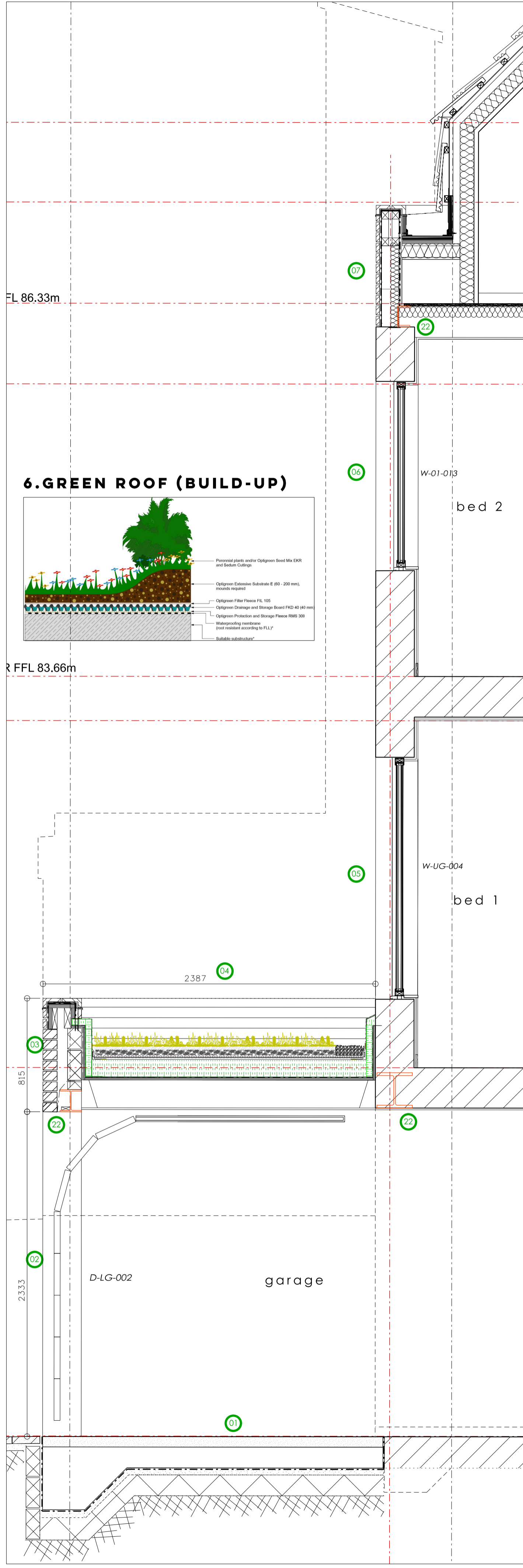
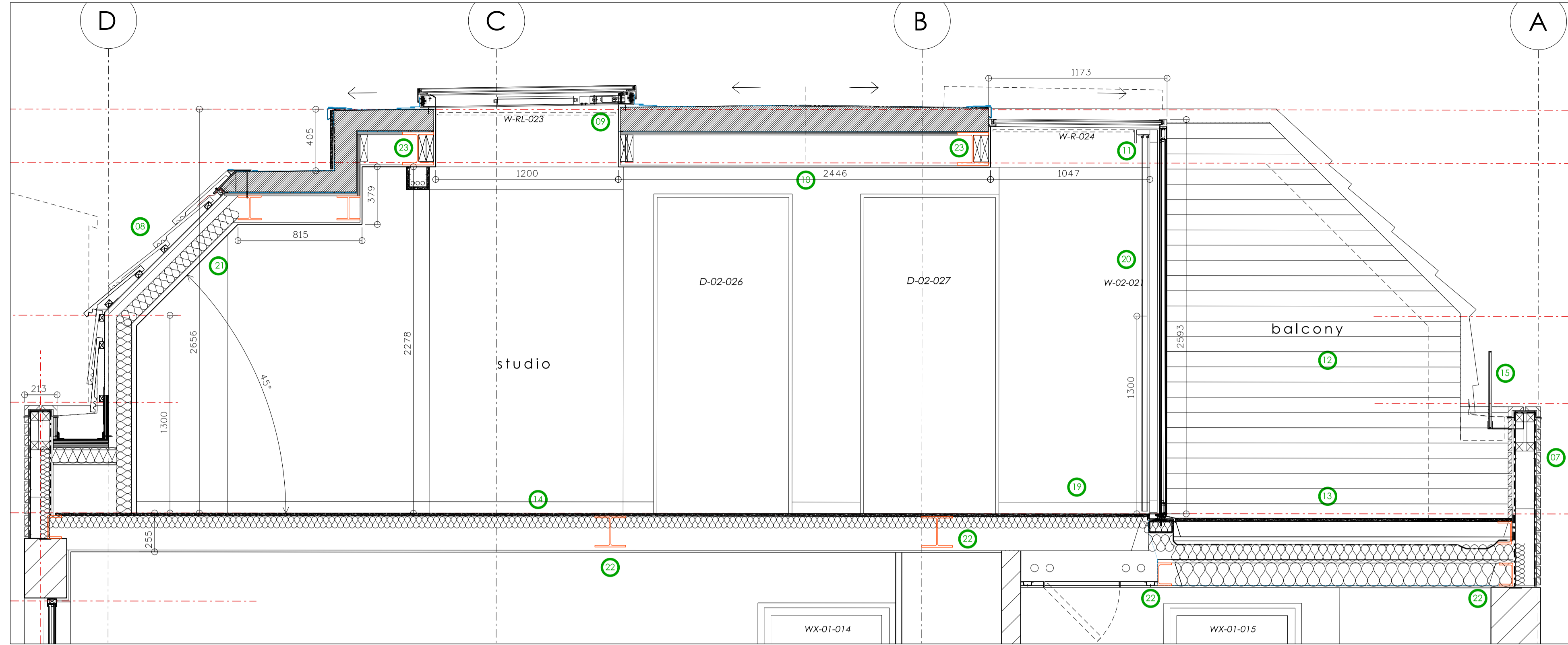


