

Royal London UK Real Estate
Fund

Medius House

Stage 4 Access and Inclusion
Compliance Status

268808-ARUP-RP-xx-xx-00001

R0 | 19 August 2019

This report takes into account the particular instructions and requirements of our client.

It is not intended for and should not be relied upon by any third party and no responsibility is undertaken to any third party.

Job number 268808-00

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1 Introduction

Arup Accessible Environments (AAE) were appointed by Royal London UK Real Estate Fund to provide access consultancy services for Medius House, a part retained building in Central London with ground floor retail and 18 residential units on the upper floors.

The conditions from the planning permission 2017/0618/P require that:

- (Condition 20): Wheelchair units
Prior to commencement of the development other than demolition, site clearance and preparation works, full details of unit SR-202 demonstrating compliance with Building Regulations Part M(4) (2b) (where possible under existing constraints of the building envelope) shall be submitted to and approved in writing by the Local Planning Authority. The subsequently approved layout, features and facilities shall therefore be provided in their entirety prior to the first occupation of the unit.
- (Condition 21): Compliance with Building Regulations Part M4(2)
Prior to commencement of the development other than demolition, site clearance and preparation works, full details of units SR-101, SR-102, SR-103, SR-201, SR-301, SR-302, SR-303, SR 401, SR-402, IR-501, IR-502, IR-503, IR-601, IR-602, IR-603, IR-701 and IR-702 demonstrating compliance with Building Regulations Part M4 (2) of the building regulations (where possible under existing constraints of the building envelope) shall be submitted to and approved in writing by the Local Planning Authority. The subsequently approved layouts, features and facilities shall therefore be provided in their entirety prior to the first occupation of the relevant unit.

The following schedules in Section 2 and 3 of this statement have been provided by Arup in August 2019 to facilitate coordination with the design team (APT) and the Local Planning Authority, to discharge the above two conditions against Building Regulations Part M4(2) and (3).

2 M4 (2) – Category 2 Units – Accessible and Adaptable Dwellings

Requirement from Part M of Schedule 1 to the Building Regulations 2010 (as amended):

Requirement	
<i>Optional requirement</i>	<i>Limits on application</i>
Part M access to and use of buildings	
Category 2 – accessible and adaptable dwellings	
M4(2) optional requirement	
(1) Reasonable provision must be made for people to— (a) gain access to; and (b) use, the dwelling and its facilities. (2) The provision made must be sufficient to— (a) meet the needs of occupants with differing needs, including some older or disabled people; and (b) to allow adaptation of the dwelling to meet the changing needs of occupants over time.	Optional requirement M4(2)— (a) may apply only in relation to a dwelling that is erected; (b) will apply in substitution for requirement M4(1); (c) does not apply where optional requirement M4(3) applies; (d) does not apply to any part of a building that is used solely to enable the building or any service or fitting in the building to be inspected, repaired or maintained.

M4(2) will be met when a new dwelling makes reasonable provision for most people to access the dwelling and incorporates features that make it potentially suitable for a wide range of occupants, including older people, those with reduced mobility and some wheelchair users. Reasonable provision is made if the dwelling complies with all of the following:

- a. Within the curtilage of the dwelling or the building containing the dwelling, it is possible to approach and gain step-free access to the dwelling and to any associated parking space and communal facilities intended for the occupants to use.
- b. There is step-free access to the WC and other accommodation within the entrance storey, and to any associated private outdoor space directly connected to the entrance storey.
- c. A wide range of people, including older and disabled people and some wheelchair users, can use the accommodation and its sanitary facilities.
- d. Features are provided to enable common adaptations to be carried out in future to increase the accessibility and functionality of the dwelling.
- e. Wall-mounted switches, socket outlets and other controls are reasonably accessible to people who have reduced reach.

When providing the minimum dimensions for access recommended within the guidance documents, consideration must be given to the proposed or intended finishes. Finishes can reduce the overall dimension and detrimentally affect access to and from spaces for disabled people – for example, the reduction of corridor clear widths after plasterboards and wall finishes have been applied.

Failure to consider this within the design may result in non-compliance with statutory regulations.

Category 2 – Accessible and adaptable dwellings criteria Section 2A: Approach to the dwelling	Compliance	Notes
<p>1. Approach Routes General</p> <p>An approach route for a Category 2 dwelling should comply with all of the following:</p> <ul style="list-style-type: none"> a. The approach route is level, gently sloping or, where necessary ramped. b. Private parts of the approach route have a minimum clear width of 900mm or 750mm where there are localised obstructions. c. Communal parts of the approach route (except communal stairs) have a minimum clear width of 1200mm or 1050mm where there are localised obstructions. d. Any localised obstruction does not occur opposite or close to a doorway, or at a change of direction, and is no longer than 2m in length. e. All external parts of the approach route have a suitable ground surface. f. Every gate/gateway along the approach route has both: <ul style="list-style-type: none"> - A minimum clear opening width of 850mm - A 300mm nib to the leading edge of the gate. 	<p>Compliant</p>	<p>The approach routes have been designed to the requirements set out in Clause 1.</p>
<p>2. Approach Routes External and internal ramps forming part of an approach route</p> <p>A ramped approach should comply with all of the following:</p> <ul style="list-style-type: none"> a. The gradient is between 1:20 and 1:12 b. The length of each flight at a given gradient meets the provisions of Diagram 2.1. c. Flights within a private approach route have a minimum clear width of 900mm. d. Flights within a communal approach route have a minimum clear width of 1200mm. e. Every flight has a top and bottom landing. f. An intermediate landing is provided between individual flights and at any change of direction. g. Every landing is a minimum of 1200mm long, clear of any door/gate swings. 	<p>Not applicable</p>	<p>The approach routes for the site are not ramped.</p>

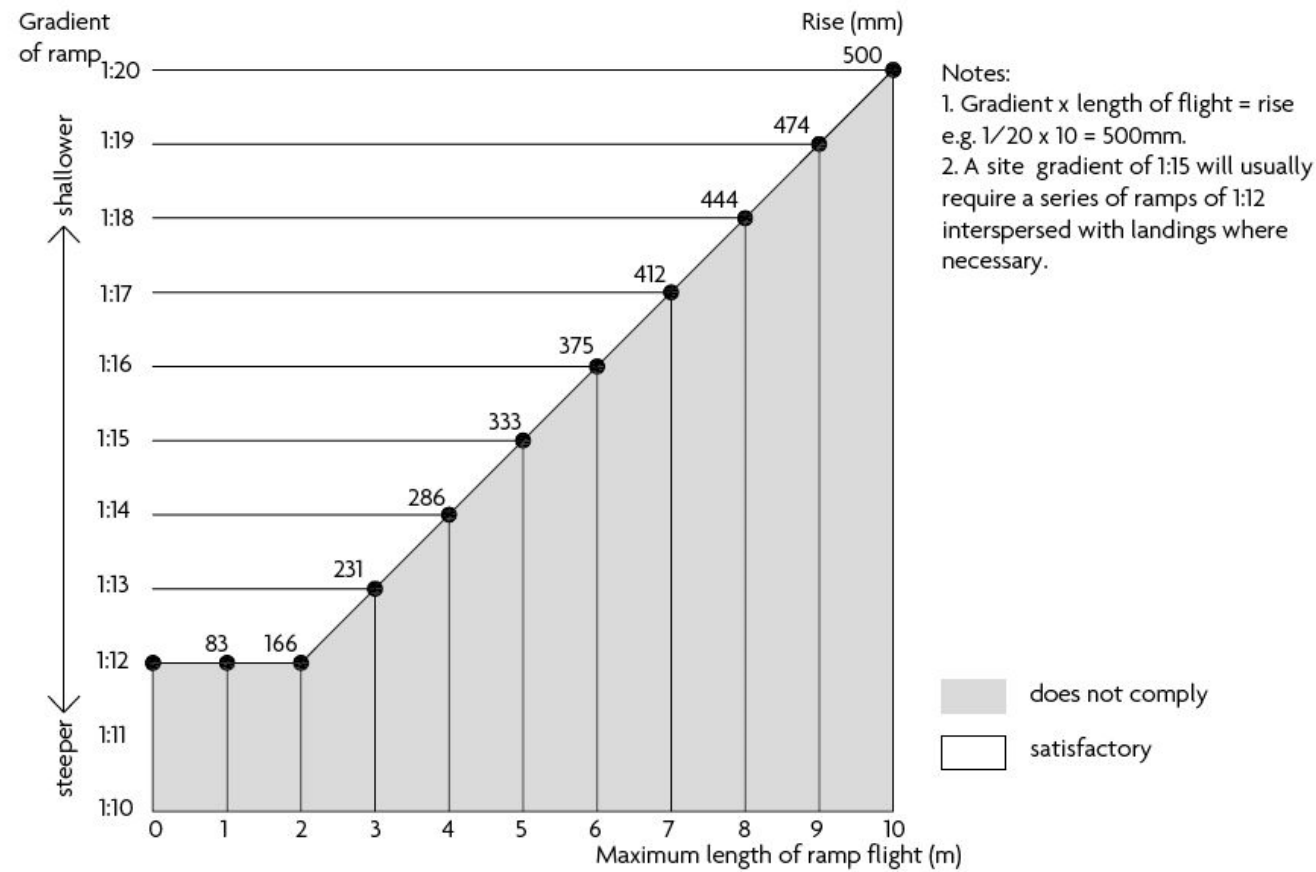


Diagram 2.1 Maximum length of ramp at a given gradient

3. Approach Routes External steps forming part of an additional route

To enable a wide range of people to use steps safely, a stepped approach should comply with all of the following:

- a. Steps are uniform with a rise of between 150mm and 170mm and a going of between 280mm and 425mm (for tapered steps measured at a point 270mm from the 'inside' (narrow end) of the step).
- b. Steps have suitable tread nosings.
- c. No individual flight has a rise of more than 1800mm between landings.
- d. Every flight has a minimum clear width of 900mm.
- e. Top and bottom and, where necessary, intermediate landings, are provided and every landing has a minimum length of 900mm.
- f. Every flight with 3 or more risers has at least one grippable handrail (two where the flight is wider than 1000mm) 850-1000mm above pitchline, extending 300mm beyond top and bottom nosings.

Not applicable

There are no stepped approach routes for the site.

