

## **CONSTRUCTION MANAGEMENT STATEMENT**

**26 Christchurch Hill  
London NW3 1LG**

**MINOR MODIFICATIONS TO INTERNAL LAYOUT,  
INSTALLATION OF A ROOFLIGHT,  
RE-GLAZE EXISTING WINDOWS AND DOORS,  
AND REPLACEMENT OF EXISTING BOUNDARY TREATMENT**

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LISTED BUILDING CONSENT AND  
PLANNING APPLICATION

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**CONTENTS**

1.0	INTRODUCTION	4
2.0	THE SITE	5
3.0	PROPOSED WORKS	7
4.0	TRANSPORT	12
5.0	CONTROL OF THE SITE TRAFFIC	13
6.0	HIGHWAYS LICENCES	14
7.0	CONSTRUCTION COMPOUND AND WELFARE FACILITIES	16
8.0	CONCLUSIONS	17

## **1.0 INTRODUCTION**

- 1.1 This document supports the listed building consent and planning application for 26 Christchurch Hill, London NW3 1LG, as supplementary information required by Council (noted in the pre-planning application advice dated March 2019).
- 1.2 The aim of this Construction Management Statement (CMS) is to minimise the impact of construction on the surrounding community.
- 1.3 The proposed works (noted in Section 3 of this report) are minor in scope. The CMS is to minimise the impact of construction on the surrounding community, specifically the residents of Christchurch Hill and Well Road, both for construction onsite and the transport arrangements for servicing.

## **2.0 THE SITE**

- 2.1 The application site (“the Site”) is located on the northeast side of the Christchurch Hill, immediately to the southeast of the crossroads junction with Well Road, see diagram 1, overleaf.
- 2.2 The main dwellinghouse is a detached 2-storey structure, Grade II listed, and surrounded by generous front and rear gardens. There is a single-storey freestanding garage fronting Well Road with a crossover.
- 2.3 The large garden to the rear, side and front of the main dwellinghouse, and a freestanding garage with a direct access via Well Road, are particularly beneficial in minimising construction impact on the surrounding area.
- 2.4 The site setting and access will enable a large proportion of construction operations to be contained within the site, minimising impact on the street and the surrounding area.

