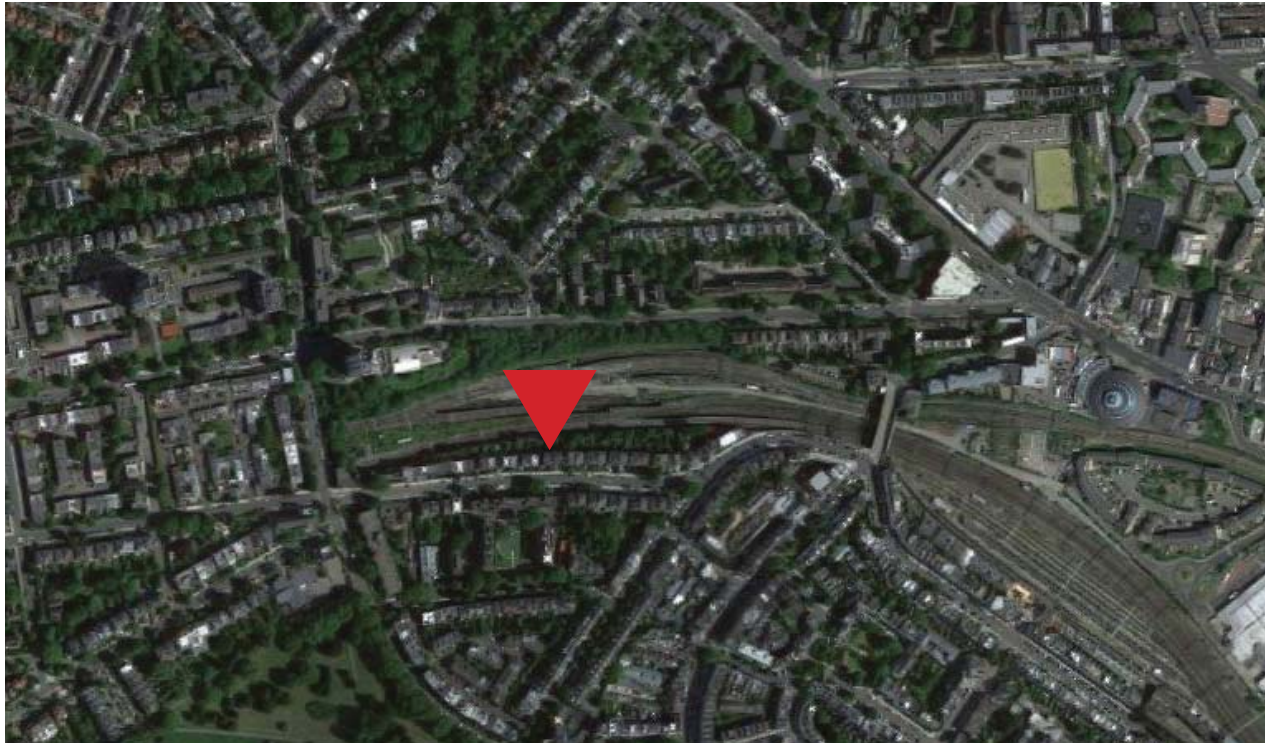


34a KING HENRY'S ROAD Design and Access Statement

December 2019_Rev A

SKETCH
ARCHITECTS



34A King Henry's Road

Introduction and Client Brief

This document provides supporting information as part of the planning application regarding Flat 34a King Henry's Road, NW3 3RP. Please also refer to plans and drawings also submitted with this document for further details.

The property has been subject to a recent and successful planning application to extend at the rear, side and front. See application No.2017/3029/P. With this new and revised application we are seeking to achieve the same extent of built form to the rear and side but with a much reduced front extension.

King Henry's Road is situated near Primrose Hill. The clients own the lower ground floor of a 4 storey semi detached house. The current flat has two bedrooms, one of which is at the front of the property under the entrance steps therefore limited in size and head height.

The entrance to 34a is down the side of the property with side access to a spacious garden at the rear overlooking the railway track. The brief is to extend out to the side and rear of the property, whilst also providing a small additional area of accommodation under the front garden hard-standing.

King Henry's Road is situated just north of Primrose Hill. Just beyond Primrose Hill to the south is Regents park, therefore No.34 has plenty of access to open green space additional to the existing spacious garden.

The nearest station is Chalk Farm which is a 7 Min walk.





Site Analysis

Street Scene and Character

No.34a is on the East end of King Henry's Road which stretches from Adelaide Road to Gloucester Avenue gently sloping up towards Adelaide Road. The houses down the street have a mid century character creating a consistent rhythm down the street. The neighbouring houses on the north side of the street are four storey properties with the lower ground floor exiting out onto spacious gardens backing on to the railway behind.

