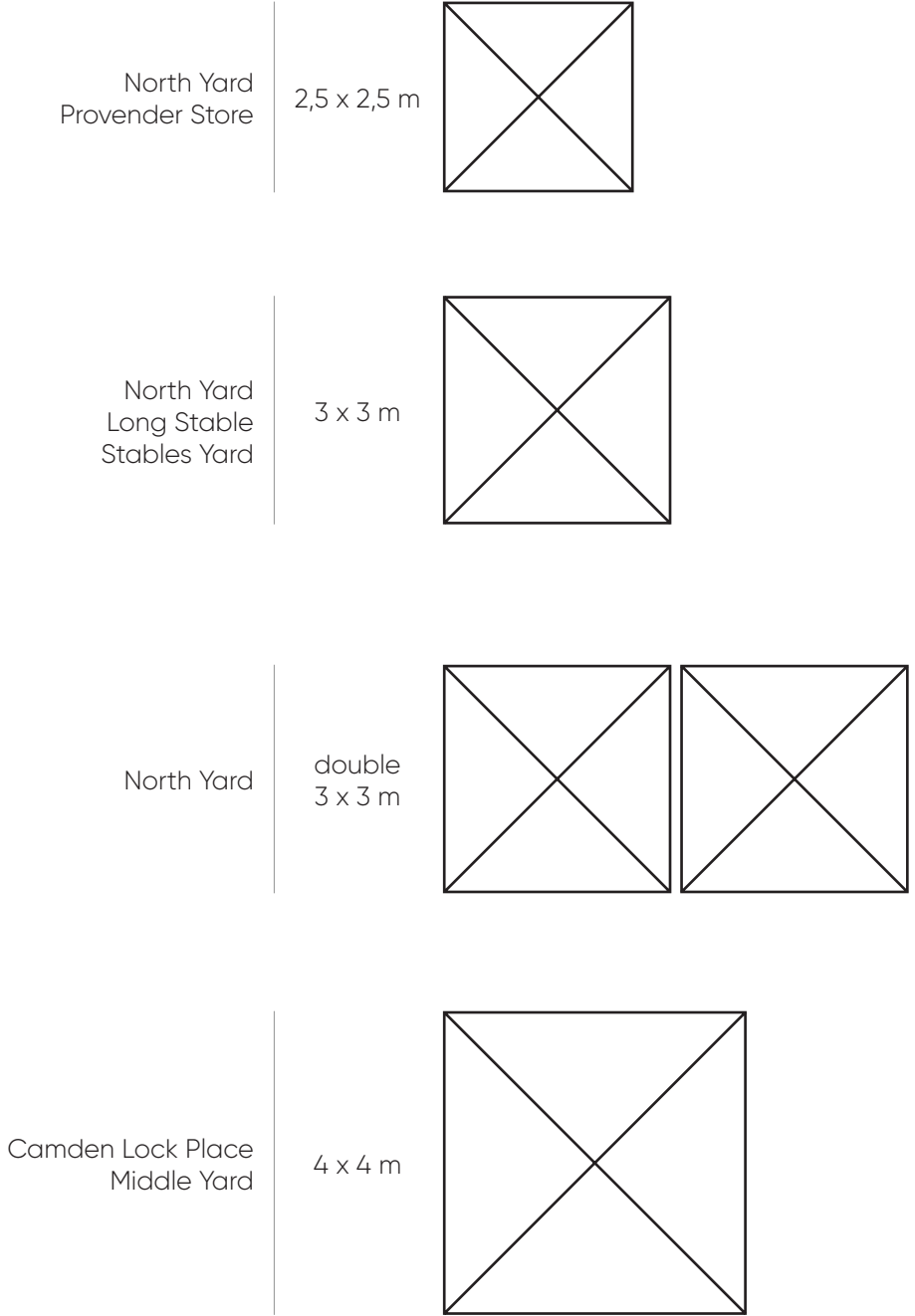
The size and type of umbrellas have been chosen so as to minimise the impact on the appreciation of the elevation as a whole. The poles will be centred between openings, avoiding vertical disruption to the visuals of stone sills and detailed brickwork at low level.