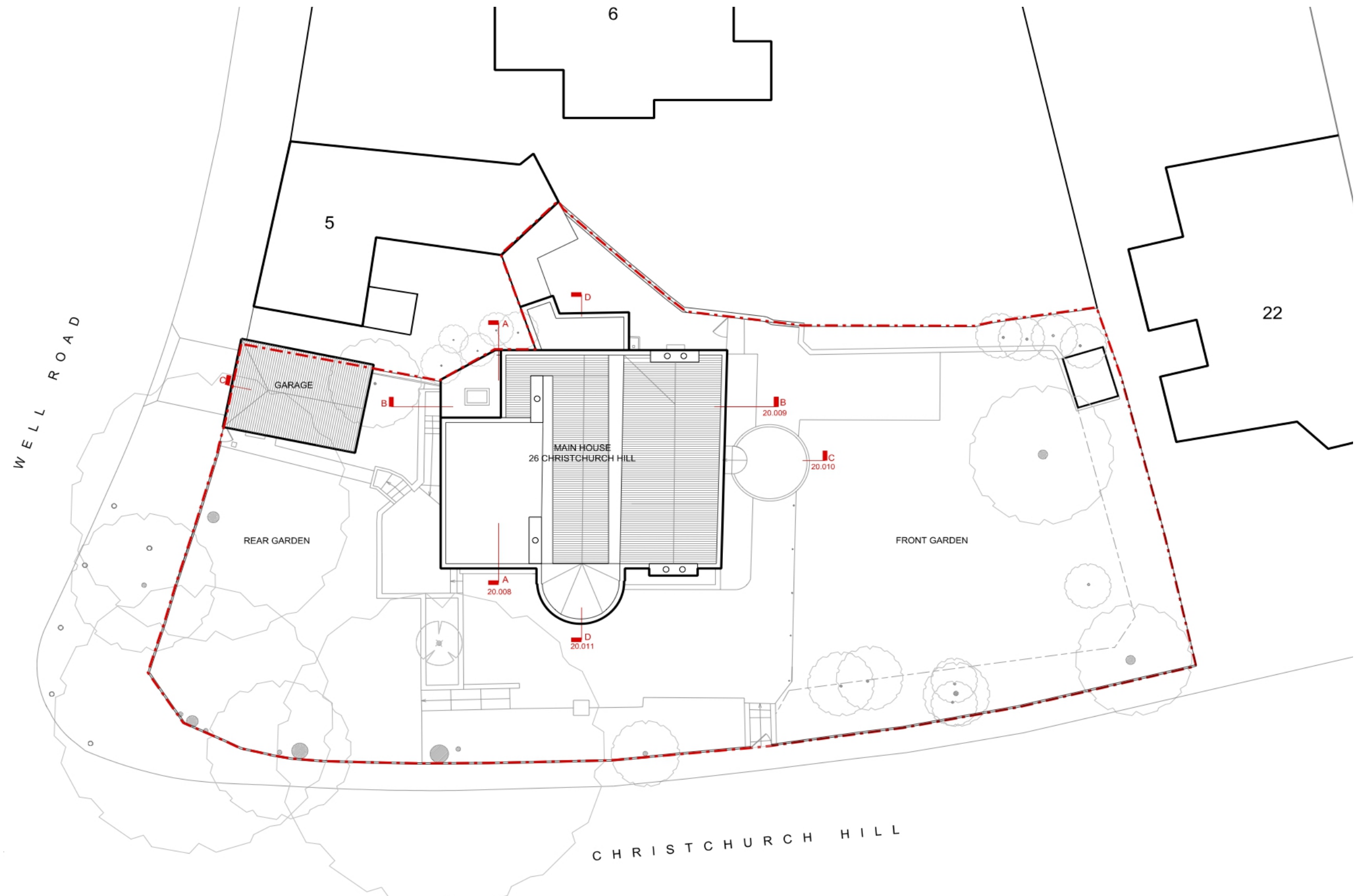


diagram 1 – existing site plan

### 3.0 PROPOSED WORKS

3.1 The proposed works comprise the following (refer diagrams 2 to 5, overleaf):

(i) Minor modifications to the internal layout

**First-floor**

- Reconfiguration of the existing bathroom wall to straighten the current “curved-wall” that is currently encroaching onto the stair landing/ hallway;
- Reinstate/ reposition Bed 5's door to its previous position, i.e. prior to 1970's alteration

**Ground-floor**

- Enlargement of the existing door opening (between kitchen and family room) in order to create a better flow between areas

(ii) Installation of a small, vertical and flush rooflight at the rear side of the building fronting onto the rear garden, allowing daylight into the deep stairwell.

(iii) Re-glazing of the existing windows and doors with thin-double glazed glass to improve the energy performance of the building.

(vi) Replacing the existing closed-timber boundary fences that are in poor condition with solid masonry faced-brick walls that are aesthetically more pleasing and suit the surrounding context.

(v) Replacing the existing sweet chestnut tree, which has TPO (tree preservation order) status with one of the same species.

# LEGEND



SITE BOUNDARY

EXTENT OF EXISTING BOUNDARY FENCE TO BE REPLACED WITH SOLID-FACED BRICK WALLS (RETAIN THE SAME FENCE HEIGHT AND CONTOUR) REFER DRAWINGS 20.130 TO 135 BRIDGING TO T2, T3 & T6 WHERE REQUIRED REFER TO P&M'S DETAILS SK13, 14 & 15 ALSO REFER TO WAS' ARBORICULTURAL METHOD STATEMENT

## NOTE 1

RE-GLAZE EXISTING GLAZINGS (WINDOWS AND EXTERNAL GLAZED DOORS) TO BE WITH "THIN" DOUBLE GLAZED UNITS. THE EXISTING FENESTRATIONS OF WINDOW AND DOORS TO BE RETAINED AND UNCHANGED REFER DRAWINGS 20.120 TO 129

①

MODIFY EXISTING BATHROOM WALL

②

RECONFIGURE EXISTING BATHROOM LAYOUT

③

MODIFY EXISTING STEPS & REPOSITION EXISTING DOOR OPENING (BEDROOM 5)

④

INSTALLATION OF A ROOFLIGHT (FLUSH)