3.DETAIL C/1



4.DETAIL C/2



5.GREEN ROOF

EXTENSIVE Green Roof Maintenance

Lightweight with low maintenance vegetation made up of Sedum species or wildflowers specially chosen for their ability to thrive in minimum soil depth. Two maintenance visits per annum, with 1st visit to be in spring (March/April) with 2nd visit carried out in the autumn (Sept/Oct).

Maintenance tasks during visits:

- 1 - Removal of weeds any saplings (e.g. birch, willow) and weeds (e.g. clover, dandelion, vetch, etc) require removal every year. Best achieved by pulling them out complete with roots prior to seeding. The plants should be removed from the roof & taken away for composting.
- 2 - Keeping margins, safety strips, slabs and other surfaces free of undesired growth, applies to gravel strips as well as greening surface.

3 - Mowing & removal of cut grass & leaves.

Low level sedum vegetation with minimal herbage content should be removed approx every 2 years by mowing, with sedum grass & herbage vegetation removed annually in Sept/Oct. Cutting height approx 7cm. Leaves from adjacent trees should also be removed.

4 - Fertilising.

a long term fertilizer with 5g pure nitrogen (e.g. 50g/sq.m long-term fertilizer) should be applied evenly to the greening surface on an annual basis in the spring (April/May). Strong moss growth and evidence of reddish sedum in particular point to a nutrient deficiency.

5 - Cleaning of roof drains/equipment. roof drains below these should be checked annually and freed of contaminants (ant nests, dirt, leaves, lime deposits & similar). Drainage cross section should not change, & same applies to drainage gutters.

6 - Watering.

applies to drainage gutters

6 - Watering.

extensive green roofs will not normally be watered once established (i.e. when surface has been covered by more than 50% and is at least a year old). Watering is also unnecessary in normal cases during a hot & dry summer. Exceptions can be cases involving very thin greening layers (under 7cm) and steep roofs under 10cm exposed in southerly direction.

7 - Re-sowing and replanting of bare patches, refilling of substrate where necessary.