There is a reasonable distance between the semi detached houses of around 3m with side access down to the garden.

The main entrance to the ground floor of the property is raised above street level as is typical of this type and era of property, with access to No.34a located down a short flight of stairs to the lower ground floor. An element of 34a's internal accommodation is located beneath the stairs to the flat above.



KEY:

	Building or group of buildings		Open space		Rail/Tube line
	Natural features or landscape		Water		Ward boundary
	Street feature or other structures		Conservation area		Borough boundary

Locally Listed

REF 645

The map to the left shows the location of assets marked as historic within the Camden Town and Primrose Hill Ward.

The description for the properties on King Henry's Road highlights their architectural merit.

We are proposing a design that will use materials and detailing of a high quality reflecting the existing property's aesthetic in a more contemporary but complementary manner.

Its description is as follows:

Group of mid century semi detached (and in some cases linked) and terraced houses on both sides of street. Intact and relatively unaltered group of high architectural quality creates fine consistent townscape.

Address -

1-49 (odd) 8-54 (even) King Henry's Road

Significance -

Architectural and Townscape Significance

Type -

Building or Group of Buildings

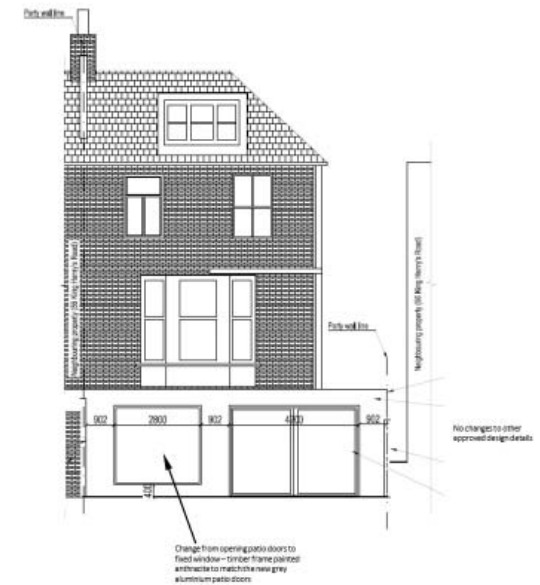
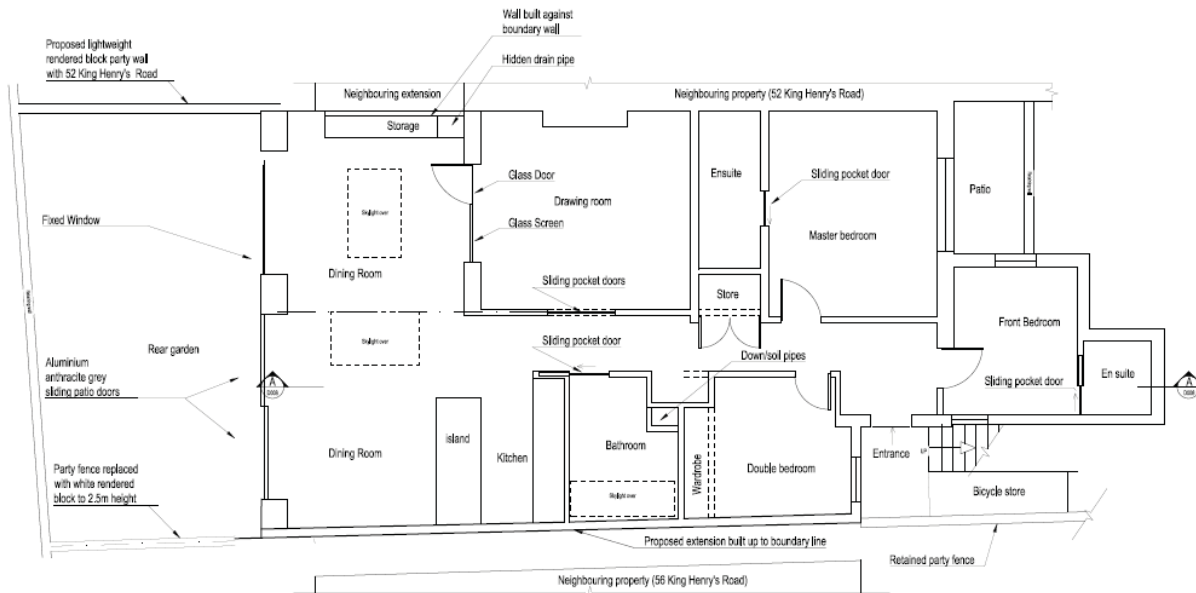
Ward -

