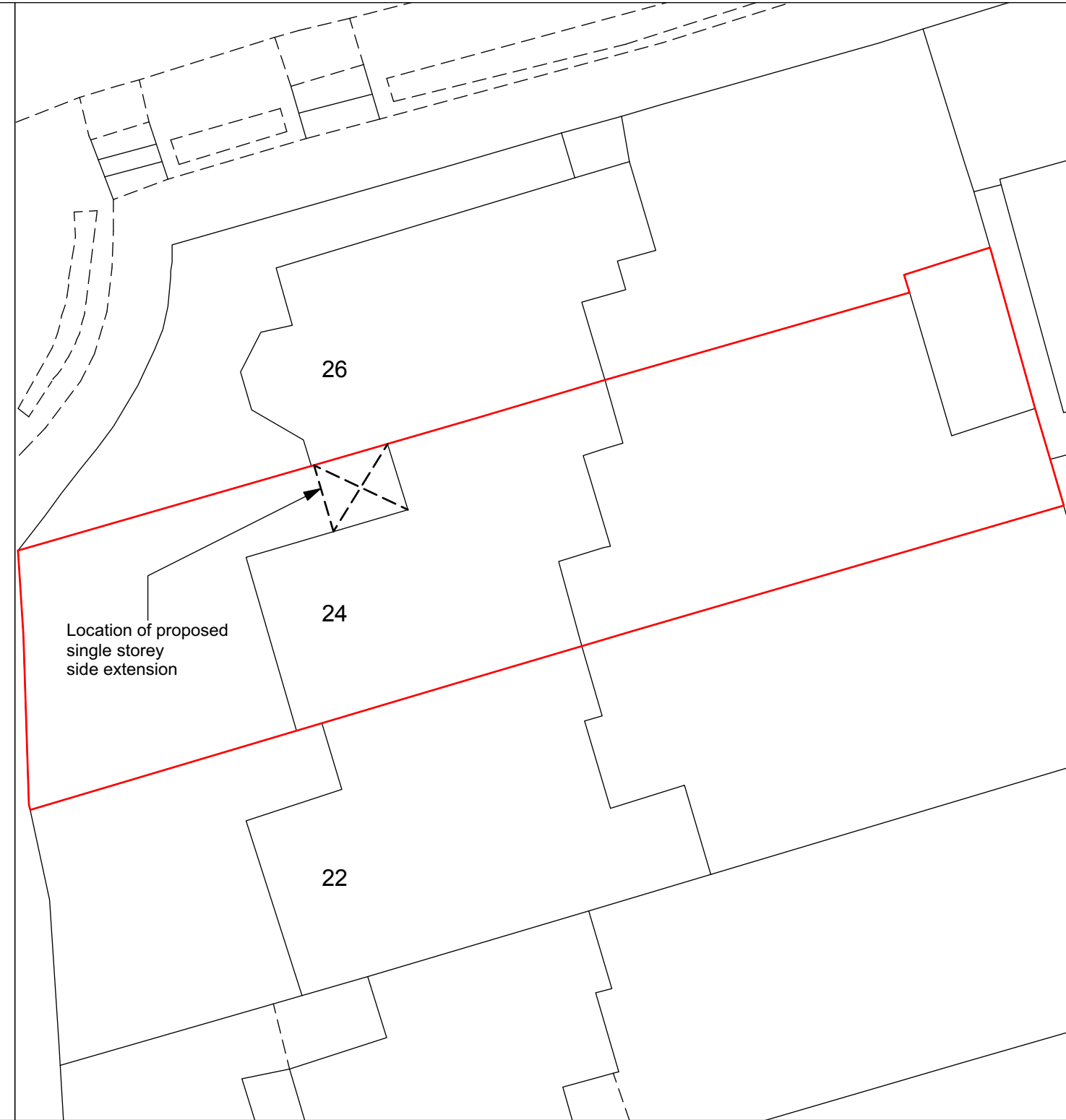
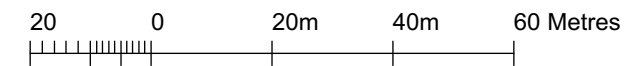
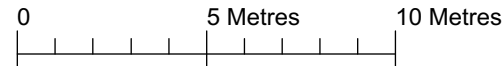


SITE LOCATION PLAN
(Scale 1:1250 @ A3).