4. Parking Space

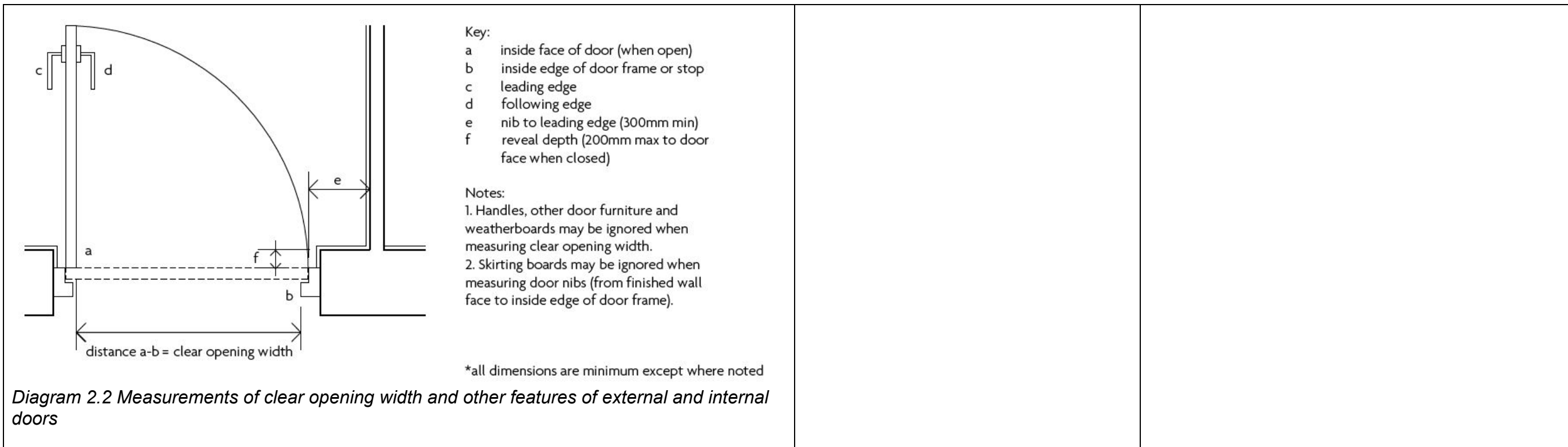
Where a parking space is provided for the dwelling it should comply with all of the following:

- a. Where the parking is within the private curtilage of the dwelling (but not within a carport or garage) at least one space is a standard parking bay that can be widened to 3.3m.

Not applicable

The scheme is car free for the residential aspects of the site.

<ul style="list-style-type: none"> b. Where communal parking is provided to blocks of flats, at least one standard parking bay is provided close to the communal entrance of each core of the block (or to the lift core where 900mm to one side and a dropped kerb in accordance with 5.d. c. Access between the parking bay and the principal or private entrance or, where necessary, the alternative private entrance to the dwelling is step free. d. The parking space is level or, where unavoidable, gently sloping. e. The gradient is as shallow as the site permits. f. The parking space has a suitable ground surface. 		
<p>5. Drop-off point Where a drop-off point is provided for the dwelling, it should comply with all of the following:</p> <ul style="list-style-type: none"> a. It is located close to the principal communal entrance of the building containing the dwelling. b. It is level or, where unavoidable, gently sloping. c. It has a suitable ground surface. d. Where a dropped kerb is provided it is a minimum of 1000mm wide, reasonably flush with the adjoining ground and has a maximum gradient of 1:12. 	<p>Not applicable.</p>	<p>No drop-off points are proposed.</p>
<p>6. Communal entrances The principal communal entrance door of the building containing the dwelling, should comply with all of the following:</p> <ul style="list-style-type: none"> a. There is a level landing minimum of 1500mm wide by 1500mm long directly outside the entrance clear of any door swings. b. The landing is covered to a minimum width of 1200mm and depth of 900mm. c. Lighting is provided which uses fully diffused luminaires activated automatically by dusk to dawn timer or motion detector. d. The entrance door/gate has a minimum clear opening width of 850mm, when measured in accordance with Diagram 2.2. e. Where there are double doors/gates, the main (or leading) leaf provides the required minimum clear opening width. f. A minimum 300mm nib is provided to the leading edge of the door/gate and the extra width created by this nib is maintained for a minimum distance of 1200mm beyond it. g. The reveal on the leading side of the door (usually inside) has a maximum depth of 200mm. h. The threshold is an accessible threshold (maximum 15mm). i. Where there is a lobby or porch, the doors are a minimum of 1500mm apart and there is a minimum of 1500mm between door swings. j. The ground surface (or entrance flooring) does not impede wheelchair movement. k. Door entry controls, where provided, are mounted 900mm-1000mm above finished ground level, and at least 300mm away from any projecting corner. <p>Note: Every communal door/gate along the approach route should comply with provisions d – k above.</p>	<p>Partially compliant – dispensation required</p>	<p>The entrance door has been designed in accordance with the recommendations set out in Clause 6. This is with the exception of the main entrance and the terrace door, in relation to item g. The 200mm reveal has been exceeded, as a result of the existing façade retention and additional requirements relating to fire and structures. This requires agreement with the local authority as a dispensation. It is not possible to automate these doors, as this would compromise the security of this area (increasing the risk of tailgating in this busy, central London location).</p> <p>Weather protection for the entrance is provided by means of the overhang of the existing reveal, which provides an area of approximately 900mm by 1200mm, as recommended.</p> <p>The entrance and the courtyard entrance doors will be glazed. It has been agreed between APT and MLM already that the frame around the doors provide sufficient indication of the presence of the doors, and thus manifestations are not required.</p> <p>Other details, including door entry controls (where provided) will be developed in accordance with Clause 6 in later design stages.</p>



7. Communal Lifts
A wide range of people, including accompanied wheelchair users, should be able to access and use the lift. Every passenger lift that gives access to the dwelling should comply with all of the following:

- Clear landing minimum 1500mm by 1500mm directly in front of the lift door at every floor level.
- The lift is equivalent to or meets the requirements of BS EN 81-70:2003 for a type 2 lift.
- Minimum clear door opening width of 800mm.
- Minimum internal car dimensions of 1100mm wide by 1400 deep.
- Landing a car controls between 900mm and 1200mm above floor, and 400mm (measured horizontally) from inside wall.
- Dwell time of 5 seconds before doors begin to close after they are fully open.

Partially compliant - dispensation required

As per the vertical transportation strategy, the lift controls and equipment will be designed, installed and set to work in accordance with the requirements of EN81 and accessibility requirements.

The main lift is a fire fighting lift. This will:

- Be provided in accordance with BS EN 81-72
- Be used as an evacuation lift, prior to the fire service taking control of the lift, allowing step-free egress

The platform lift at the terrace will:

- Be called via a single push button and travel to the destination floor via a hold to run button within the lift.
- Have a telephone alarm communication system, which will incorporate a direct link to notify the lift manufacturer's 24 hour call centre helpline in the event of the lift alarm being activated.
- Be supported in the event of a power failure to the building utility power supply, i.e. UKPN, via a separate battery back supply.

		<p>This will allow occupants at level 8 to get to level 7 in the event of a power failure.</p> <ul style="list-style-type: none"> • Be designed with internal car dimensions of 1100mm by 1400mm. <p>It is not possible to include sliding doors for the platform lift within the currently designed shaft. To minimise the risk of collision between people using the stair / people waiting for the lift, the lift will include glazing to maximise visibility. This is considered to be an acceptable approach, given the limited footfall in this area.</p>
<p>8. Communal stairs The principal communal stairs that give access to the dwelling should comply with the requirements of Part K for a general access stair.</p>	<p>Compliant</p>	<p>Handrails will be provided on either side of stair ensuring clear width of 1000mm is provided between handrails.</p> <p>All stairs will be designed to Approved Document K.</p>

Category 2 – Accessible and adaptable dwellings criteria Section 2B: Private entrances and spaces within the dwelling	Compliance	Notes
<p>9. Private Entrances The principal private entrance to the dwelling (or the alternative entrance where the approach route is not to the principal private entrance) should comply with all of the following:</p> <ol style="list-style-type: none"> There is a level external landing with a minimum width and depth of 1200mm. The landing is covered for a minimum width of 900mm and a minimum depth of 600mm. Lighting is provided which uses fully diffused luminaires activated automatically by dusk to dawn timer or motion detector. The entrance door/gate has a minimum clear opening width of 850mm, when measured in accordance with Diagram 2.2. Where there are double doors/gates, the main (or leading) leaf provides the required minimum clear opening width. A minimum 300mm nib is provided to the leading edge of the door and the extra width created by this nib is maintained for a minimum distance of 1200mm beyond it. The reveal on the leading side of the door (usually inside) has a maximum depth of 200mm. The threshold is an accessible threshold (maximum 15mm). Where there is a lobby or porch, the doors are a minimum of 1500mm apart and there is a minimum of 1500mm between door swings. <p>Note: All other external doors – including doors to and from a private garden, balcony, terrace, garage, carport, conservatory or storage area that is integral with, or connected to, the dwelling should comply with provisions d – i above.</p>	<p>Compliant</p>	<p>The entrances have been designed in accordance with clause 9.</p>
<p>10. Internal door and corridor widths To facilitate movement into, and between, rooms throughout the dwelling, doors and corridors should comply with all of the following:</p> <ol style="list-style-type: none"> The minimum clear width of every hall or landing is 900mm. Any localised obstruction, such as a radiator, does not occur opposite or close to a doorway or a change of direction, and is no longer than 2m in length; and the corridor is not reduced below a minimum 750mm width at any point. Every door has a minimum clear opening width as set out in Table 2.1. A minimum 300mm nib is provided to the leading edge of every door within the entrance storey. <p>Note 1: The provisions above do not apply to</p> <ul style="list-style-type: none"> Cupboards unless large enough to be entered En-suite bathrooms or showers that are additional to the provisions of 2.26 to 2.29. <p>Note 2: Double doors effectively provide nibs where each leaf is at least 300mm wide.</p> <p>Note 3: A standard 826mm door leaf up to 44mm thick will be deemed to satisfy a requirement for a clear opening width of 775mm.</p>	<p>Partially compliant – dispensation required</p>	<p>The requirements of Clause 10 have been met, including door and corridor widths and provision of nibs (which may require relocation of non-fixed items of furniture). <i>This is with the exception of IR-601 and IR-701, where there is a pinchpoint of 800mm, but is unavoidable as a result of changes in requirements for fire and structures. However, the 800mm width is restricted to a length of less than 2000mm, and will allow passage of wheelchair users (i.e. it will be the same width as a door opening) and so it is considered that the detrimental impact will be minimal.</i></p> <p><i>This proposed dispensation requires agreement with Camden.</i></p>