Amount

The total number of proposed umbrellas around the market is 23.

Layout

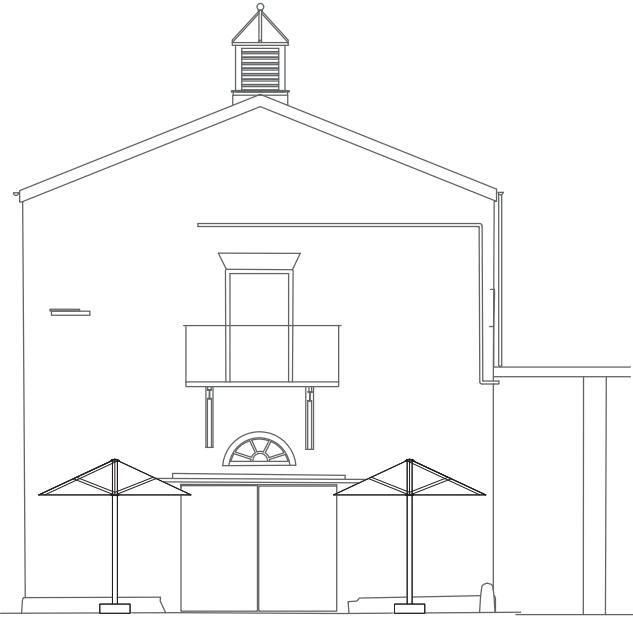
The layout of the seating areas and market at large remains unchanged.



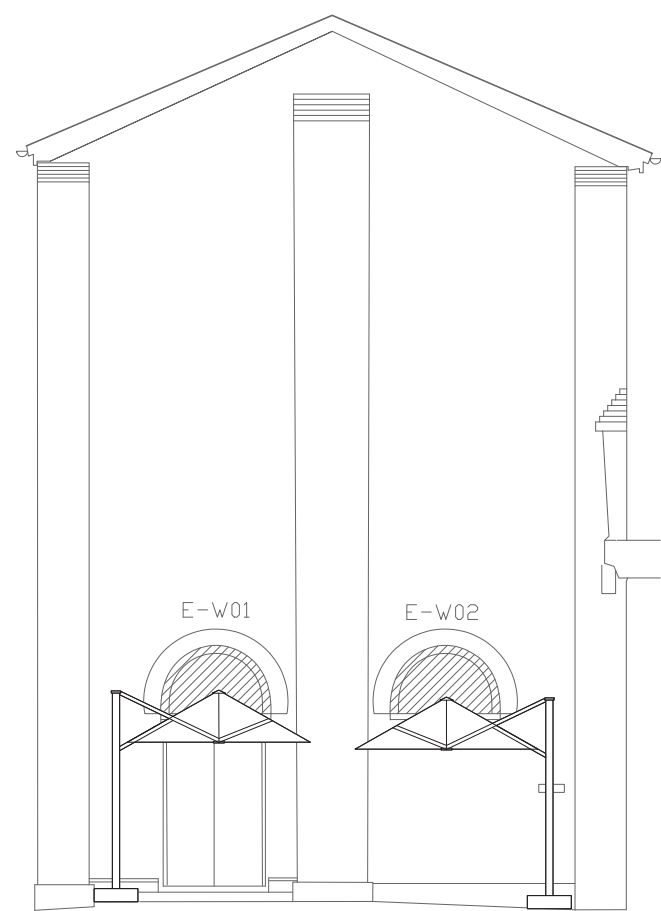
02.02 North Yard Proposed Elevation



02.03 Long Stable Proposed Elevation



02.04 Provender Store Proposed Elevation



02.05 Camden Lock Place and Middle Yard Proposed Elevation



03.00 | Planning Considerations

03.01 General

As required by Section 38(6) of the Planning and Compulsory Purchase Act 2004, this application should be determined in accordance with the development plan unless material considerations dictate otherwise. For the purpose of this application the development plan consists of the London Plan (2016), The Camden Local Plan and Policies Map (2017); and The Camden Planning Guidance – Town Centres and Retail (2018).