BLOCK PLAN
(Scale 1:200 @ A3).



HERITAGE STATEMENT / DESIGN & ACCESS STATEMENT

Existing

No. 24 is a single family house located within the Holly Lodge Estate Conservation Area. The house is neither statutory or locally listed.

Proposed

We have reviewed the following policy documents regarding the proposed works:

- Camden Planning Guidance March 19: Altering & extending your home.
- Camden Planning Guidance March 2018: Amenity.
- Holly Lodge Conservation Area Appraisal and Management Strategy.

The proposed works would comprise of a small single storey side extension to the front of the existing garage conversion. It would be set back and subordinate to the original building in height and scale with the proposed parapet height matching the existing, which is no taller than the porch. The parapet will hide any extract venting from view from the street (as suggested in the Conservation Area Appraisal and Management Strategy).

The extension reinstates garage doors to the street elevation, evidence of these doors can be seen in granted 1995 planning application council ref: PL/9501292/R2. Reinstating the doors will bring back an existing feature of the original house. This will reinforce the historic and architectural character of the estate as well as helping to maintain the existing street rhythm. The proposed works would not affect the amenity of neighbouring properties.

Compliance with permitted development rights

- The extension does not exceed 50% of the curtilage.
- The front eaves are under 3 metres above natural ground level.
- The extension width is less than half the width of the house.
- The proposed works do not extend beyond the rear wall of the house and do not alter the existing rear elevation.
- The works do not extend beyond the wall that forms the principle elevation.
- The extension will have a rendered finish, as does the main house.

Materials (Refer to notes on Drg. P-101 & P-200).

Walls

- Front elevation to have a paint finish rendered wall.
- Brick coping detail to match existing.

Windows/Garage doors

- Timber, painted to match existing.

Roof

- New flat roof as existing.
- New flat roof skylight with painted frame.