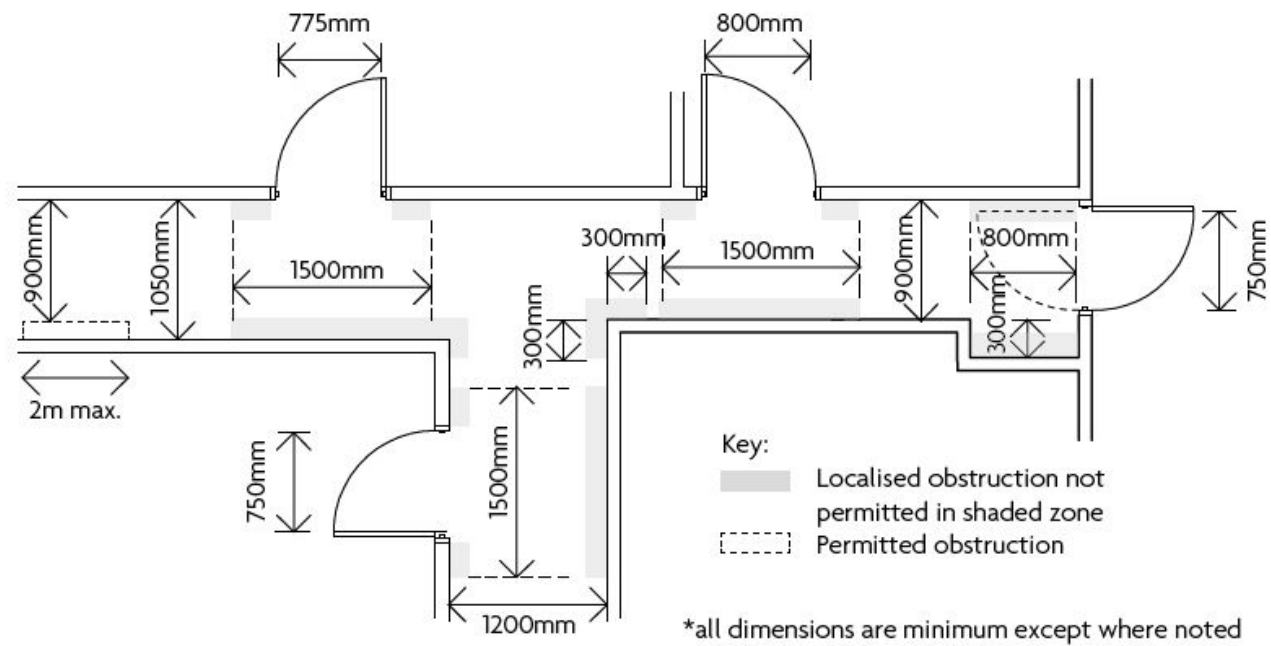


Diagram 2.3 Minimum door and corridor widths and restrictions on localised obstructions

INTERNAL DWELLING

Minimum clear opening width	Corridor clear passageway width
750mm or wider	900mm (when approached head on)
750mm	1200mm (when approached is not head on)
775mm	1050mm (when approach is not head on)
800mm	900mm (when approach is not head on)

11. Private stairs and changes of level within the dwelling

To allow people to move between storeys, and to allow a stair-lift to be fitted to the stairs from the entrance storey to the story above (or the storey below where this contains the bathroom required by the provisions of paragraph 2.29), stairs should comply with all of the following:

- a. Access to all rooms and facilities within the entrance storey is step-free.
- b. Level changes within every other storey are avoided where possible.
- c. The stair from the entrance storey to the storey above the pitch line of the treads (ignoring any newel post).
- d. All stairs meet the provisions of Part K for private stairs.

Compliant

The requirements of Clause 11 have been met. A space for a through the floor lift has also been identified, for future step-free access within the duplex units.

12. Living, kitchen and eating areas

To provide usable living spaces and easy, step-free access between a living area, a WC and the principal private entrance, key accommodation should comply with all of the following:

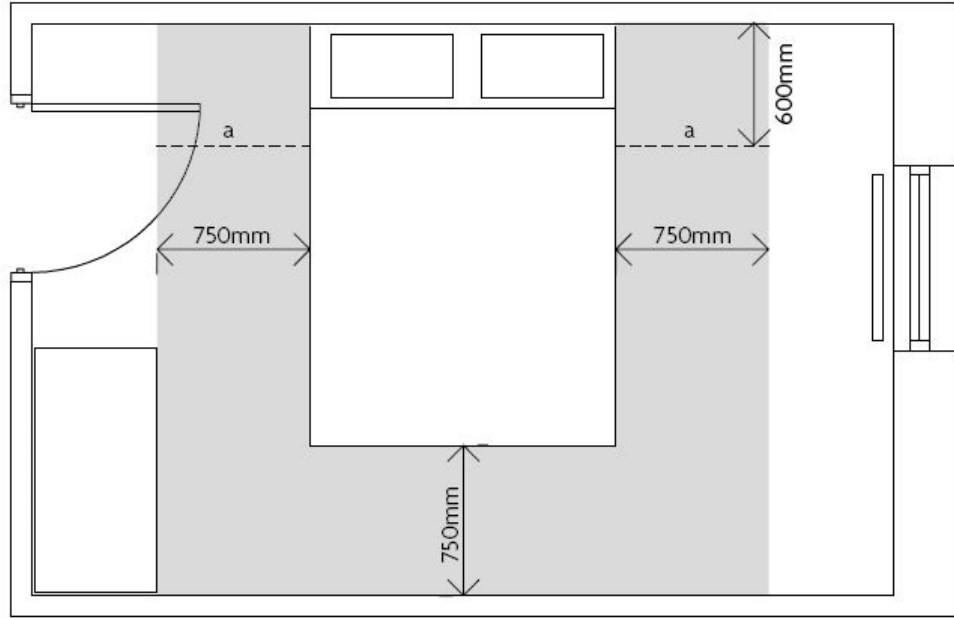
- a. Within the entrance storey there is a living area (which may be a living room, dining room or a combined kitchen and dining room).
- b. A minimum 1200mm clear space is provided in front of and between all kitchen units and appliances.

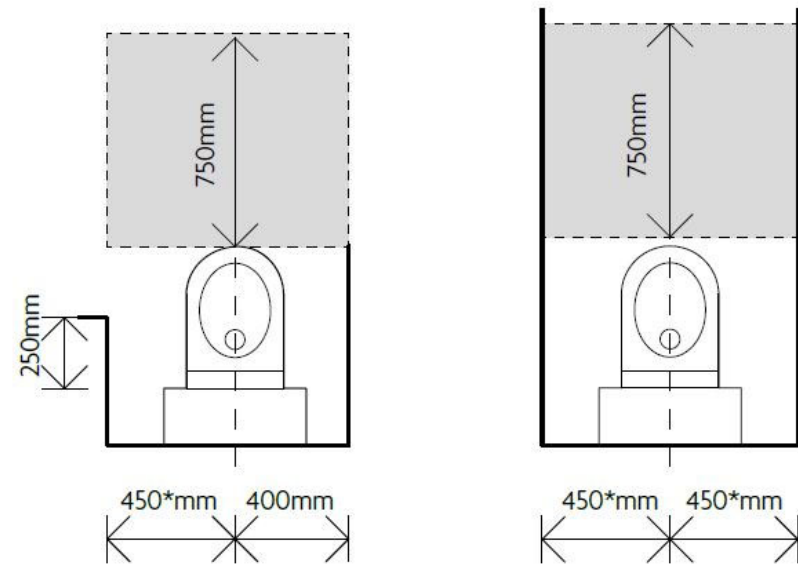
Partially compliant – dispensation required.

As a result of the retained façade, all glazing will start at 853-908mm from the floor (with the exception of units IR-502, IR-503, IR-601 and IR-602, which are new build and can be aligned to meet the 850mm from FFL recommendation. A dispensation is sought.

It is noted that toughened and laminated glass will be specified, and that all openable cills are higher

<p>c. Glazing to the principal window of the principal living area starts a maximum of 850mm above floor level or at the minimum height necessary to comply with the requirements of Part K for guarding to windows.</p>		<p>than 800mm from FFL and thus does not constitute a fall hazard according to Approved Document K.</p> <p>Windows (with the exception of the fire rated windows, which will not be accessible) will be cleaned by residents, and windows will open to the inside, providing safe access to cleaning.</p> <p>The kitchens and living spaces have otherwise been designed in accordance with Clause 12.</p>
<p>13. Bedrooms To enable a wide range of people to access and use them, bedrooms should comply with all of the following:</p> <ol style="list-style-type: none"> Every bedroom – clear access route minimum 750mm wide from doorway to window. At least one double bedroom (the principal bedroom) – clear access zone minimum 750mm wide to both sides and the foot of the bed. Every other double bedroom – clear access zone minimum 750mm wide to one side and the foot of the bed. All single and twin bedrooms – clear access zone minimum 750mm wide to one side of each bed. It can be demonstrated (for example by providing dimensioned bedroom layouts, similar to example in Diagram) that the provisions above can be achieved. <p>Note: For the purpose of demonstrating compliance with these provisions, beds should be of the size set out in the furniture schedule in the Appendix.</p>	<p>Partially compliant – dispensation required</p>	<ul style="list-style-type: none"> There is a slight obstruction caused by the existing structure for some of the units, but this can be alleviated by moving the bed over towards the door and will be subject to resident fit out. For the L01 3B5P, the main double bedroom only achieves 750mm to one side and to the end of the bed and this cannot be amended to provide the 750mm to the other side. This is as a result of the retention of the existing façade, and the fire requirements relating to the structure. There is a second bedroom in this apartment, which is a twin bedroom, which is compliant. On this basis, a dispensation is sought. <p>All other spaces are compliant.</p>