⑤

CREATE A WALK-IN-PANTRY WITH A CONCEALED DOOR OFF THE RECESSED ALCOVE

⑥

REVISE KITCHEN WORKTOP TO INCORPORATE A DOUBLE-OVEN, PULL-OUT PANTRY AND A FULL HEIGHT FRIDGE/FREEZER

⑦

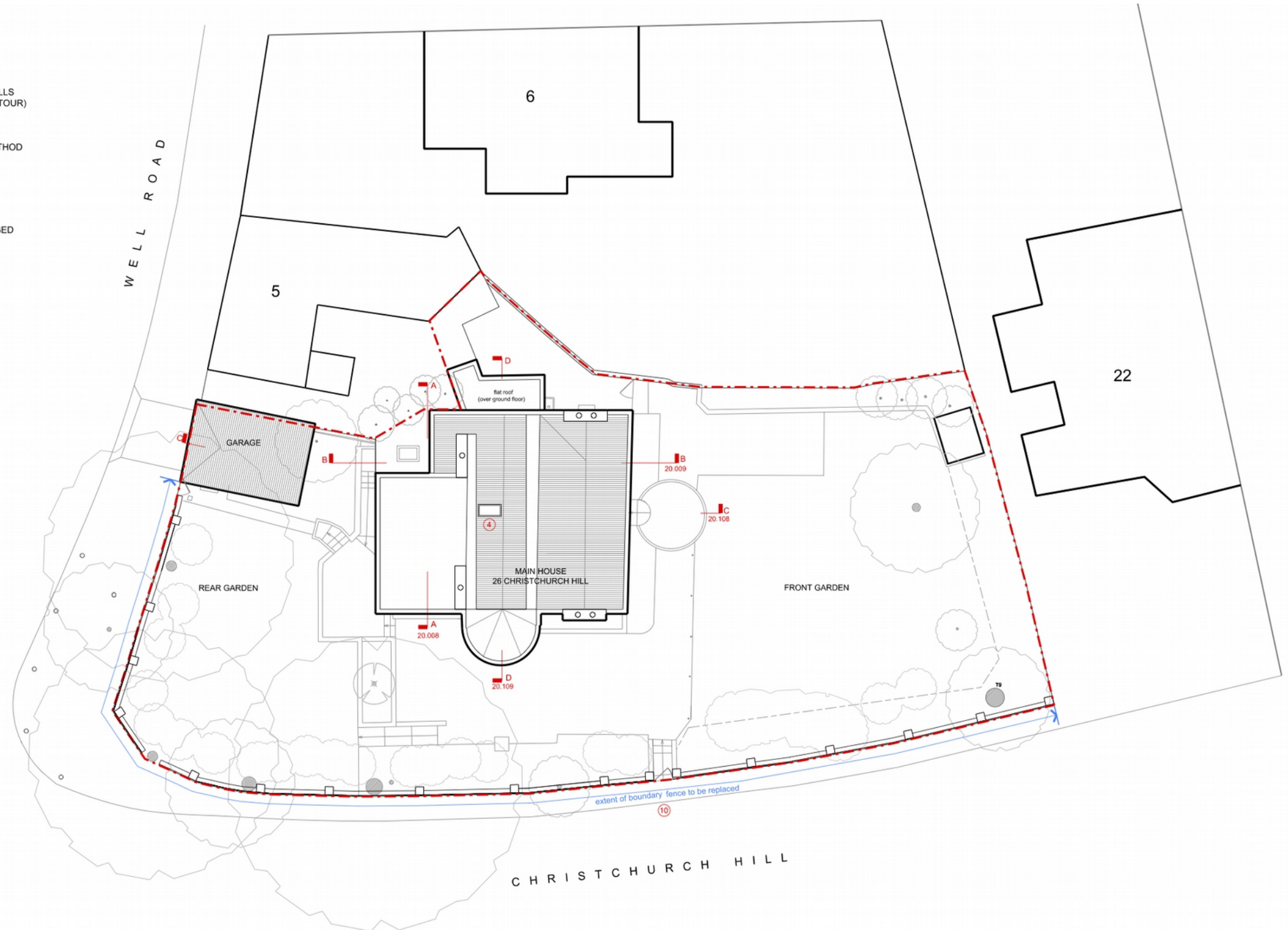