Rainwater Pipe etc

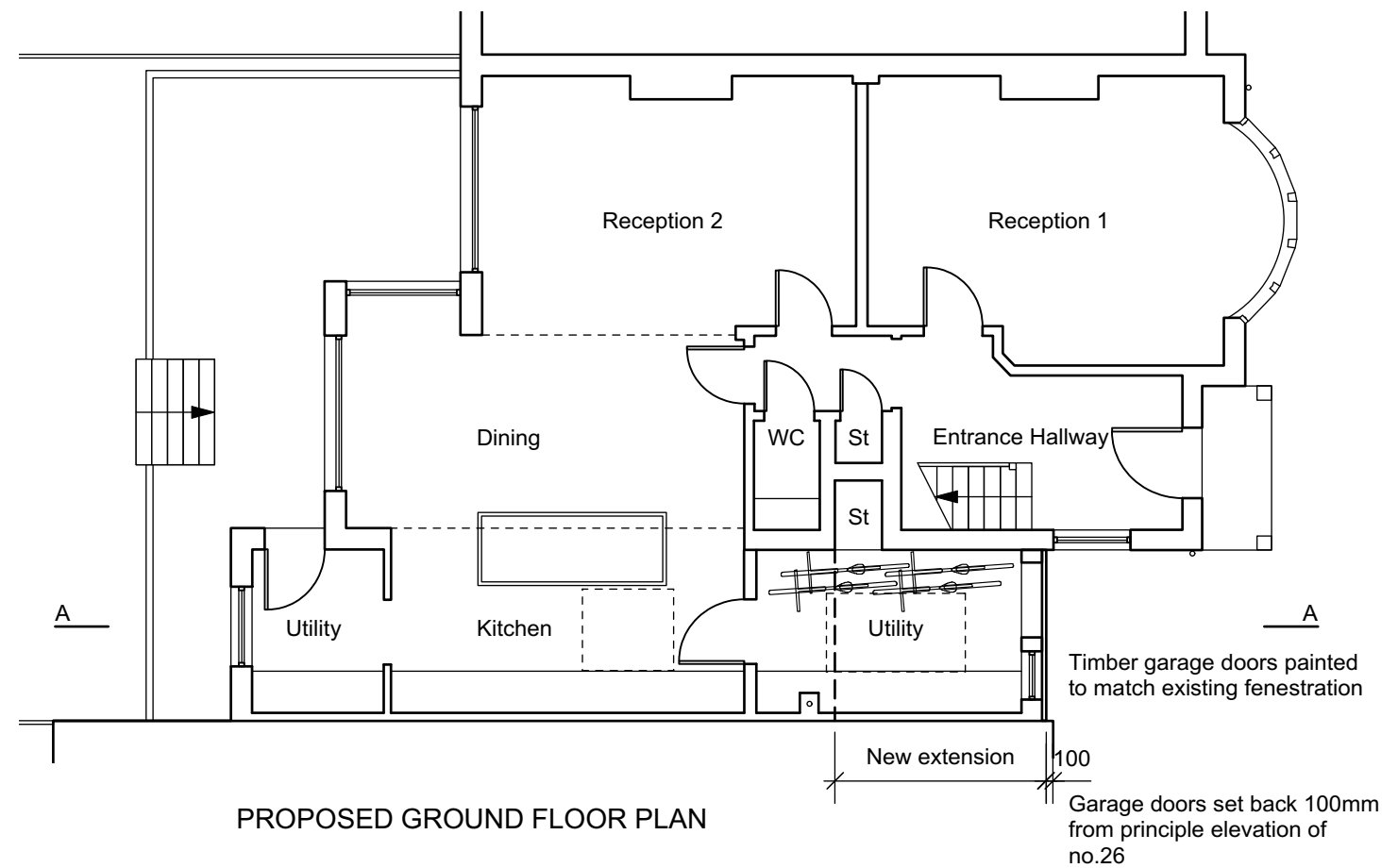
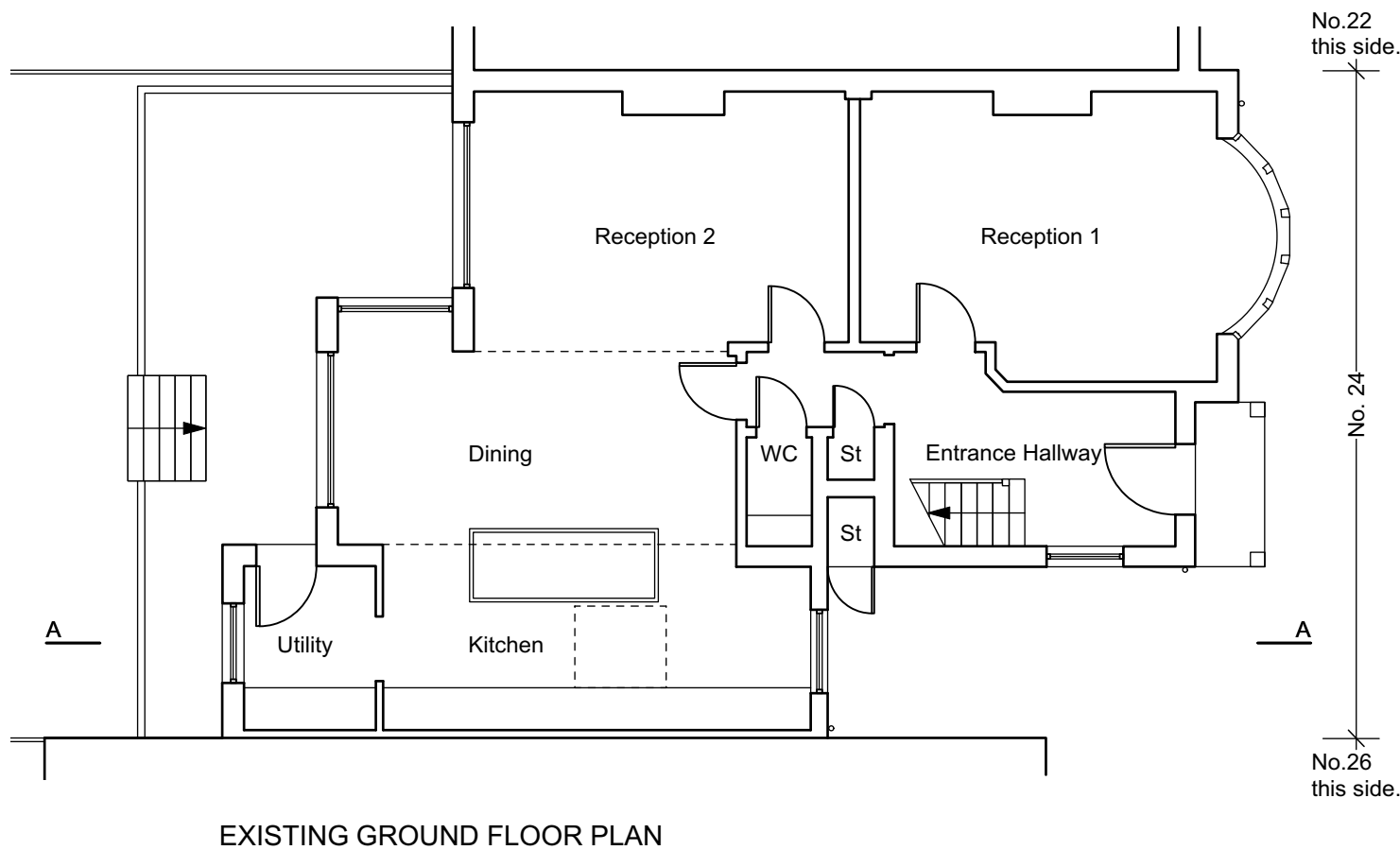