 <p>Notes:</p> <ol style="list-style-type: none"> 1. Clear access required to window and no localised obstructions intruding on access zone. 2. Bedside furniture permitted in zone 'a'. 3. Bed size in accordance with the furniture schedule in Appendix D. <p>*all dimensions are minimum except where noted</p> <p><i>Clear access zones to principal bedroom</i></p>		
<p>14. WC facilities on the entrance storey To provide step-free access to a WC that is suitable and convenient for some wheelchair users, and, where reasonable, to make provision for showering, dwellings should comply with all of the following:</p> <ol style="list-style-type: none"> Every dwelling has a room within the entrance storey with a WC and basin (which may be a WC/cloakroom or a bathroom). In a two or three storey dwelling with one or two bedrooms, the WC (together with its associated clear access zone) meets the provisions of Diagram 1.3 and the basin does not impede access to the WC. In a two or three storey dwelling with three or more bedrooms, the room with the WC and basin also provides an installed level access shower or a potential level access shower, and the shower, WC and basin (together with their associated clear access zones) meet the provisions of Diagram 2.5. Examples of compliant WC layouts are shown in Diagram 2.6. The door opens outwards. 	<p>Compliant</p>	<p>All WC facilities have been designed in accordance with Clause 14.</p>

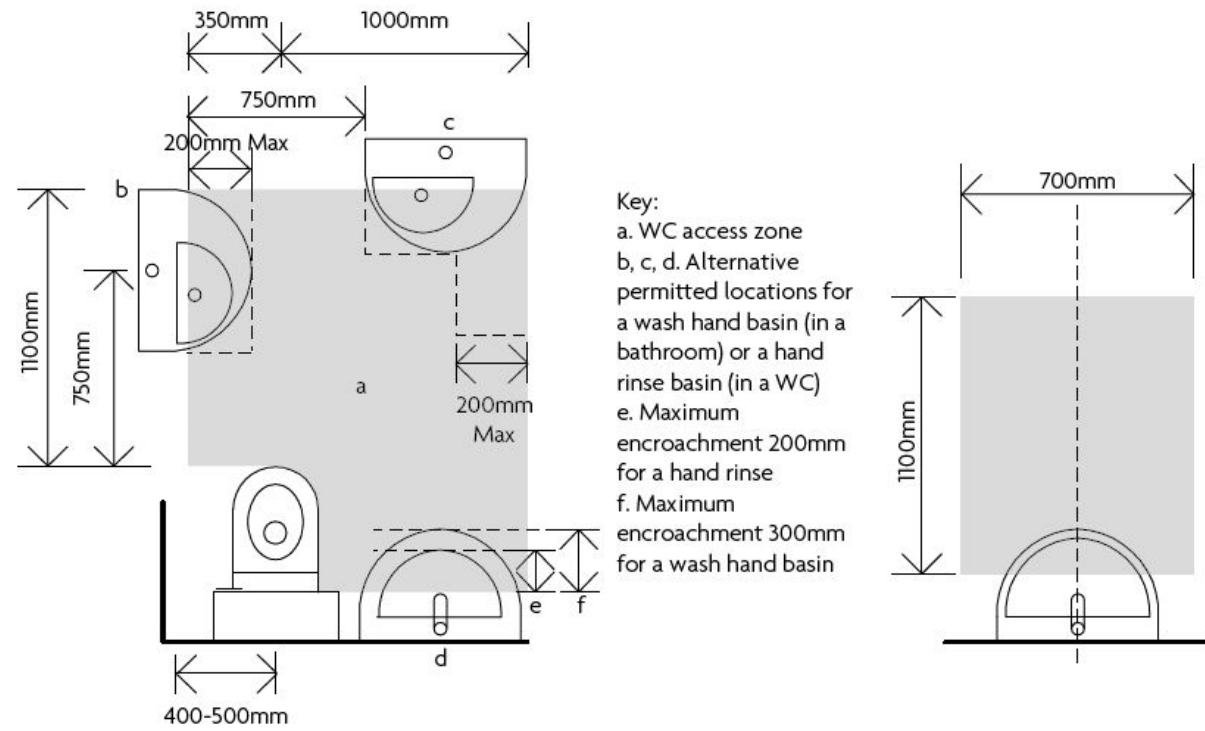


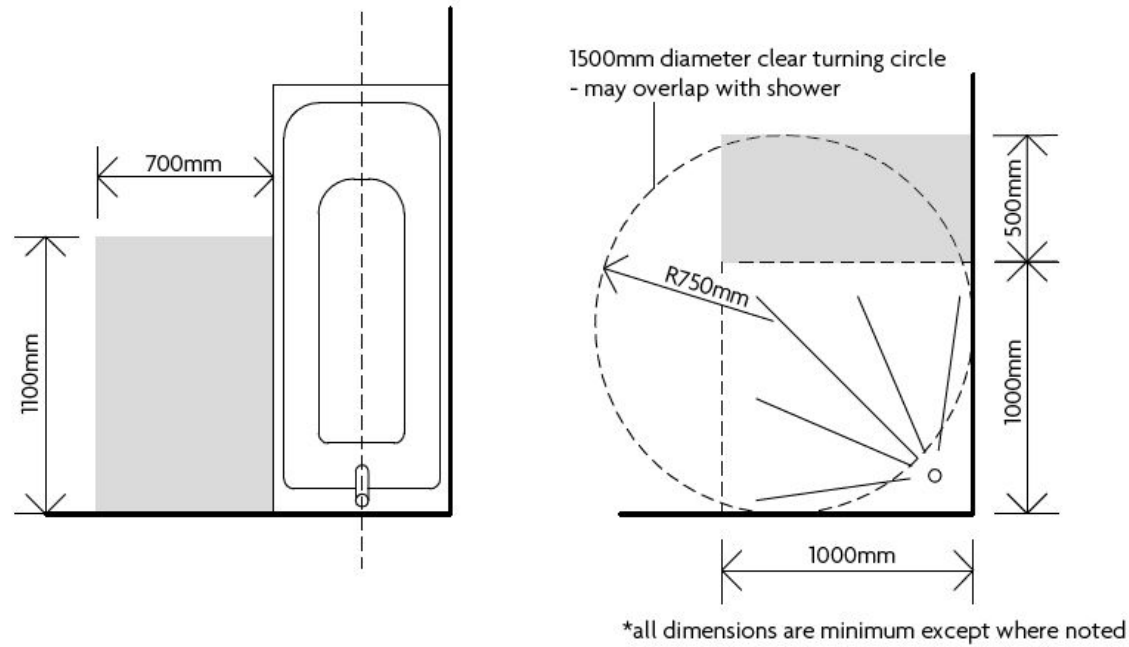
Notes:
 1. All dimensions minimum unless otherwise stated.
 2. * denotes minimum but 500mm preferred.
 3. Basins should not project into access zones in such a way as to impede access.
 4. To enable transfer the wheelchair should be able to approach within 400mm of the front of the WC.

Clear access for **oblique transfer**

Clear access for **frontal transfer**

Diagram 1.3





Notes:

1. Sizes of fittings are minima based on the furniture schedule in Appendix D. Other larger sizes may affect the overall size of a bathroom or WC/cloakroom.
2. Access zones may overlap except where noted.
3. The access zone to the basin may extend under it as far as any fixed obstruction, such as a vanity unit, pedestal or trap.
4. In WC/cloakrooms the basin and/or WC may encroach into the shower space but this should be minimised.
5. Any radiator or towel rail should be clear of all access zones.

Diagram 2.5 Sanitary fittings, associated clear access zones and permitted encroachment of basins

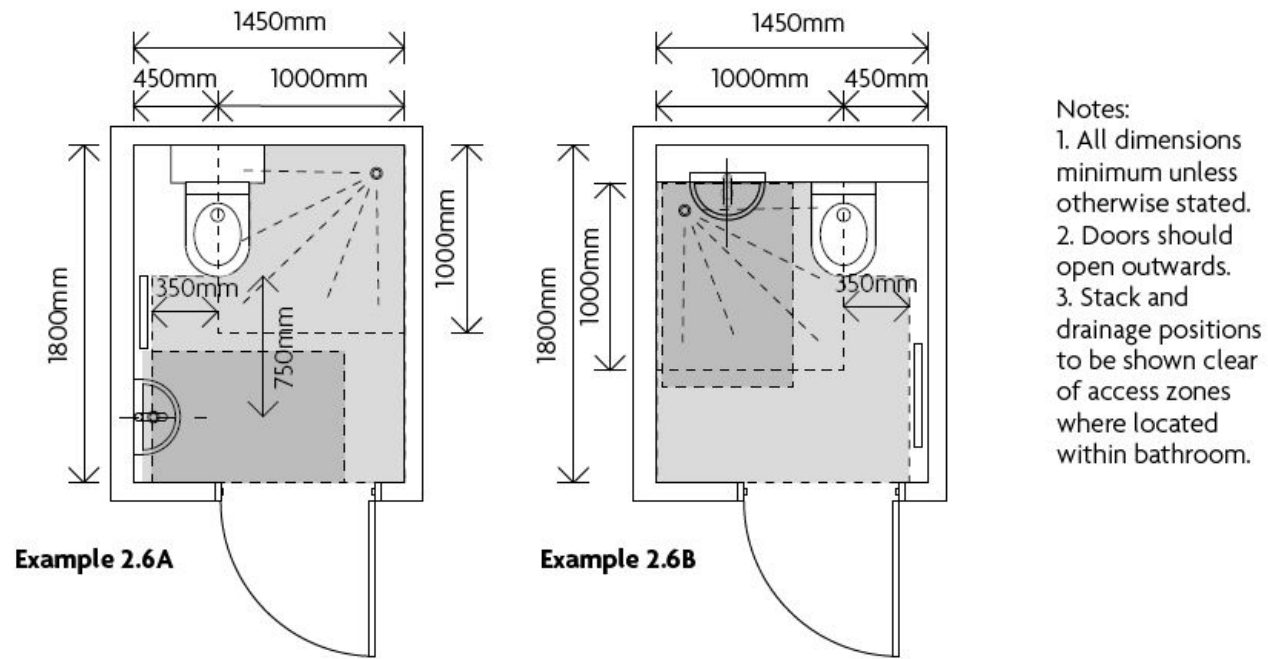
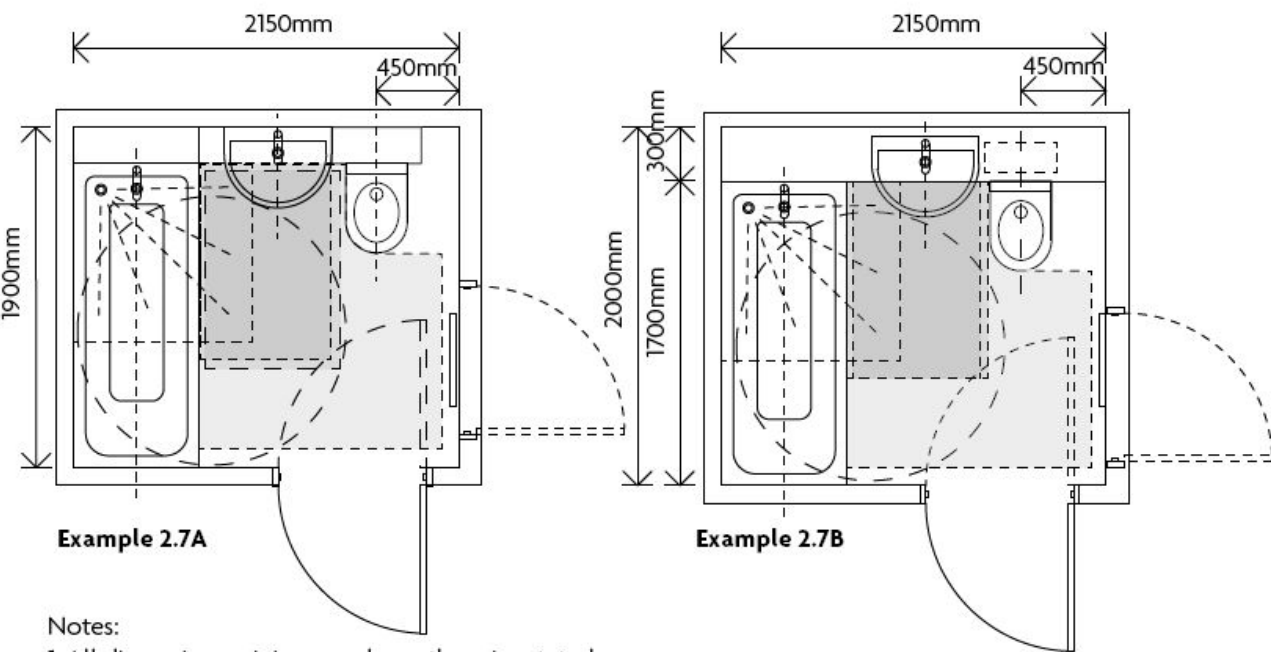