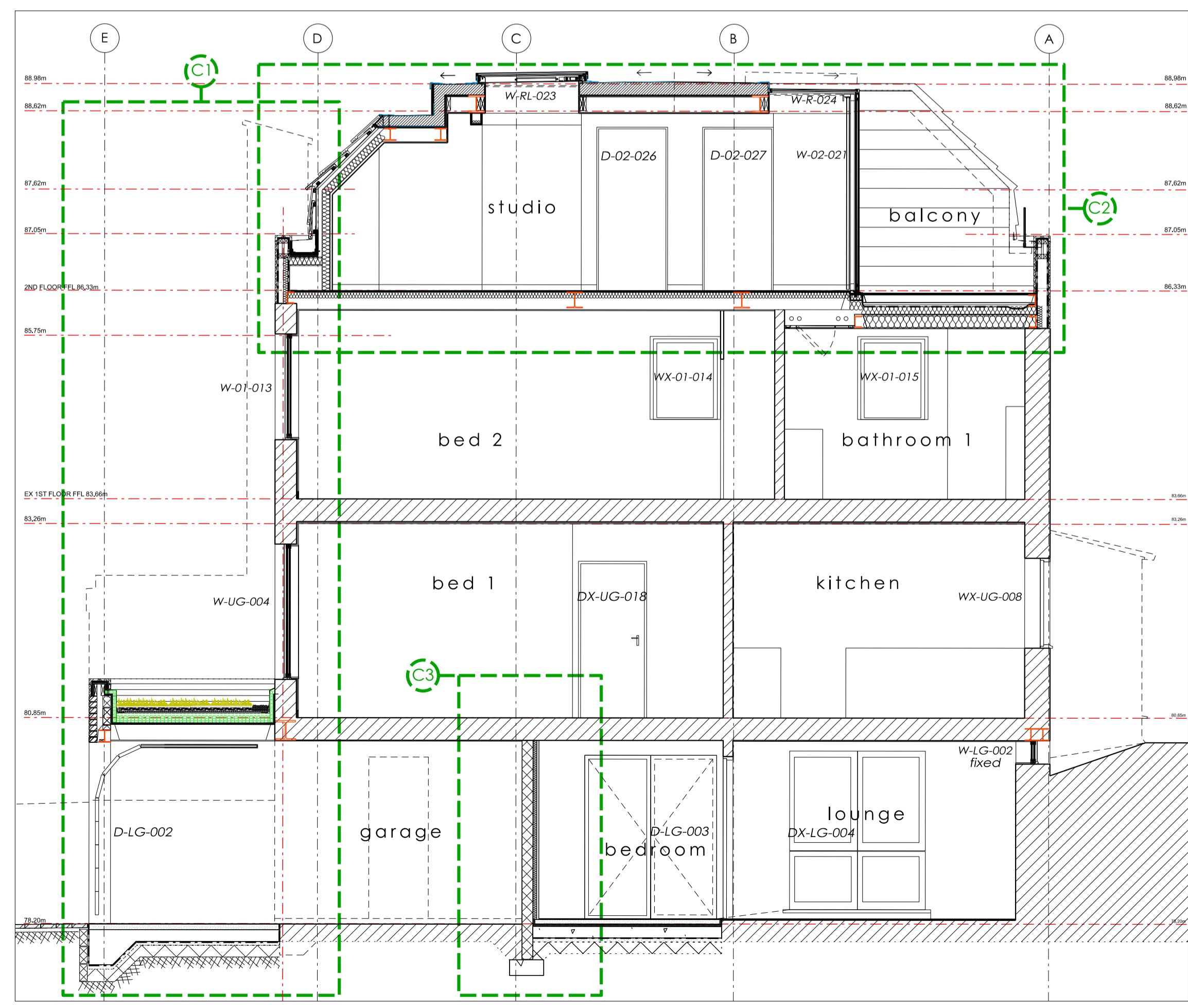
Root substrate may require refilling and setting of suitable plug plants or sowing of seed & sedum shoots if patches (approx larger than 0.5sq.m) are not covered or erosion has occurred in areas. The most suitable period for this is April/May and, possibly Septembe/October.

8 - Plant protection.