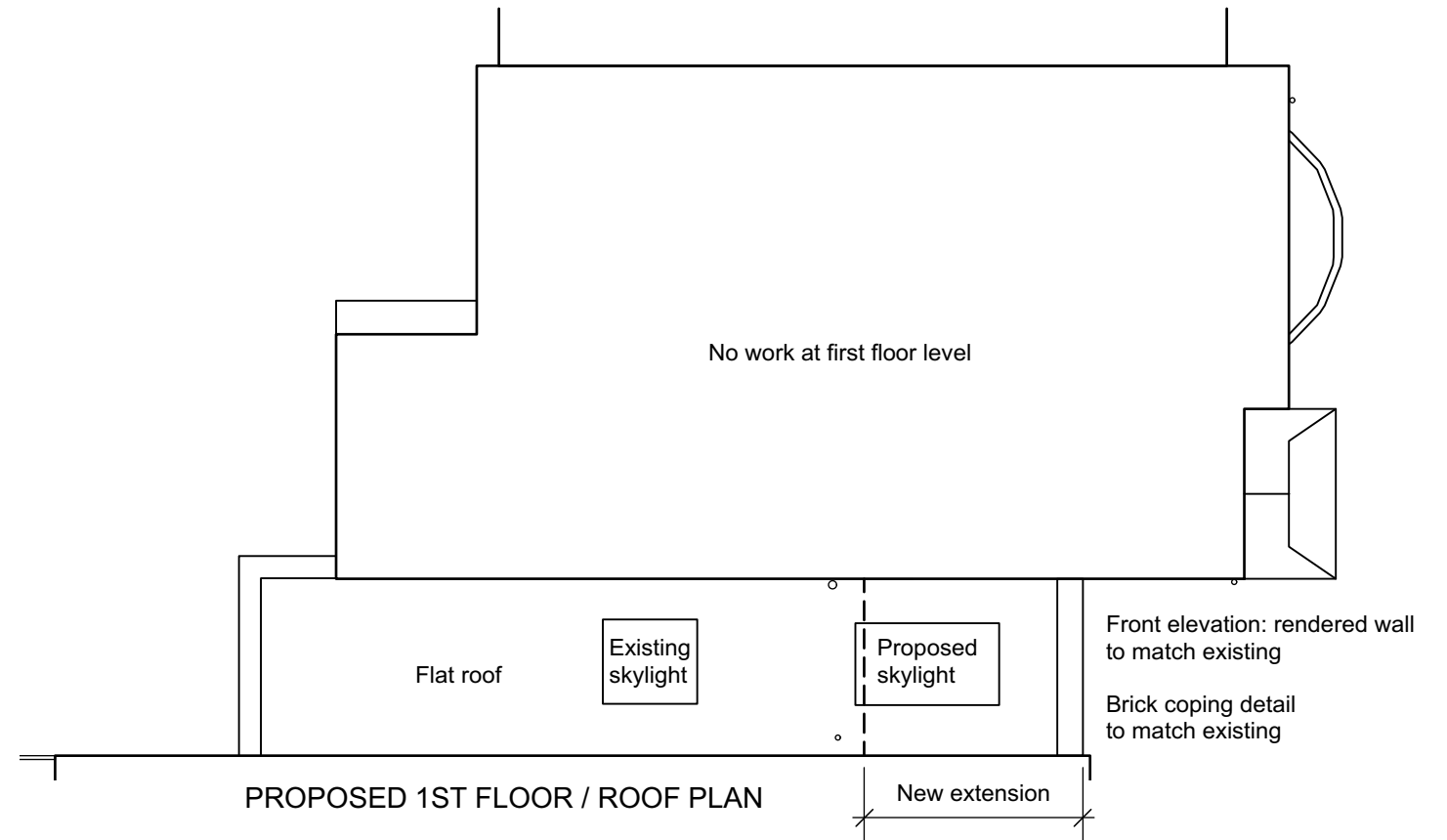
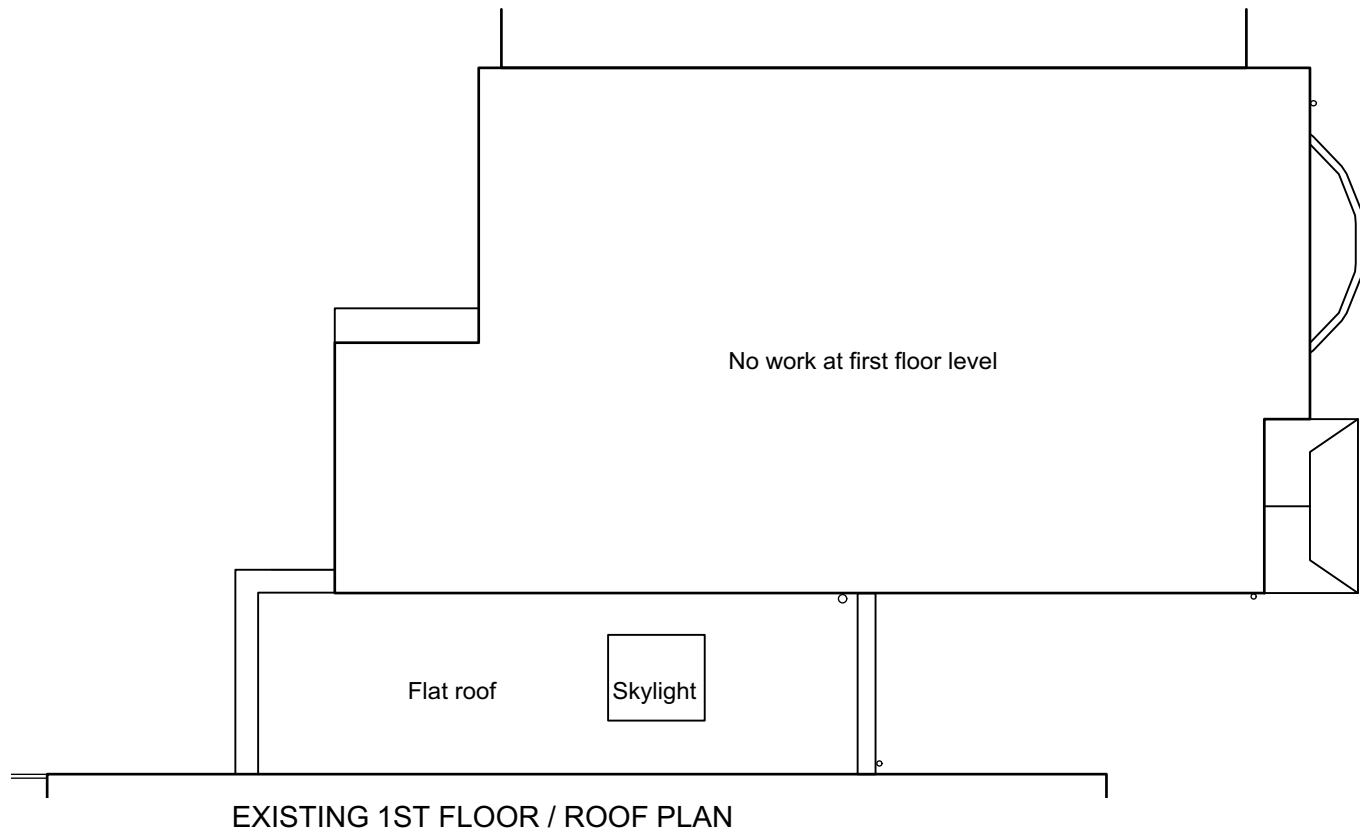
- Rainwater pipe internal and therefore not visible from the street.