Diagram 2.6 Examples of WC/cloakroom layouts

<p>Note: Where the dwelling provides both an accessible bathroom with a WC and a WC/cloakroom within the same storey, the WC/cloakroom may comply with the provisions of Diagram 1.3.</p>		
<p>15. Bathrooms To provide convenient access to a suitable bathroom, the dwelling should comply with all of the following:</p> <ol style="list-style-type: none"> Every dwelling has a bathroom that contains a WC, a basin and a bath, that is located on the same floor as the double bedroom (main bedroom described previously). The WC, basin and bath (together with their associated clear access zones) meet the provisions of Diagram 2.5. Examples of bathroom layouts are shown in Diagram 2.7. Provision for a potential level access shower is made within the bathroom if not provided elsewhere within the dwelling  <p>Example 2.7A</p> <p>Example 2.7B</p> <p>Notes: 1. All dimensions minimum unless otherwise stated. 2. Stack and drainage positions to be shown clear of access zones where located within bathroom.</p> <p><i>Diagram 2.7 Examples of Category 2 bathrooms</i></p>	<p>Partially compliant – dispensation required</p>	<p>All bathrooms have been designed in accordance with Clause 15, achieving the key transfer spaces for the toilet, bath and sink.</p> <p>This is with the exception of IR-602, which – as a result of the shape of this apartment, has the toilet between the bath and sink, instead of the sink between bath and toilet (thus acting as a shared transfer space). It cannot be reconfigured, as the share of the bathroom would result in access into the space being obstructed by the toilet. However, if future adaptation is required for this apartment, this bathroom would be accessible as a wetroom. On this basis, a dispensation is sought.</p>
<p>16. Services and controls To assist people who have reduced reach, services and controls should comply with all of the following:</p> <ol style="list-style-type: none"> Consumer units are mounted so that the switches are 1350-1450mm above floor level. Switches, sockets, stopcocks and controls have their centre line 450-1200mm above floor level, unless the window fitted with a remote opening device that is within this height range. 	<p>Compliant</p>	<p>Controls, where currently specified, will be designed within the ranges specified in clause 16. These will otherwise be picked up in Stage 5 of the project.</p> <p>Windows (with the exception of the fire rated windows, which will not be accessible) will be</p>

<p>c. The handle to at least one window in the principal living area is located between 450mm and 1200mm above floor level, unless the window is fitted with a remote opening device that is within this height range.</p> <p>d. Handles to all other windows are located between 450mm and 1400mm above floor level, unless fitted with a remote opening device that is within this height range.</p> <p>e. Either:</p> <ul style="list-style-type: none">- Boiler timer controls and thermostats are mounted between 900mm and 1200mm above finished floor level on the boiler- Separate controllers (wired or wireless) are mounted elsewhere in an accessible location within the same height range. <p>Note: Controls that are part of a radiator or cooker hood are exempt from these provisions.</p>		<p>cleaned by residents, and windows will open to the inside, providing safe access to cleaning.</p>
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3 M4 (3) – Category 3 Units – Wheelchair User Dwellings

Requirement from Part M of Schedule 1 to the Building Regulations 2010:

Requirement	
<i>Optional requirement</i>	<i>Limits on application</i>
Category 3 – wheelchair user dwellings	
M4(3) optional requirement	
(1) Reasonable provision must be made for people to— (a) gain access to, and (b) use, the dwelling and its facilities. (2) The provision made must be sufficient to— (a) allow simple adaptation of the dwelling to meet the needs of occupants who use wheelchairs; or (b) meet the needs of occupants who use wheelchairs.	Optional requirement M4(3)— (a) may apply only in relation to a dwelling that is erected; (b) will apply in substitution for requirement M4(1); (c) does not apply where optional requirement M4(2) applies; (d) does not apply to any part of a building that is used solely to enable the building or any service or fitting in the building to be inspected, repaired or maintained. Optional requirement M4(3) (2)(b) applies only where the planning permission under which the building work is carried out specifies that it shall be complied with.

M4(3) will be met when a new dwelling makes reasonable provision, either at completion or at a point following completion, for a wheelchair user to live in the dwelling and use any associated private outdoor space, parking and communal facilities that may be provided for the use of the occupants. Reasonable provision is made if the dwelling complies with all of the following:

- a. Within the curtilage of the dwelling or the building containing the dwelling, a wheelchair user can approach and gain step-free access to every private entrance to the dwelling and to every associated private outdoor space, parking space and communal facility for occupants' use.
- b. Access to the WC and other accommodation within the entrance storey is step-free and the dwelling is designed to have the potential for step-free access to all other parts.
- c. There is sufficient internal space to make accommodation within the dwelling suitable for a wheelchair user.
- d. The dwelling is wheelchair adaptable such that key parts of the accommodation, including sanitary facilities and kitchens could be easily altered to meet the needs of a wheelchair user or, where required by a local planning authority, the dwelling is wheelchair accessible.
- e. Wall-mounted switches, controls and socket outlets are accessible to people who have reduced reach.

When providing the minimum dimensions for access recommended within the guidance documents, consideration must be given to the proposed or intended finishes. Finishes can reduce the overall dimension and detrimentally affect access to and from spaces for disabled people – for example, the reduction of corridor clear widths after plasterboards and wall finishes have been applied.

Failure to consider this within the design may result in non-compliance with this guidance.

Category 3 – Wheelchair user dwellings criteria Section 3A: Approach to the dwelling	Compliance	Notes
<p>1. Approach Routes General</p> <p>An accessible step-free approach route that is specifically suitable for a wheelchair user should comply with all of the following:</p> <ul style="list-style-type: none"> a. The approach route is level, gently sloping or ramped, whether private or communal, has a minimum clear width of 1200mm b. Localised obstructions are not opposite or close to a doorway or at a change of direction and is no longer than 2m in length c. A level passing place 1500mm square is provided each end of the approach route and at maximum intervals of 10m. d. External parts of the approach route have a suitable ground surface and are illuminated by fully diffused lighting, activated automatically (dusk to dawn timer or motion detector). e. Every gate/gateway between the footway and the main communal or private entrance has all of the following: <ul style="list-style-type: none"> - A minimum clear opening width of 850mm - A minimum 300mm nib to the leading edge - A minimum 200mm nib to the following edge 	<p>Compliant</p>	<p>The approach routes have been designed to the requirements set out in Clause 1.</p>
<p>2. Approach Routes External and internal ramps forming part of an approach route</p> <p>A ramped approach should comply with all of the following:</p> <ul style="list-style-type: none"> a. The gradient is between 1:20 and 1:15. b. The length of each flight at a given gradient meets the provisions of Diagram 3.1. c. Flights (whether within a private or communal approach route) have a minimum clear width of 1200mm. d. Top and bottom landings are provided to every flight, and an intermediate landing is provided between individual flights and at any change of direction. e. Every landing is level and a minimum of 1200mm clear of any door/gate swing. 	<p>Not applicable</p>	<p>The approach routes for the site are not ramped.</p>