Camden Town with Primrose Hill

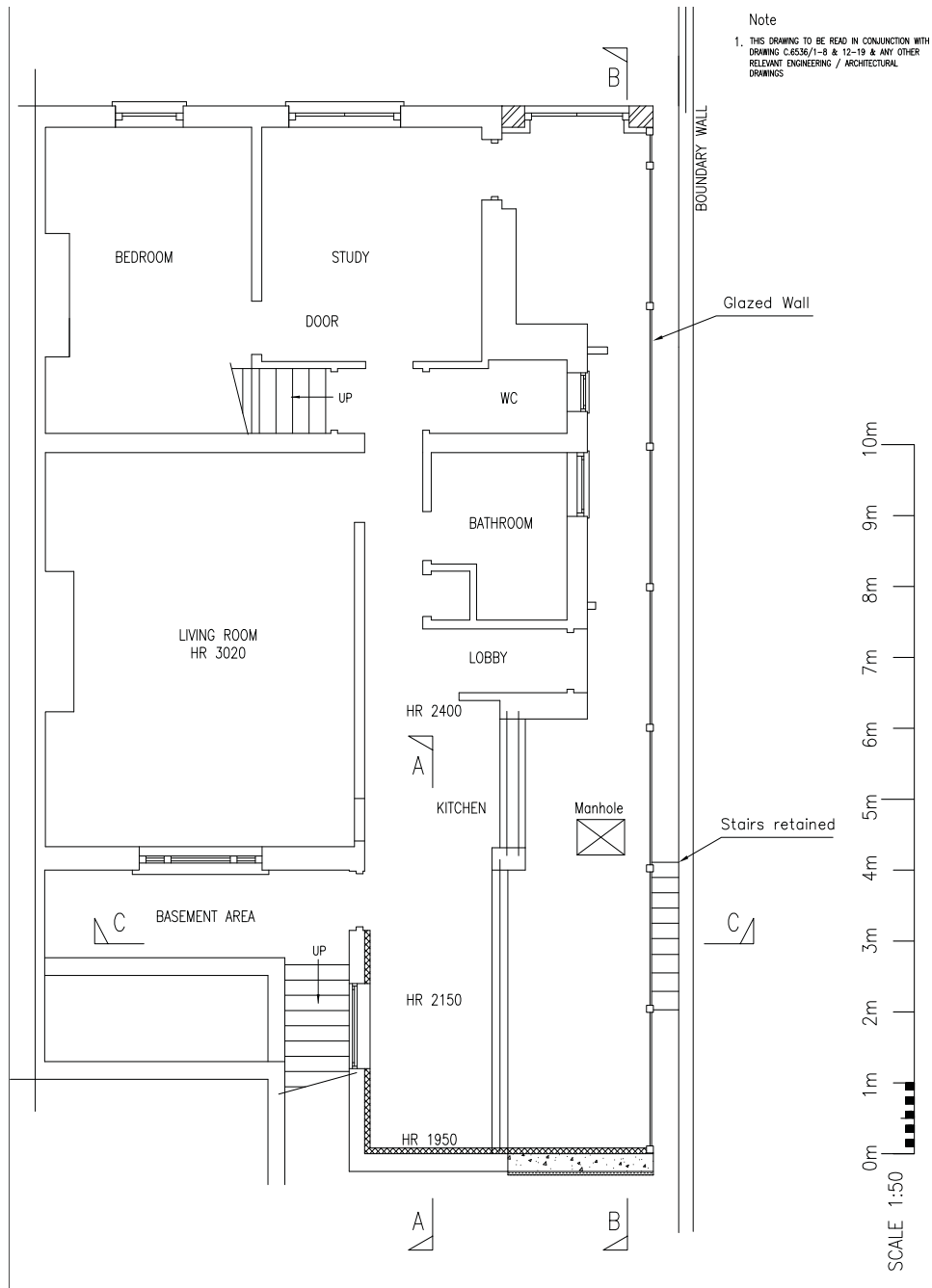
Precedents

No.54C - 2016/0898/P

No.54C has been granted permission to extend the lower ground floor out at the rear, side and the front of the property, creating a living space at the rear of the plan similar to our proposal for No.34A.