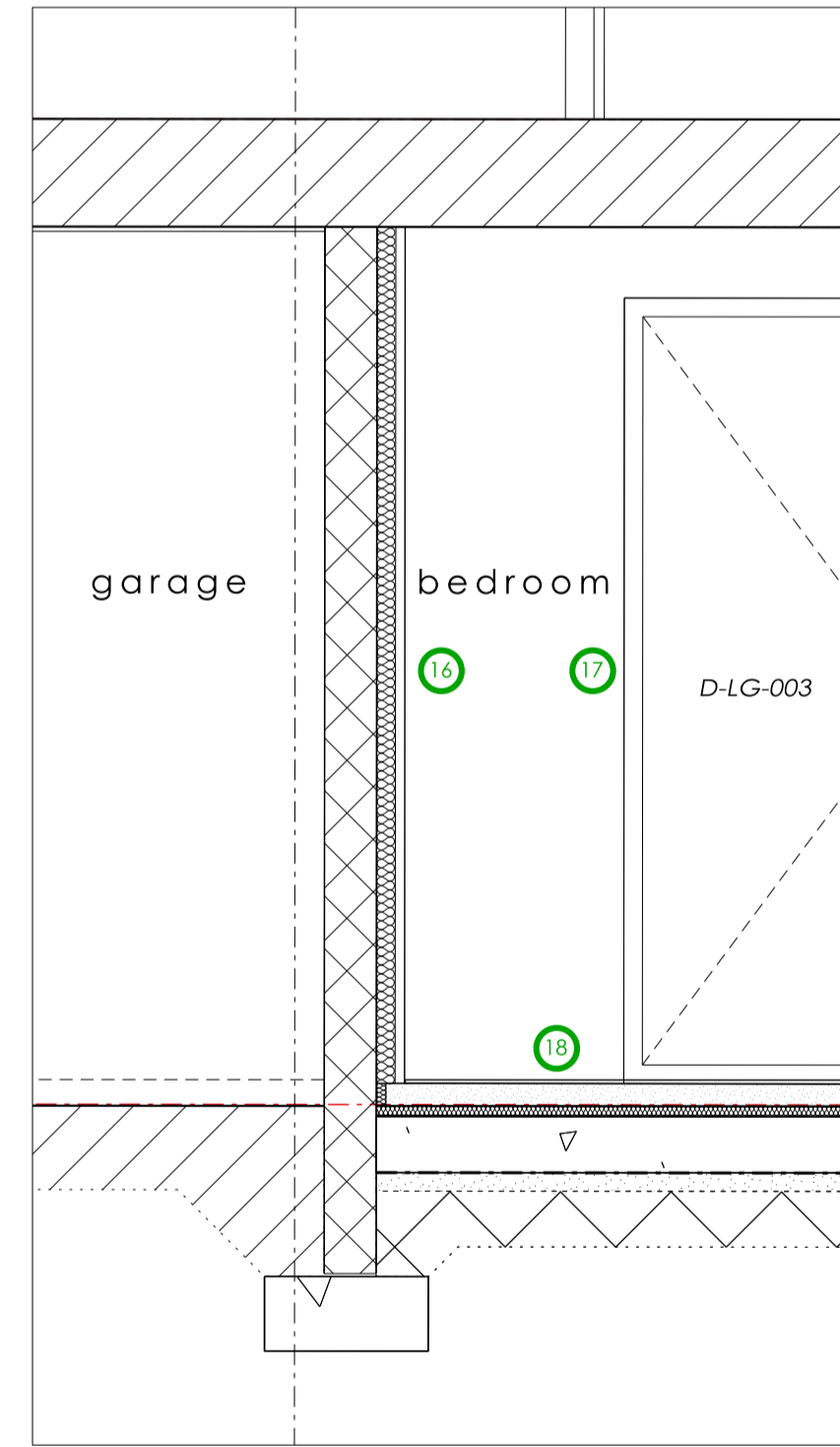
Normally not required but will advise following scheduled maintenance visits

PLANTING DENSITY
Sedum (A variety of 7 species) 20no/sq.m
Plug Plants - Intensive planting (shrubs and herbaceous mix) 3no/sq.m

1.SECTION C-C



4.DETAIL C/3



- 15 - 21mm toughened clear glass balustrade to 1100mm high. Pc m/s bracket returned & fixed to parapet structural upstand.
- 16 - Garage division wall to consist of: - 200mm thermolite shield blockwork external (garage side) leaf or similar approved for painted finish - 15mm air gap internally - 60mm gyproc thermalboard super internal leaf for painted finish - u value 0.28W/sq.m.k
- 17 - See drawing P17-25-03-007 for demolition
- 18 - Excavate existing concrete garage floor to new bedroom and construct 65mm sand cement screed on polythene separation layer on 70mm Kooltherm K103 insulation on 150mm 2000kg/sq.m C30D concrete floor on visqueen 1200g dpm (or similar approved) lapped with hy-load dpc. U-value 0.21W/sq.m.k
- 19 - See interior design layout for display/storage/ cup'd setting out & design. Remaining free wall areas to have 20 x 69mm s/w pencil round skirting for white painted finish with 20 x 10mm cable rebate
- 20 - Silent gliss curtain track system fixed to 25mm thick s/w support for white painted finish, concealed by discreet 100mm p/board pelmet downstand with 9mm MDF hidden back-board support
- 21 - Allow for 50x25mm PVC hidden conduit within 2nd floor ceilings for ceiling electrical conn's
- 22 - All structural steel providing support to walls & floors to have intumescent paint applied to provide 30 minutes fire resistance in accordance with Approved Document B & BS 9999.
- 23 - Structural steelwork supporting the roof only does not require fire protection