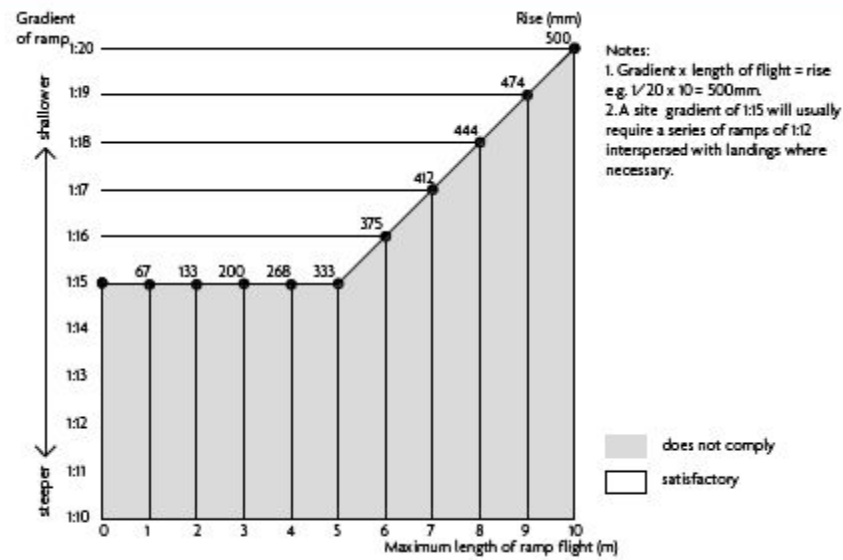


Diagram 3.1 Maximum length of ramp at a given gradient

3. Approach Routes External steps forming part of an additional route

To enable a wide range of people to use steps safely, external steps should comply with all of the following:

- a. Steps are uniform with a rise of between 150mm and 170mm and a going of between 280mm and 425mm (for tapered steps measured at a point 270mm from the 'inside' (narrow end) of the step) and single steps are avoided.
- b. Steps have suitable tread nosings.
- c. No individual flight has a rise of more than 1800mm between landings.
- d. Every flight has a minimum clear width of 900mm.
- e. Top and bottom and, where necessary, intermediate landings, are provided and every landing has a minimum length of 900mm.
- f. Every flight with 3 or more risers has at least one grippable handrail (two where the flight is wider than 1000mm) 850-1000mm above pitchline, extending 300mm beyond top and bottom nosings.

Not applicable

There are no stepped approach routes for the site.

4. Parking Space

Where a parking space is provided to enable a wheelchair user to get into and out of a car from both sides and access the boot space, the parking space should comply with all of the following:

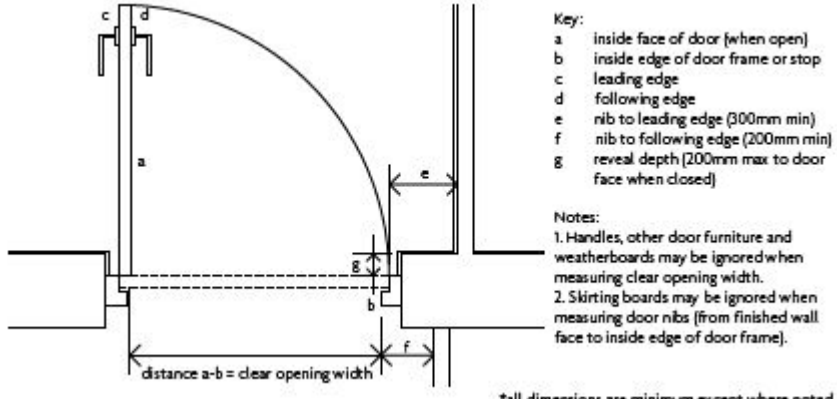
- a. Where the parking spaces is within the private cartilage of a dwelling (including a carport or garage) it is a standard parking bay with an additional minimum clear access zone of 1200mm to one side and to the rear.
- b. Where it is within a communal parking area, it is a standard parking bay with an additional minimum clear access zone of 1200mm to both sides.
- c. The parking space is level with a suitable ground surface
- d. The parking space has a minimum clear headroom of 2200mm.

Note: The side access zones in communal parking areas may be shared by two bays.

Not applicable

The scheme is car free for the residential aspects of the site.

<p>5. Drop-off point Where a drop-off point is provided for the dwelling, it should comply with all of the following:</p> <ol style="list-style-type: none"> It is located close to the principal communal entrance of the building containing the dwelling. The drop-off point is level with a suitable ground surface. Where a dropped kerb is provided it is a minimum of 1000mm wide, reasonably flush with the adjoining ground and has a maximum gradient of 1:15. 	<p>Not applicable.</p>	<p>No drop-off points are proposed.</p>
<p>6. Communal entrances To enable a wheelchair user to enter the principal communal entrance it should comply with all of the following:</p> <ol style="list-style-type: none"> There is a level landing minimum of 1500mm wide by 1500mm long directly outside the entrance clear of any door swings. The landing is covered to a minimum width and depth of 1200mm. Lighting is provided which uses fully diffused luminaires activated automatically by dusk to dawn timer or motion detector. A clear turning circle 1500mm diameter is provided inside the entrance area, behind the entrance door when closed. The entrance door/gate has a minimum clear opening width of 850mm when measured in accordance with Diagram 3.2. Where double doors/gates are provided, the main leaf provides the required minimum clear opening width. A minimum 300mm nib is provided to the leading edge and 200mm nib is provided to the following edge of the door/gate and the extra width created by these nibs is maintained for a minimum of 1800mm beyond them. The door is located reasonably centrally within the thickness of the wall while ensuring that the depth of the reveal on the leading face of the door (usually the inside is a maximum of 200mm). The threshold is an accessible threshold. Where there is a lobby or porch, the doors are a minimum of 1500mm apart and there is a minimum of 1500mm clear space between door swings. Power assisted opening is provided where the opening force of the door exceeds 20 Newtons. The ground surface (or entrance flooring) does not impede movement by wheelchair users. Door entry controls, where provided, are mounted 900-1000mm above ground level a minimum of 300mm away from any projecting corner. <p>Note: Every communal door/gate, along the approach route should comply with provisions e – m above.</p>	<p>Partially compliant – dispensations required</p>	<p>The communal entrance doors have been designed in accordance with the recommendations set out in Clause 6. This is with the exception of the main entrance and the terrace door, in relation to the following items.</p> <ul style="list-style-type: none"> Item b: Weather protection for the entrance is provided by means of the overhang of the existing reveal, which provides an area of approximately 900mm by 1200mm. This cannot be increased as this is existing, and therefore a dispensation will be sought. Item g/h: A 200mm nib to the following edge has not been provided. The 200mm reveal has been exceeded, as a result of the existing façade retention and additional requirements relating to fire and structures. This requires agreement with the local authority as a dispensation. It is not possible to automate these doors, as this would compromise the security of this area (increasing the risk of tailgating in this busy, central London location). <p>The entrance and the courtyard entrance doors will be glazed. It has been agreed between APT and MLM already that the frame around the doors provide sufficient indication of the presence of the doors, and thus manifestations are not required.</p> <p>Other details, including door entry controls and lighting will be developed in accordance with Clause 6 in later design stages.</p>

 <p>Diagram 3.2 Measurements of clear opening width and other features of external and internal doors</p>		
<p>7. Communal Lifts</p> <p>To enable a wide range of people, including accompanied wheelchair users, to access and use the lift, every communal passenger lift that gives access to the dwelling should comply with all of the following:</p> <ol style="list-style-type: none"> A clear landing, a minimum 1500mm long and 1500mm wide, is directly in front of the lift door at every floor level. The lift is equivalent to or complies with requirements of BS EN 81-70:2003 for a type 2 lift – Entrance opening of 900mm clear, internal car dimensions of 1100mm by 1400, a mirror to manoeuvre backwards out of the lift. The lift car is a minimum of 1100mm wide and 1400mm deep. Doors have a minimum clear opening width of 800mm. Landing and car controls are located 900mm – 1200mm above the car floor and a minimum of 400mm (measured horizontally) from the inside of the front wall. The lift has an initial dwell time of five seconds before its doors begin to close after they are fully open. 	<p>Partially compliant - dispensation required</p>	<p>As per the vertical transportation strategy, the lift controls and equipment will be designed, installed and set to work in accordance with the requirements of EN81 and accessibility requirements.</p> <p>The main lift is a fire fighting lift. This will:</p> <ul style="list-style-type: none"> Be provided in accordance with BS EN 81-72 Be used as an evacuation lift, prior to the fire service taking control of the lift, allowing step-free egress <p>The platform lift at the terrace will:</p> <ul style="list-style-type: none"> Be called via a single push button and travel to the destination floor via a hold to run button within the lift. Have a telephone alarm communication system, which will incorporate a direct link to notify the lift manufacturer's 24 hour call centre helpline in the event of the lift alarm being activated. Be supported in the event of a power failure to the building utility power supply, i.e. UKPN, via a separate battery back supply. This will allow occupants at level 8 to get to level 7 in the event of a power failure. <p>It is not possible to include sliding doors for the platform lift within the currently designed shaft.</p>

		<p>To minimise the risk of collision between people using the stair / people waiting for the lift, the lift will include glazing to maximise visibility. This is considered to be an acceptable approach, given the limited footfall in this area.</p>
<p>8. Communal stairs The principal communal stairs that give access to the dwelling should comply with the requirements of Part K for a general access stair.</p>	<p>Compliant</p>	<p>Handrails will be provided on either side of stair ensuring clear width of 1000mm is provided between handrails. All stairs have been designed to Approved Document K.</p>

Category 3 – Wheelchair user dwellings criteria Section 3B: Private entrances and spaces within, and connected to, the dwelling	Compliance	Notes
<p>9. Private Entrances The principal private entrance to the individual dwelling should comply with all of the following (see Diagram 3.3):</p> <ul style="list-style-type: none"> a. There is a level external landing with a minimum width and depth of 1500mm and clear of any door swing. b. The landing area is covered for a minimum width and depth of 1200mm. c. Lighting is provided which uses fully diffused luminaires activated automatically (dusk to dawn timer or motion detector). d. There is a minimum 1500mm clear turning circle inside the entrance area, in front of the door when closed. e. A minimum 300mm nib is provided to the leading edge of the door and the extra width created by this nib is maintained for a minimum of 1800mm beyond it. A minimum 150mm nib is provided to the hinge side of the door (to allow for the fitting of a cage to the inside face of the letter box). f. The door has a minimum clear opening width of 850mm, when measured in accordance with Diagram 3.2. g. Where there are double doors, the main (or leading) leaf provides the required minimum clear opening width. A minimum 200mm nib is provided to the following edge of the door and the extra width created by the nib is maintained for a minimum of 1500mm beyond it. h. The door is located reasonably centrally within the thickness of the wall while ensuring that the depth of the reveal on the leading face of the door (usually the inside) is a maximum of 200mm. i. There is an accessible threshold. j. Where there is a lobby or porch, the doors are a minimum of 1500mm apart and there is a minimum of 1500mm between door swings. k. Door entry controls, where provided, are mounted 900-1000mm above ground level a minimum of 300mm away from any external return corner. l. A fused spur, suitable for the fitting of a powered door opener, is provided on the hinge side of the door. <p>Note: All other external doors – including doors to and from a private garden, balcony, terrace, garage, carport, conservatory or storage area that is integral with, or connected to the dwelling comply with provisions f – k above and should have a minimum 300mm nib to the leading edge of the door with the extra width created by this nib extending for a minimum 1800mm beyond it.</p>	<p>Compliant</p>	<p>The entrance into SR_202 (the 2 bed 4 person wheelchair accessible unit) meets the requirements of Clause 9. Part c will be developed in subsequent stages of the design to the requirements set out.</p>

- e. Where an outward opening door is located close to a corner and another door is located on the return wall within 800mm of that corner, the leading edge of the outward opening door is a minimum of 800mm from the corner is shown in Diagram 3.5, unless a 1500mm turning circle is provided immediately outside the door.
- f. A minimum 300mm nib is provided to the leading edge and a minimum 200mm nib is provided to the following edge of every door.