Granted Floor Plan for 54C



Granted Floor Plan for 32

Precedents

Garden Flat No.32 - 2013/5264/P

The garden flat of No.32 received planning permission for a side extension set slightly back from the boundary wall. The wall is proposed to be glazed with a glazed roof to allow in maximum light.

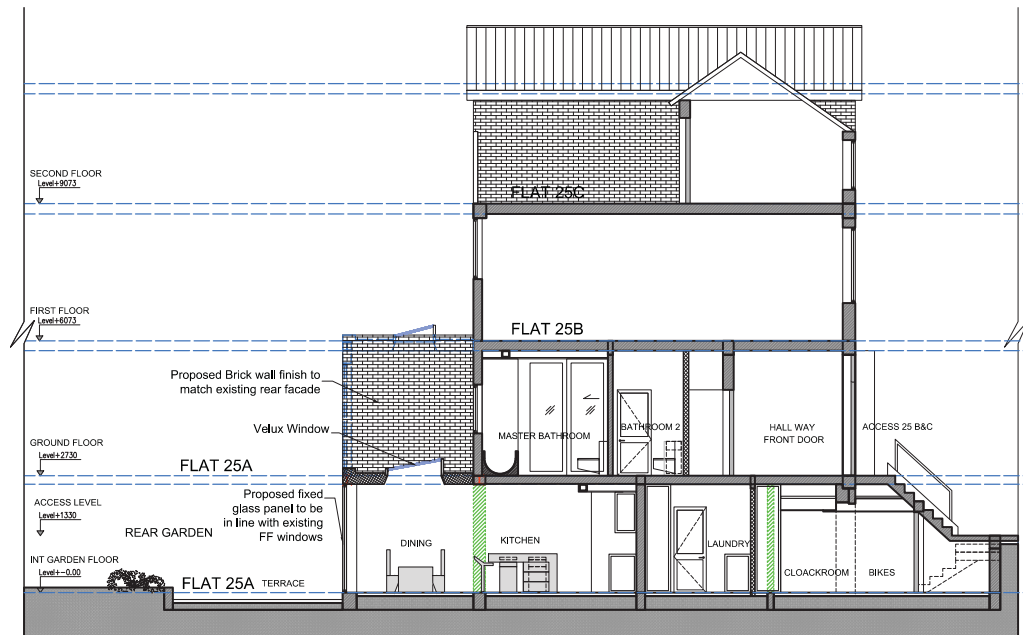
The development on site shows a side extension at the front of the property as the granted scheme was scaled down in construction.



Precedents

Flat A No.25 - 2017/0917/P

An application for Flat A No.25 has been recently granted. The elevations and sections show the height on the boundary to be proposed at 2730mm. This is slightly taller than what we are proposing at No.34. No. 34 is also semi detached unlike No.25 which is in a terrace. Therefore there is a 3m separation between our proposal at No.34A and the footprint of No.36.



Site Analysis

Existing Exterior Photographs



Front Elevation with Flat A entrance below on the left.



Street view of front elevation.



Stairs down to the entrance of Flat A



View looking down into the front light-well.

Site Analysis

Existing Exterior Photographs



Rear Elevation with level access on to the garden.



View from the rear looking out to the garden.



Side access looking through to rear garden.



View of the rear in proximity with No.36.

Precedents

Rear Aesthetic

A simple and elegant finish is proposed with materials chosen to blend with and enhance the host property. The scale and form of the rear, side and front extensions have been designed to be subservient so they do not detract from the character of the host building.



Materiality

A modest palette of brick as the primary facing material has been chosen to complement and enhance the host building. A high quality brick will be selected to blend in with the brick of the main house.

Elegant and unobtrusive slimline aluminium glazing is proposed for the main rear opening which is paired with a frame-less glazed side window in combination with a skylight.

Newly introduced built elements to the side and front will be finished in white render to match the character of building and street-scene.

Sustainability

The proposed new layout and addition of new built elements have been designed where practicable to reduce the extent of demolition, with regards to both external envelope and interior partitions. Drawing D-102, (proposed lower ground floor) demonstrates the mix of retained structure in conjunction new build elements and the desire to promote minimising demolition. The performance of retained structure will be upgraded as best as is practicable in order to aid in the performance of the dwelling as a whole.

The fabric performance of any new built external envelope, as well as new internal partitions, will further enhance the current condition raising the performance of the overall dwelling.

Hot water and space heating appliances will be upgraded where required in conjunction with new and more efficient WC and washing facilities. Fixed task and general room lighting will also be upgraded to energy efficient LED type lighting where needed.

Existing materials removed as part of the remodel will, where possible, be recycled.



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