Parking / Access

Neither are altered or affected by the proposal.

Revision:

	sceales gunn design	6 North Grove London N6 4SL t: 020 8341 9605 m: 07900 491 428	Date: 6th Dec 19	Drawn/checked: km /
	Project: 24 Hillway, London. N6 6QA	Client: L. McNamara	Scale:as indicated	@A3
	Drg. Title: Site Location Plan / Block Plan	No. HILL24 -P- 100	Rev. -	



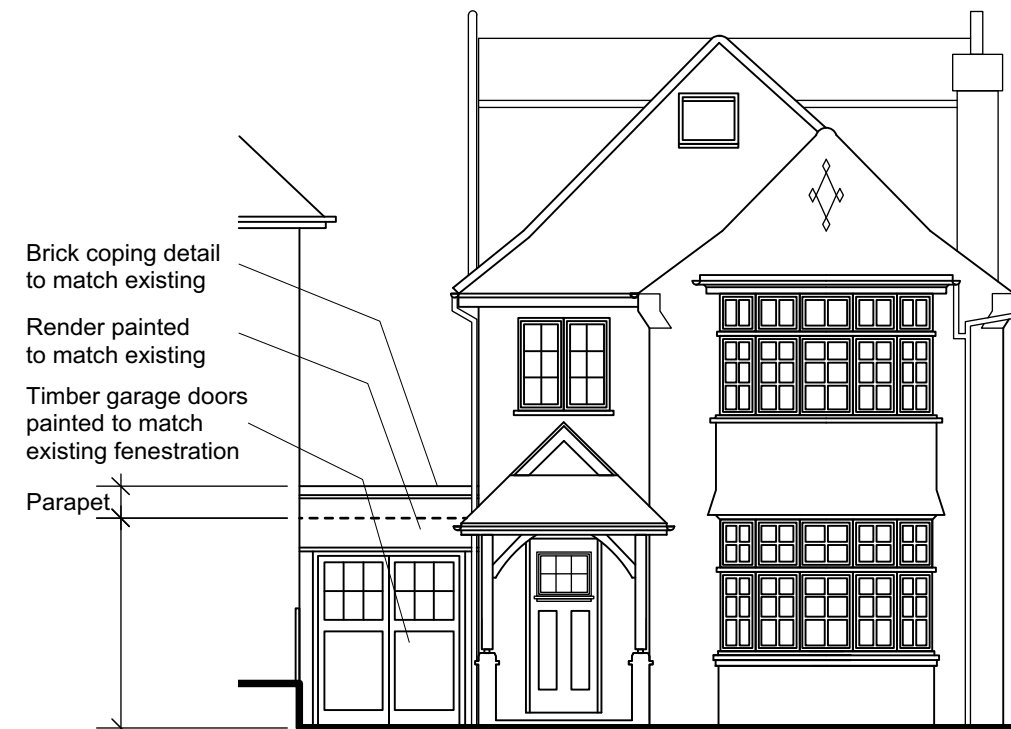
SCALE- 1:50 @ A1 / 1:100 @ A3
0 1m 2m 3m 4m 5m 6m

Revision: _____

	scales gunn design LTD	6 North Grove London N6 4SL t: 020 8341 9605 m: 07900 491 428	Date: 6th Dec 19 Client: L. McNamara	Drawn/checked: km / ____ Scale: 1:50@A1 / 1:100@A3
	Project: 24 Hillway, London. N6 6QA	PLANNING DRAWING		
	Drg. Title: Site & Block Plan / D&A Statement	No. HILL24 -P- 101	Rev. -	