EXTEND EXISTING KITCHEN ISLAND TO INCLUDE AN EXTRA STORAGE AREA

⑧

REPOSITION EXISTING DOOR OPENING AND REPLACE SINGLE DOOR WITH A PAIR OF DOORS AND REVISE STEPS

⑨

A PAIR OF FIRE DOORS TO BE FITTED BETWEEN THE ALCOVE OF THE HALLWAY LEADING TO FAMILY/ KITCHEN



1 PROPOSED SITE PLAN

Diagram 2 – proposed site plan



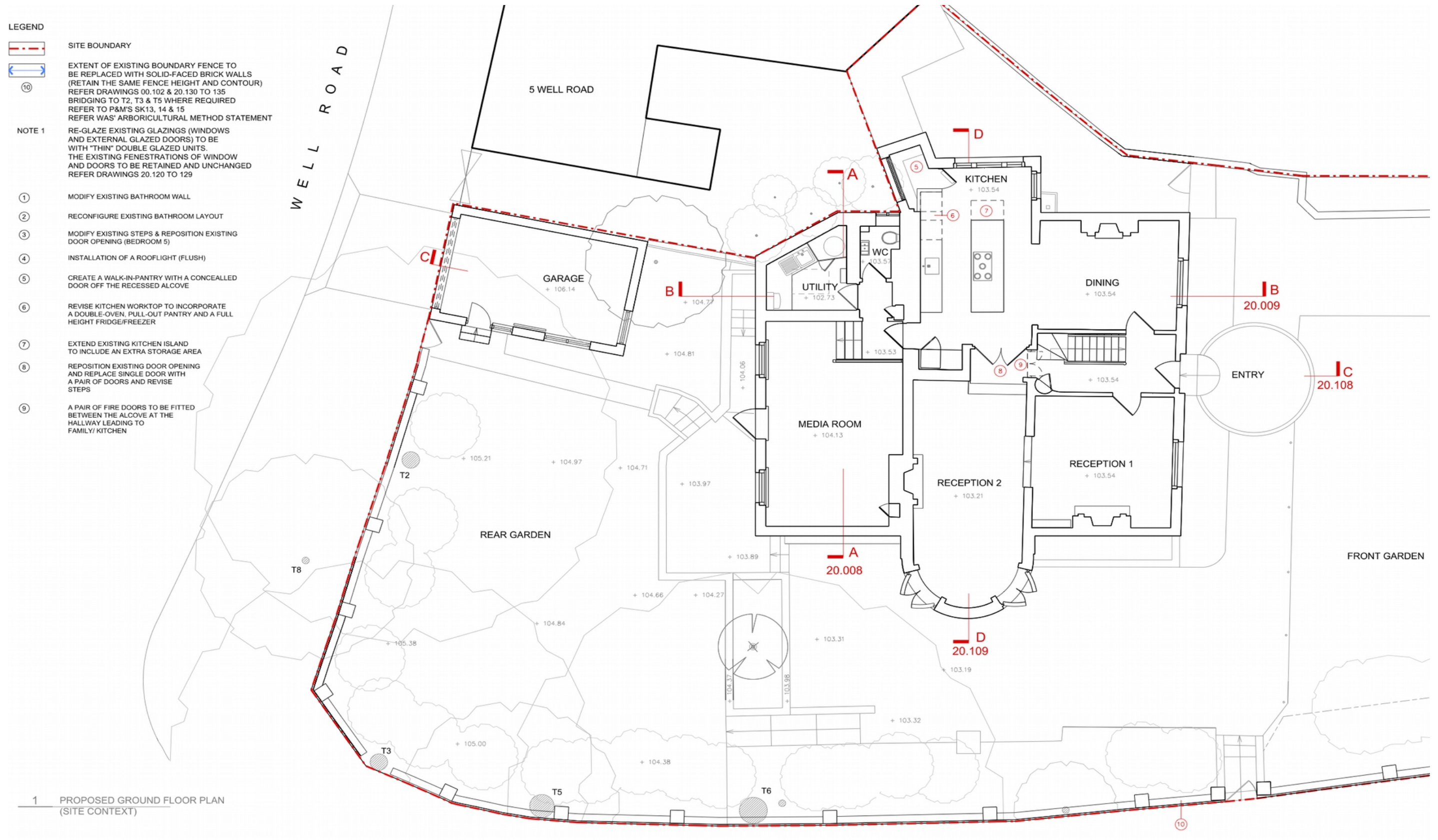
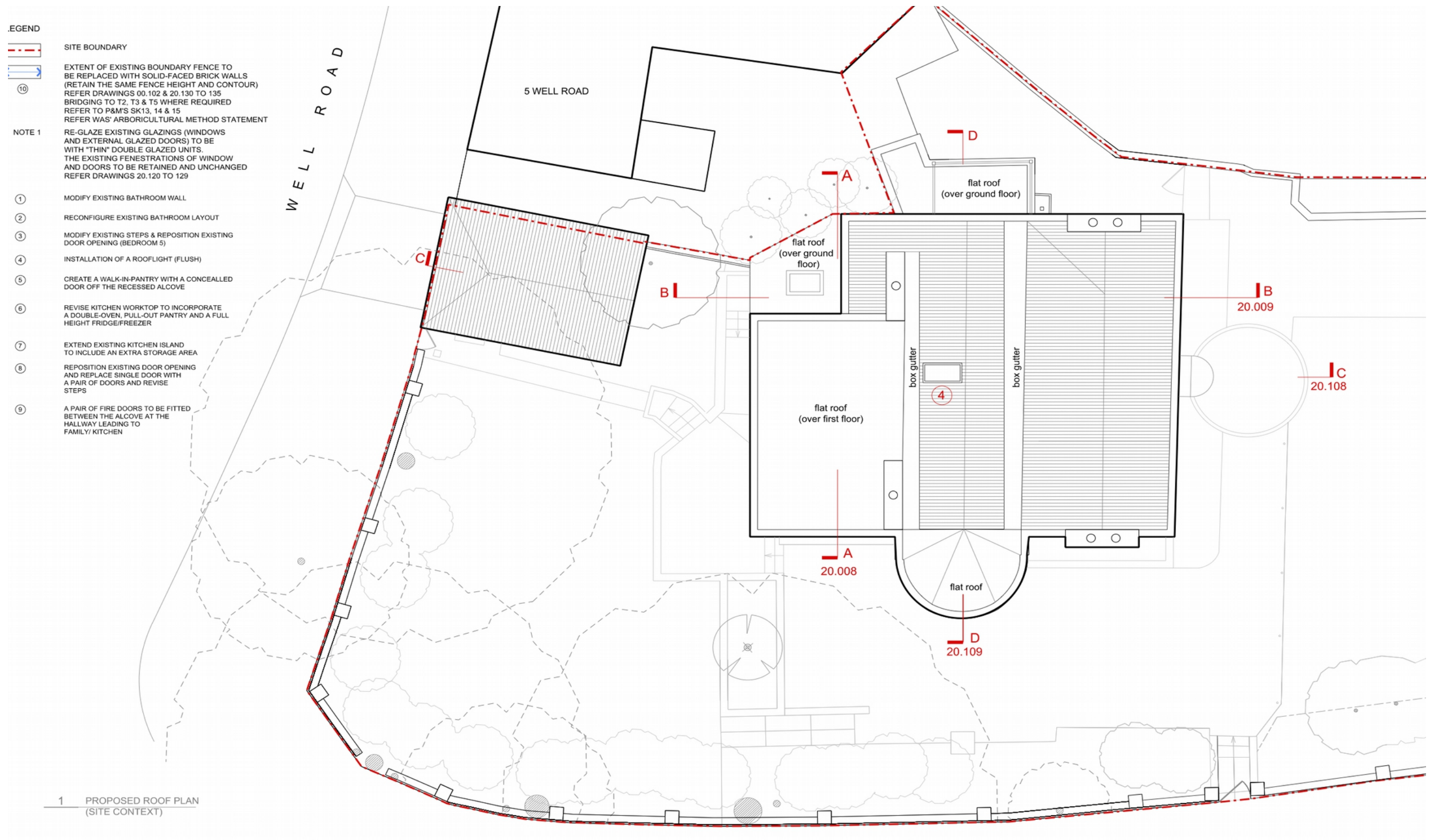