Note 1: The provision of the above do not apply to:

- Cupboards unless they are large enough to be entered
- En-suite bathrooms or showers that are additional to the provisions of requirement 20 – Bathrooms.

Note 2: Double doors effectively provide nibs where each leaf is a minimum of 300mm wide.

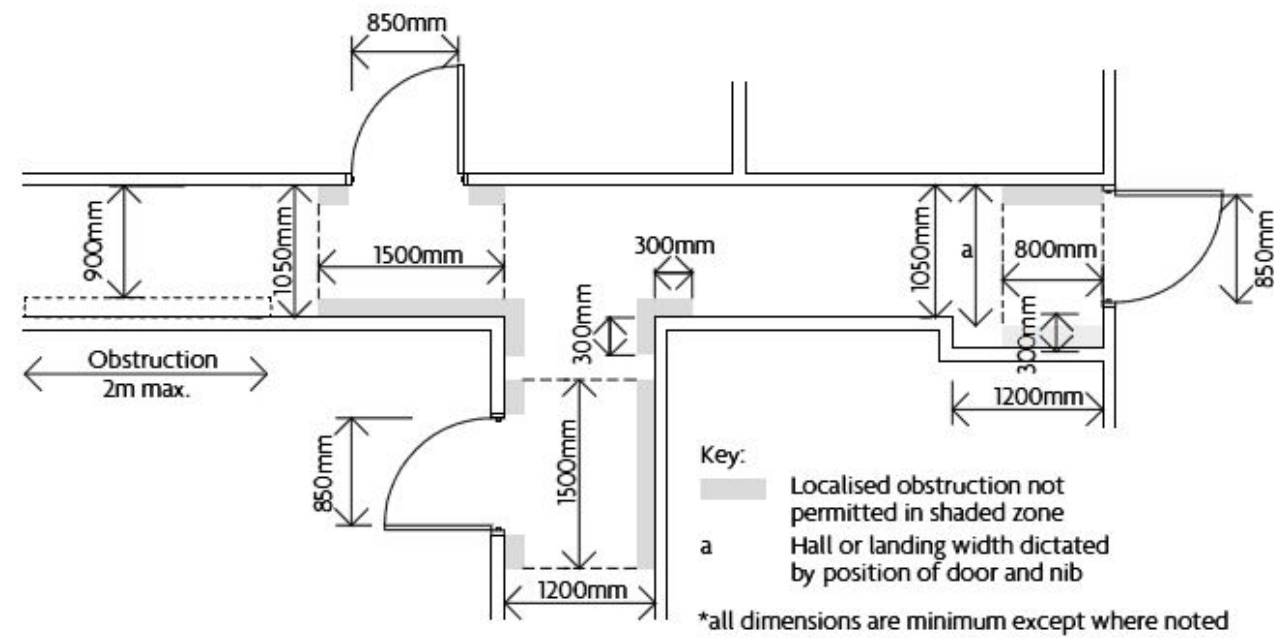
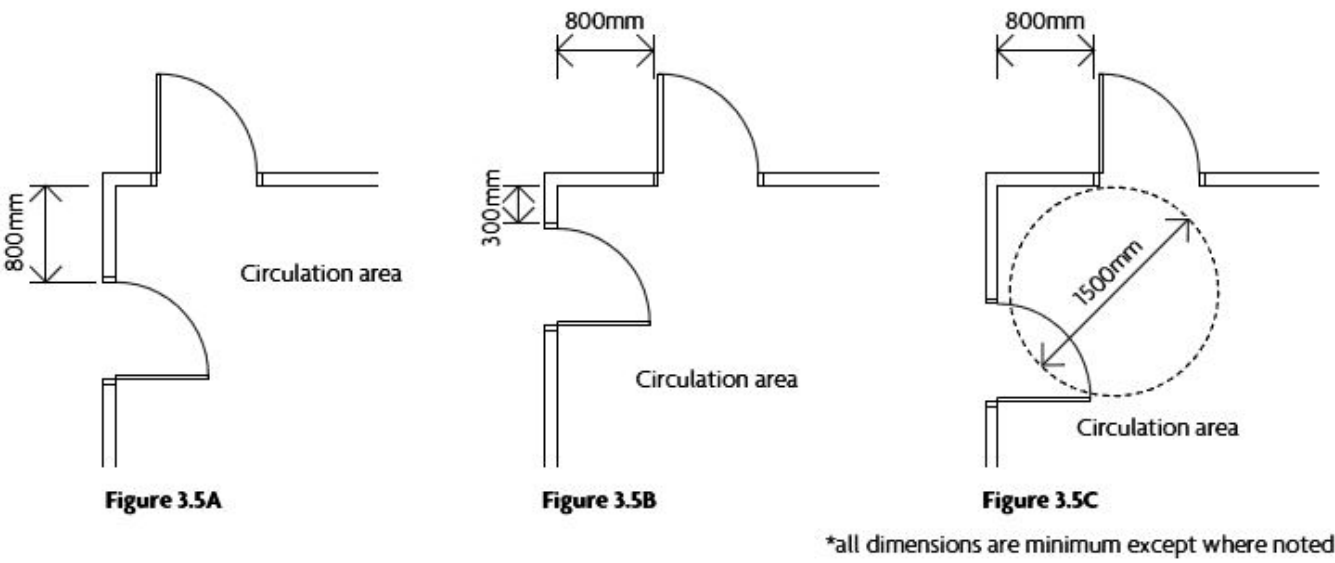
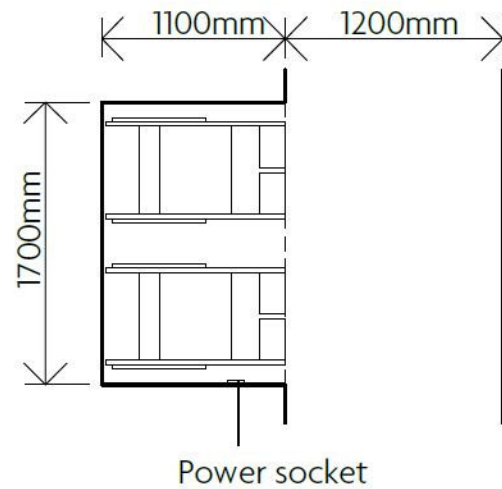


Diagram 3.4 Minimum door and hall widths and restrictions on localised obstructions

 <p>Figure 3.5A Figure 3.5B Figure 3.5C *all dimensions are minimum except where noted</p> <p>Diagram 3.5 Outward opening doors in a corner</p>		
<p>11. Wheelchair storage and transfer space To enable a person to charge and store up to two wheelchairs and transfer between an outdoor and an indoor wheelchair, a dwelling should have a storage and transfer space which complies with all of the following:</p> <ol style="list-style-type: none"> A minimum 1100mm deep by 1700mm wide space is available on the entrance storey, preferably close to the principal private entrance. Is accessible from a space that has a minimum clear width of 1200mm, as shown in Diagram 3.6. A power socket is provided within the space. In wheelchair adaptable dwellings the storage and transfer space may be used for another purpose such as general storage (and doors fitted if required) provided that: <ul style="list-style-type: none"> - The provisions above can be met without alteration to structure or services - The space is additional to the minimum requirements for storage, living spaces and bedrooms set out in section 12 – General storage space, 15 – Living areas and 17 - Bedrooms. 	<p>Compliant</p>	<p>The wheelchair storage and transfer space has been provided in accordance with Clause 11.</p>



*all dimensions are minimum except where noted

Diagram 3.6 Wheelchair storage and transfer space

12. General storage space

To make adequate provision for the storage of household items, general built-in storage space should comply with Table 3.1.

Table 3.1 Minimum area of general built-in storage

Number of bedrooms	1	2	3	4	5	6
Minimum storage area (m ²)	1.5	2.0	2.5	3.0	3.5	4.0

Note: For the purposes of Table 3.1, include areas with reduced headroom as follows:

- Headroom between 900mm and 1500mm: at 50% of its area
- Lower than 900mm: do not count

The full area under a stair that forms part of the storage provision should be counted as 1m².

Compliant

There is sufficient storage provided within this unit, exceeding 3 sq.m (and in excess of the 2sq.m required for a 2-bed unit), with additional space provided in the basement for resident storage.

13. Through-floor lifting device provision

To ensure that provision can be made for a wheelchair user to access all parts of a dwelling on more than one floor level, the dwelling should comply with either the requirements below for a wheelchair adaptable dwelling or for a wheelchair accessible dwelling.

Where the dwelling is defined as **wheelchair adaptable**, it should be easy to install a lift. The space for the liftway can, however, be used for another purpose (such as storage or part of a habitable room) providing it is demonstrated that the dwelling complies with the following:

- a. Any floors, walls and doors that have been installed to allow the potential liftway to be used as storage or for other purposes could be easily removed without structural alteration.
- b. Future provision for the liftway is a minimum of 1100mm wide and 1650mm long internally linking circulation areas at every floor level of the dwelling.