GENERAL NOTES:
PLANNING & BUILDING CONTROL MAY REQUEST ADDITIONAL INFORMATION CONTRACTOR, SUB-CONTRACTOR OR SUPPLIER TO BEGET ANY EROSION, DIMENSIONS, OR OTHER RELEVANT INFORMATION AND BE RESPONSIBLE FOR OBTAINING ANY CORRECT EXECUTION OF THE WORKS. ANY VARIATIONS TO THE DRAWINGS MUST OBTAIN PRIOR APPROVAL.
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METERAGE REQUIRED TO BE CONFIRMED BY MANUFACTURER WITH ALL MATERIALS TO BE SUITABLE FOR CONTRACT USE.
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NOTES:

- 1 Excavate existing external paving & lay new concrete garage floor (falls to outer edge & new Aco drain. New floor to match/merge ex garage floor. Sand cement screed on polythene separation layer on 150mm 2000kg/sq.m C30D concrete floor on visqueen 1200g dpm (or similar approved) lapped with hy-load dpc. Cardale automated large rib steel insulated sectional doors RAL 9007
- 2 New garage cavity wall to consist of 102mm external brickwork to match existing 100mm uninsulated cavity with 100mm blockwork internal leaf for painted finish. Linel over to S/Eng spec & details with cavity tray over.
- 3 New garage wall parapet level with ex window sill height. Parapet to have Euro-brick face with metal framework to match (07). Living flat roof build-up to garage to be coped (or similar) with extensive sedum mat & substrate with thermazone insulation & perimeter free drainage gravel border fitted onto timber frame substrate to S/Eng details. All in accordance with manufacturer's spec, prep & construction details. Weatherproof upstand flashing junction between new roof & existing ext cavity wall.
- 4 Suitable living roof plants - mat forming species = sedum/semperivivum - dry habitat perennials & ornamental grasses = Ruzbeckia/achillea/ameria/dianthus/helicotichon sempervivus/stipa tenuissima - bulbs = muscari/allium
- 5 Existing windows removed & replaced with new p/coated aluminium windows set back within existing opening. RAL colour 9007
- 6 All existing timber windows & doors to be inspected & all defective repaired, re-sealed between frame & structure with new seals to replace existing defective as required
- 7 New parapet upstand to be eurobrick V-Clad insulated rib carterboard with 20mm brick slip facings to match existing. Brick slip system returned horizontally instead of coping to form clean finish to top of parapet with waterproof underlayer & drain channel 'or cavity tray' at base to discharge any surplus water/moisture. Light gauge steel framed support with structure to S/Eng spec & details. V-Clad installed system weight from 32kg/sq.m
- 8 Mansard roof construction to consist of Redland Hollander clay pan tile - Red @ 45 deg pitch on kingspan rafter, 17 breathable membrane on s/w sarking board (with 2-3mm gaps), 50mm cavity above insulation, kooltherm K107 between timber rafters & 8% roof timber 47mm wide @ 600mm crs + 1% for noggins. Kooltherm K118 with 12.5mm p/board internally for 3mm skim & painted finish - U value 0.18W/sq.m.k
- 9 Automated pvc aluminium velux rooflights 1200 x 1200mm with velux automated solar blinds
- 10 Small single ply roof with 130mm SarmaTherm FIR G (bonded) to vapour check barrier on plywood decking supported on s/w roof joists to S/Eng spec & details with 12.5mm p/board & skim internal finish to 0.18W/sq.m.k
- 11 Pvc aluminium glazed sliding system with bespoke fixed glazed skyview panel overhead. Max U value = 0.16W/sq.m/k from Sunsquare
- 12 VG SILA siberian larch 'light reddish brown' to match floorboards to vertical wall face
- 13 VG SILA siberian larch light reddish brown timber floorboards to balcony on treated s/w floor joists suspended on galv joist hangers above single ply waterproof membrane with formed drainage channel towards outlet. Waterproof layer laid on rigid insulation boards to provide U value 0.18W/sq.m.k. Breather membrane separating layer to insulation with 12.5mm p/board & skim painted finish to u/s 1st floor ceiling
- 14 New 2nd floor construction to consist of s/w floor joists with engineered oak finish. See finishes schedule for details. Acoustic separating layer with p/board & skim finish to u/side

REV	DATE	BY	DETAIL
T1	07.03.19	GH	TENDER
	03.12.19		GREEN ROOF DETAILS

TENDER ISSUE

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DRAWING TITLE
PROPOSED SECTION C - C

CLIENT
MR M. CLACK & MS L. FRY

PROJECT NO.
P17-025

DRAWING NO.
03-04-003A

DRAWN BY
GH

DATE
07.12.2018

SCALE
A1@1:50/1:20

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