Diagram 3 – proposed ground-floor plan







**Diagram 5 – proposed roof plan**

## 4.0 TRANSPORT

- 4.1 This section is focused on the proposed transport and servicing in and around the “Site”.
- 4.2 The site is situated within a ¼ mile of Hampstead High Street close to Hampstead station on the Northern line TFL tube route. Hampstead Heath over-ground rail service is also situated nearby. The site is linked to the A502 dual carriageway via single carriageway highways.
- 4.3 Public highway network in the vicinity of the site including link to the road network, see diagram 6.
- 4.4 As it is a minor work, there will be only one contractor's mini-van attending the site on a daily basis. The vehicle will be parked in the existing freestanding garage.



**Diagram 6 – Vehicle route to and from the site**

## 5.0 CONTROL OF SITE TRAFFIC

- 5.1 Construction vehicle movements will be between 9:30am to 4:30pm on weekdays and between 8:00am and 1:00pm on Saturdays.
- 5.2 As there are two schools: Heathside School at New End and Christ Church Primary School in the vicinity of the site, deliveries will be in accordance with the restricted hours, i.e. between 09:30am and 3pm on weekdays during term time.
- 5.3 The delivery vehicles will remain on Well Road for a short period of time to aid “wait and load” deliveries and collections and will use the temporary suspension car parking bay to unload supplies/ materials.
- 5.4 The mainly delivery will be bricks (on pallets) for the replacement of the perimeter boundary wall. These will be delivered to the pavement. The contractor will then use a flat trolley to transport to the site compound for storage.
- 5.5 Deliveries will be carried out during the morning period and waste disposal during the afternoon and prior to 3:00pm
- 5.6 Vehicles include:
- Skip lorry vehicle: 4-wheel, 20-tonne, (L) 6.27m x (W) 2.5m
  - General building materials: 4-wheel HIAB flat-bed, 7.5-tonne, (L) 7m x (W) 2.25m
  - Sundry materials: 4-wheel, 3-tonne (van), (L) 4m x (W) 2m
- 5.7 The estimate dwell time for skip lorries is 20-30 minutes and material lorries is 10-20 minutes. Only one delivery would occur at a time. No queuing will be permitted.
- 5.8 During the works to the internal minor renovation and the external landscaping, the following has been estimated:
1. Internal minor renovation (ground and first floor and installation of rooflight):
    - 1-skip lorry (“wait and load” 1/week for 2-week)
    - Sundry materials vehicles would deliver throughout the works on small vehicles. It is expected that these deliveries will occur once a week for 6-week.
  2. Landscaping (replacement of the perimeter boundary fences/walls)
    - 5-skip lorry (“wait and load” 1/day for 1 week)
    - General building materials deliveries by HIAB flat-bed 1/week
    - Sundry materials vehicles would deliver throughout the works on small vehicles. It is expected that these deliveries will occur once a week for 6-week.

•











6.0 HIGHWAY LICENCES

- 6.1 No temporary structures will overhang the highway. All materials will be stored onsite and the public highway will only be used for deliveries and spoil and wooden fences removal.
- 6.2 It is intended that hoarding will be erected along the boundary of the property to secure and safely segregate the construction site works from the public. Materials will be stored within the site hoarding at all times and the site hoarding will be maintained to a high quality for the duration of the project.
- 6.3 Temporary suspension of one-car bay will be required for the skip during the construction for 5-working day.
- 6.4 A further temporary parking bay suspension will be required as a “wait and load” approach will be employed, i.e. skip and grab lorry will be brought to site, loaded/ unloaded and immediately depart.
- 6.5 A hoarding licence will also be required for a temporary fence around the perimeter boundary during the replacement of the boundary walls.
- 6.6 A licence will be required for temporary diversion of the footpath whilst the building of the perimeter wall is in progress.
- 6.7 An off-site and site set-up plan shown the above is in diagram 7, see overleaf.
- 6.8 The Table below shows the temporary parking suspensions for each activity:

Vehicle	Activity	Reason for activity	Length of temporary suspension	Duration of temporary suspension	Average frequency of temporary suspension
Skip lorry	Temporary loading of spoil, wood fences and site waste (using “wait and load”)	To remove spoil and disused wooden fences from the replacement of the boundary perimeter walls	10m	20 to 30 minutes	1 per day for external landscaping and 1 per week for minor internal refurbishment
Material deliveries	Temporary unloading of building materials, in this case: bricks and screw piles	Replacement of the boundary walls	10m	20 to 30 minutes	1 per week



# LEGEND

-  SITE BOUNDARY
-  EXISTING CLOSE-BOARDED TIMBER FENCES
-  EXTENT OF HOARDING/ TEMPORARY SITE FENCES (PLYBOARDS) DURING REPLACEMENT OF THE PERIMETER BOUNDARY WALLS  
NOTE: HOARDING AND TEMPORARY PAVEMENT CLOSURE/ DIVERSION LICENCES REQUIRED
-  PARKING BAY (MAX 10M - 2 CAR BAYS)  
TEMPORARILY SUSPENSION (20-30 MINS)  
NOTE: LICENCE REQUIRED
-  SMALL BUILDER SKIP  
10FT x 4FT x 4FT (6 CUBIC YARD)  
NOTE: SKIP LICENCE REQUIRED (1-BAY AND 5-DAY)
-  SITE WELFARE (OFFICE/ KITCHENETTE/ TOILET)  
NOTE: BLOCKED-OFF EXISTING KITCHEN DOOR AND USE EXISTING CINEMA ROOM AS OFFICE & KITCHENETTE AND USE THE EXISTING TOILET (GROUND FLOOR)
-  AREA TO STORE MATERIALS FOR THE PERIMETER BOUNDARY WALLS
-  TREE PROTECTION TO THE EXISTING RETAINED TREES. THE PROTECTION TO BE REMOVED WHEN DETAIL NEAR TREE IS REQUIRED. REFER ARBORICULTURAL METHOD STATEMENT
-  PEDESTRIAN ACCESS
-  VEHICLE ACCESS (BUILDER)