The Local Plan Policies Map (2017) show the site to have the following policy designations:

- Camden Town Town Centre; and
- Protected Frontage: Secondary (surrounds the market)

The London Borough of Camden has a number of supplementary planning documents entitled Camden Planning Guidance (CPG). In March 2018 Council adopted a number of new and updated CPG documents. These documents provide further information to support local policies and form a material consideration in planning decisions.

The National Planning Policy Framework (NPPF) and National Planning Practice Guidance (NPPG) also form a material consideration in the determination of planning applications.

The New Draft London Plan (2017) was published for consultation in November 2017. The ‘consolidated’ version which includes all of the Mayor’s suggested changes following the Examination in Public was issued in July 2019. The new London Plan is scheduled to be published in the Spring 2020.

In addition to the Development Plan, this application has been prepared following a thorough review of the Camden 2025 Plan which sets the vision for Camden in 2025.

The Site is subject to the following planning policy designations:

- Regents Canal Conservation Area; and
- Town Centre.

03.02 Camden Local Plan

Policy C6 Access for all states that the Council will require all buildings and spaces to be designed to be fully accessible and promote equality of opportunity.

Policy D1 Design seek to secure high quality design in development respecting local context and character, preserving the historic environment and heritage assets, and comprising details and materials that are of high quality and complement the local character.

The application site is within the Camden Town Town Centre within which Policy TC2 Camden's centres and other shopping areas outlines that the Council will seek to protect and maintain the role and unique character of each of Camden's centres. It is with this in mind that we are seeking to provide an aesthetic renovation that enhance the character of the site while encouraging visitors to stay and shop. Policy TC2 continues to state that Town Centres should provide for a range of shops to provide variety, vibrancy and choice.

Policy TC6 Markets and Camden Planning Guidance Town Centres and Retail set out that Camden will resist the permeant loss of market uses unless comparable replacement provision is made or there is no demand for continues market use. The proposal is aimed at ensuring the continued prosperity of Camden Market as a whole, which goes to the core of the Policy which seeks to promote and protect markets in Camden.

04.00 | Heritage Considerations

0 4.01 Summary

Historic England Conservation Principles accepts that change is part of the life of heritage assets: 'Change in the historic environment is inevitable, caused by natural processes, the wear and tear of use, and people's responses to social, economic and technological change'.

Furthermore, the GLA report 'Understanding London's Markets' states: 'Markets are at once part of London's heritage, and the places where the newest and most exciting trends and tastes first appear. Informal and animated, they invite us to explore new places and to cement our relationships with those places where we live and work. A market reaches back into the history of a neighbourhood. In many cases it was the foundation around which the neighbourhood grew, so even where a market has declined, a re-established market can revive an area's energies and heritage, sending a powerful message about the character and ambition of regeneration in a particular place'.

The proposal aims to facilitate better spaces for visitors and locals, to encourage their stay and enjoyment of the market and its historic buildings. The proposed positions by the listed buildings have been carefully considered as to minimise any visual impairment of the historic elevations. The parasols poles are strategically positioned in front of rainwater pipes, and brick pilasters without decoration, with the ones in front of the Listed GII* Horse Hospital chosen with cantilevered canopies over the seating areas. In the east elevation of the Long Stable the umbrellas are positioned flanking the central door, avoiding obscuring any features of historic interest. The umbrellas proposed in the eastern end of the Provender Store are also cantilevered, allowing the poles to sit away from the door.

The parasols will not be fixed to the floor or any historic surfaces and can be moved if necessary. It is therefore considered that the proposal will not affect the significance of the listed buildings, and it is therefore acceptable in heritage terms.

05.00 | Conclusion

5.01 Summary

The proposed umbrellas are intended to provide shelter to visitors encouraging longer stays in the market despite the weather conditions. The seating areas and umbrellas have been strategically located to support the market trade while minimising impact on the views.

It is therefore considered that the proposals will help contribute to the ongoing success of the Stables Market, one of Camden's key economic, cultural and tourist attractions.

06.00 | Appendix

Refer to the planning drawings in the attachment provided