EXISTING FRONT ELEVATION



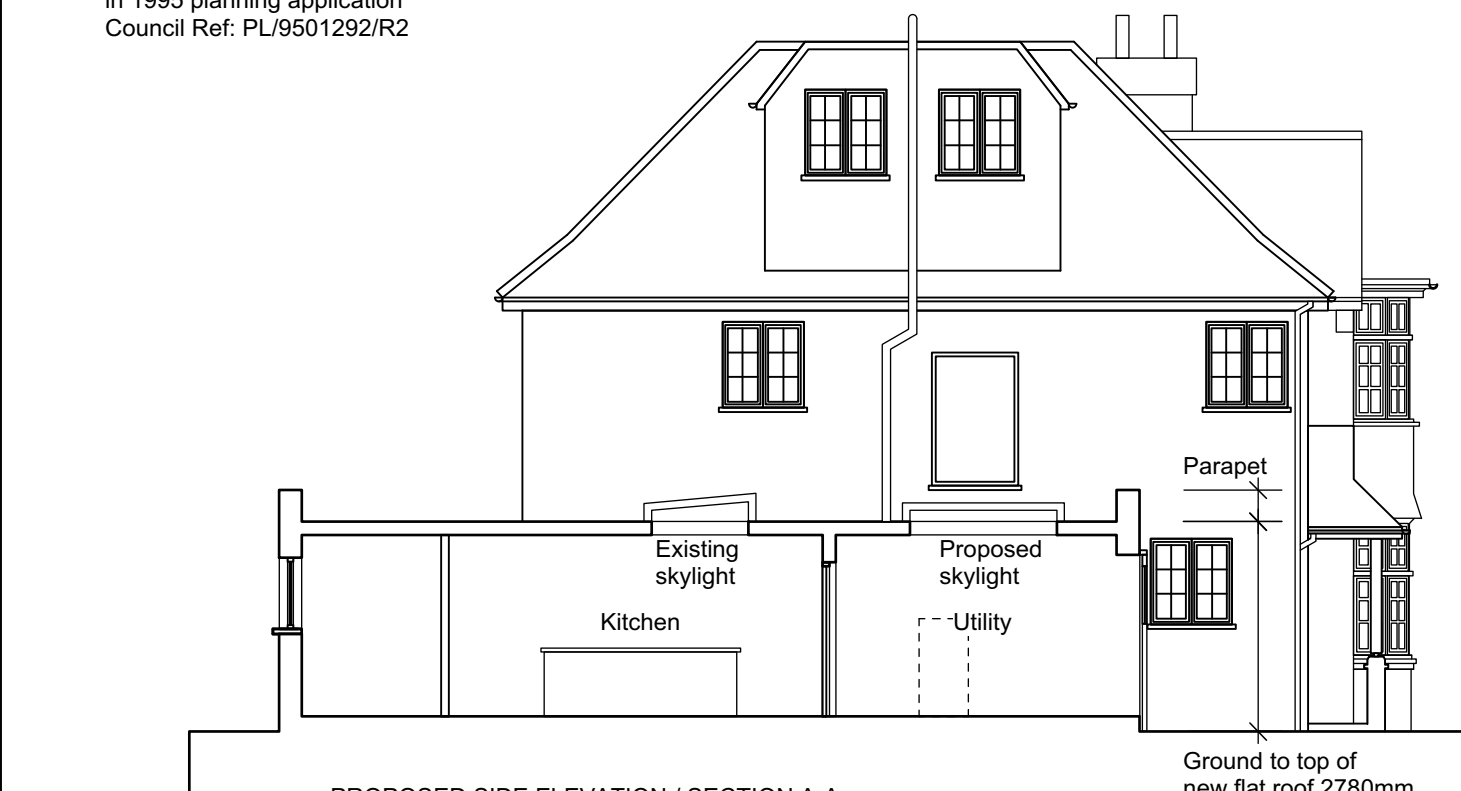
PROPOSED FRONT ELEVATION

NOTE: REAR ELEVATION NOT REQUIRED AS THERE ARE NO PROPOSED CHANGES.

Proposed garage door to reinstate existing as shown in 1995 planning application Council Ref: PL/9501292/R2



EXISTING SIDE ELEVATION / SECTION A-A



PROPOSED SIDE ELEVATION / SECTION A-A

SCALE- 1:50 @ A1 / 1:100 @ A3
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Revision: _____

scales gunn design LTD 6 North Grove London N6 4SL
t: 020 8341 9605 m: 07900 491 428

Date: 6th Dec 19 Drawn/checked: km / ____
Client: L. McNamara Scale: 1:50 @ A1 / 1:100 @ A3

Project: 24 Hillway, London. N6 6QA

PLANNING DRAWING

Drg. Title: Existing & Proposed Elevations

No. HILL24 -P- 200

Rev. -