1 PROPOSED OFF-SITE AND SITE SET-UP PLAN

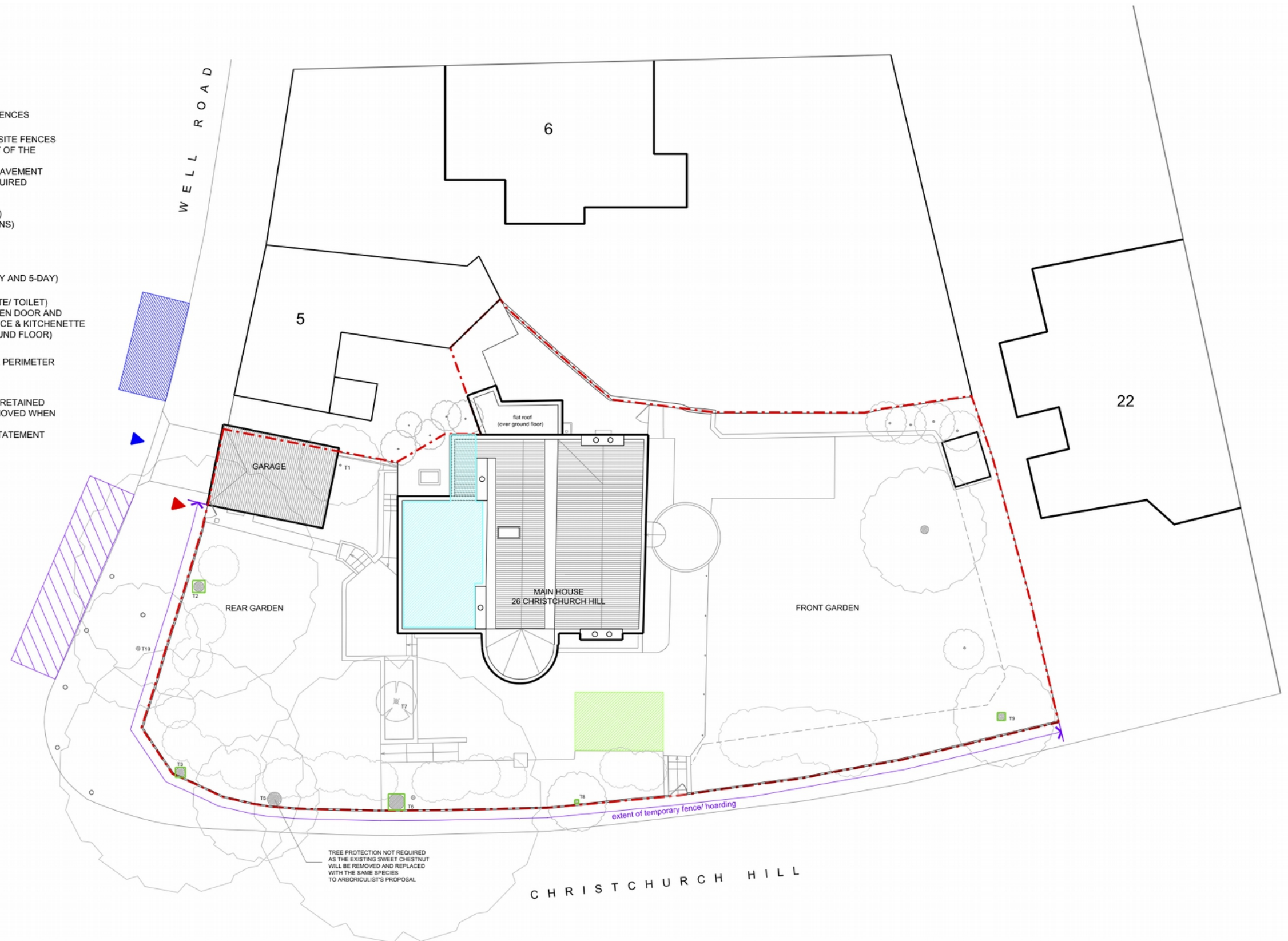


Diagram 7 – Off-site and site set-up plan

7.0 CONSTRUCTION COMPOUND AND WELFARE FACILITY

7.1 As the Applicant will be moving out of the premises during construction, the property will be vacant. The contractor will use a section of the ground floor for their site office and welfare facilities. See diagram 8, below.

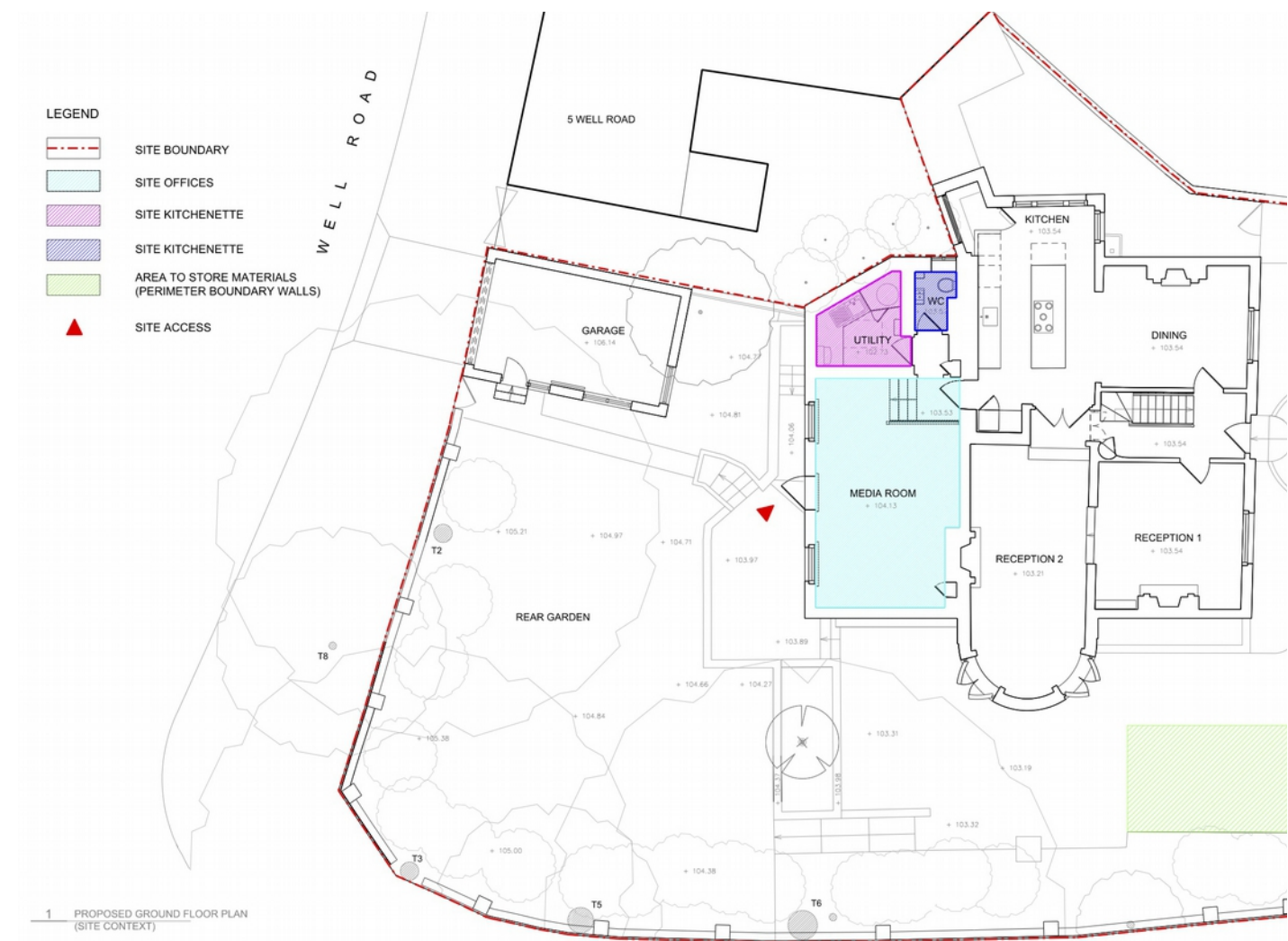


Diagram 8 – Site office and welfare facilities



## 8.0 CONCLUSION

- 8.1 As the proposed construction works at 26 Christchurch Hill will be minor in scale, the work will be carried out within the site compound and the impact on the local residents and the wider transport network will be minimal.