Not applicable

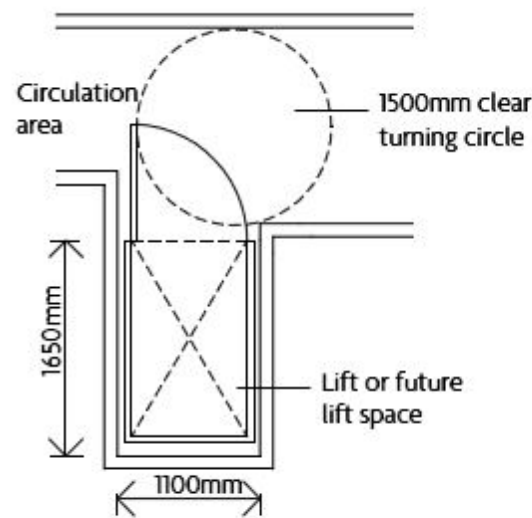
This unit is single storey

- c. Where walls forming the liftway enclosure are not initially installed, they can be easily reinstated without the need for structural works and would not compromise compliance with this or any other part of the Building Regs.
- d. Drawings demonstrate how all the provisions for a wheelchair accessible dwelling can be complied with if a suitable lifting device is fitted in the future.
- e. The space for the future lift installation is not used to meet other requirements and in particular is not included in the minimum living, kitchen and eating area set out in 15 – Living areas.

Where the dwelling is defined as **wheelchair accessible**, a suitable through-floor lift or lifting platform should be installed and commissioned and the dwelling should comply with all of the following:

- a. There is a continuous liftway a minimum 1100mm wide and 1650mm long internally linking every floor level of the dwelling.
- b. The liftway can be entered from the same one of its narrower ends at every floor level.
- c. A minimum 1500mm clear turning circle, clear of the liftway door when open at 90 degrees could be provided in front of the liftway door at every floor level, as shown in Diagram 3.7.
- d. A power socket, suitable for powering the lifting device, is provided close to the liftway.
- e. The shaft is positioned to allow the lift to run between the circulation areas in every storey of the dwelling (irrespective of the number of storeys).
- f. Lifting devices should be positioned with the end opposite to the entry point located against a wall at every floor level.
- g. Doors are power operated.

Note: In a two storey dwelling the requirement can typically be met by a home lift to BS 5900 or lifting platforms to BS EN 81-41. A lifting platform may require a larger liftway than stated above and may also require a three-phase power supply.



Notes:
1. All doors to be power operated.
2. Turning circle should be clear of top step of any adjacent flight of steps.*

*all dimensions are minimum except where noted

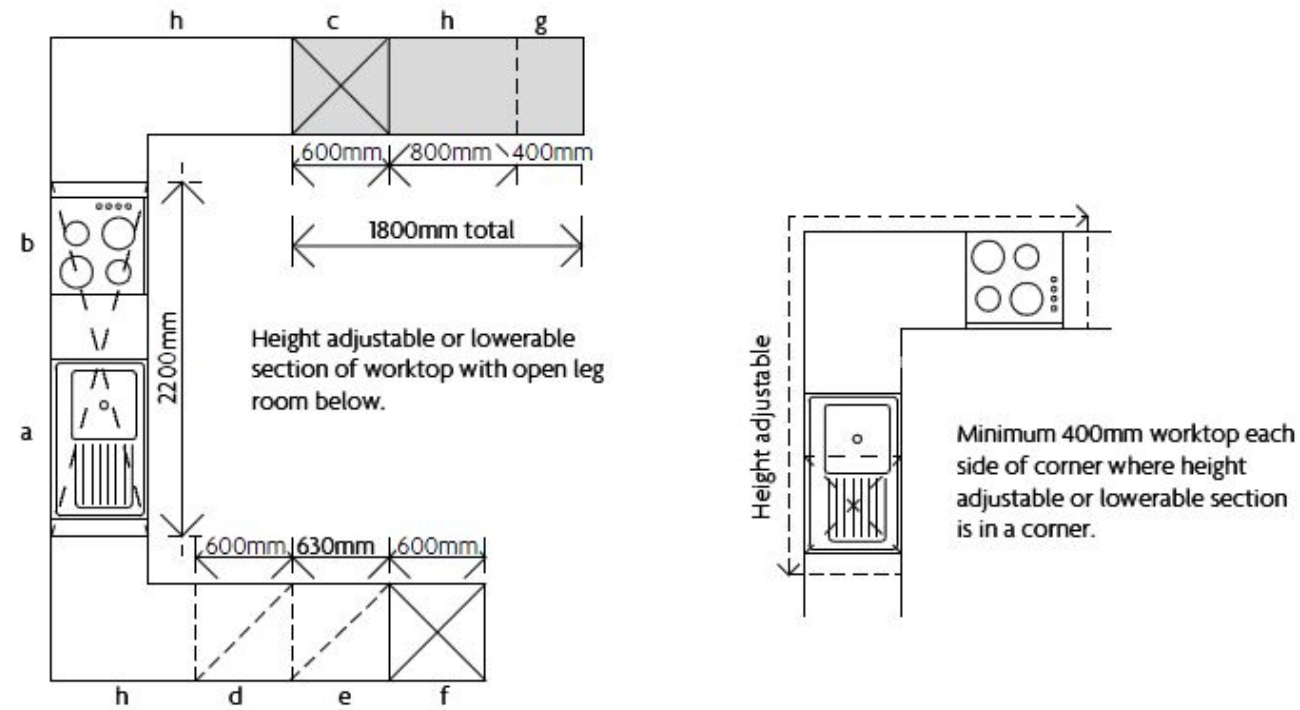
Diagram 3.7 Access to through floor lift

<p>14. Private stairs and changes of level within the dwelling An ambulant disabled person should be able to move within, and between storeys. It should also be possible to fit a stair-lift to the stairs from the entrance storey to the storey above (or the storey below where this contains the bathroom required by the provisions of 20 - Bathrooms). The dwelling should comply with all of the following:</p> <ol style="list-style-type: none"> Access to all rooms and facilities within the entrance storey is step-free. There are no changes of level within any other storey. The stair from the entrance storey to the storey above (or below) and any stair within the storey above (or below) has a minimum clear width of 850mm when measured at 450mm above the pitch line of the treads (ignoring any newel post). A power socket suitable for powering a stair-lift is provided close to the foot or head of any stair to which a stair lift may be fitted. All stairs meet the provisions of Part K for private stairs. 	<p>Not applicable</p>	<p>This unit is single storey</p>																
<p>15. Living areas To provide usable living spaces that have a convenient, step-free relationship between the living space, WC and principal private entrance, living areas should comply with all of the following:</p> <ol style="list-style-type: none"> The principal living area is within the entrance storey. The minimum combined internal floor area of living, dining and kitchen space meets the provisions of Table 3.2. Glazing to the principal window of this living area starts a maximum of 850mm above floor level or at the minimum height reasonable in achieving compliance with the provisions of Part K for guarding to windows. <p><i>Table 3.2 Minimum combined floor area for living, dining, and kitchen space</i></p> <table border="1" data-bbox="189 1178 985 1354"> <tr> <td>Number of bedspaces</td> <td>2</td> <td>3</td> <td>4</td> <td>5</td> <td>6</td> <td>7</td> <td>8</td> </tr> <tr> <td>Minimum floor area m²</td> <td>25</td> <td>27</td> <td>29</td> <td>31</td> <td>33</td> <td>35</td> <td>37</td> </tr> </table>	Number of bedspaces	2	3	4	5	6	7	8	Minimum floor area m ²	25	27	29	31	33	35	37	<p>Partially compliant - dispensation required</p>	<p>The living areas have been designed to clause 15. This is with the exception of:</p> <ul style="list-style-type: none"> Item c: All glazing will be designed to start at a maximum of 858mm from the floor, as a result of the retained façade. The 8mm above the recommended 850mm is minimal and a dispensation is sought for this. <p>It is noted that toughened and laminated glass will be specified, and that all openable cills are higher than 800mm from FFL and thus does not constitute a fall hazard according to Approved Document K.</p> <p>Windows will be cleaned by residents, and windows will open to the inside, providing safe access to cleaning.</p>
Number of bedspaces	2	3	4	5	6	7	8											
Minimum floor area m ²	25	27	29	31	33	35	37											
<p>16. Kitchen and eating areas The relationship between the kitchen, dining and living areas should be convenient and step-free. Kitchen and eating areas should comply with all of the following:</p> <ol style="list-style-type: none"> The kitchen and principal eating area are within the same room, or connected to each other, and located within the entrance storey. There is a minimum clear access zone 1500mm wide in front of and between all kitchen units and appliances. <p>Where the dwelling is defined as wheelchair adaptable, in addition to the above, the kitchen should comply with all of the following:</p> <ol style="list-style-type: none"> The overall length of kitchen worktop meets at least the provisions of Table 3.3. 	<p>Compliant</p>	<p>Kitchens have been spatially designed to Clause 16; they will be developed in subsequent design stages to the other criteria mentioned.</p>																

b. Drawings demonstrate how the kitchen could be easily adapted to meet the provisions for a wheelchair accessible dwelling and Table 3.4 at a future date without compromising the space in any other part of the dwelling and without the need to move structural walls, stacks or concealed drainage.

Table 3.3 Minimum length of kitchen worktop, including fittings and appliances, to be fitted at completion for a wheelchair adaptable dwelling

Number of bedspaces	2	3 & 4	5	6-8
Minimum worktop length (mm)	4330	4730	5630	6730



Wheelchair accessible layout

Key:

- a sink and drainer
- b hob
- c oven
- d dishwasher
- e washing machine
- f fridge freezer
- g recycling
- h storage base units (inc. corner units)
- i suitable space for built-in oven (c/1 800 - 900mm)
- j space identified for additional worktop to compensate for storage lost when converted to an accessible layout (where the kitchen has been designed to meet the minimum provision for adaptable)

Allow for shallow, insulated sink bowl with swivel, mixer tap and flexible plumbing and provide a min. 400mm length of worktop to at least one side of the oven and fridge/ freezer.

*all dimensions are minimum except where noted

Diagram 3.8 Example of a wheelchair accessible kitchen layout

Where the dwelling is defined as **wheelchair accessible**, in addition to the above points, the kitchen should comply with all of the following (see Diagram 3.8):

- a. The overall length of kitchen worktop meets the provisions of Table 3.4.
- b. The worktop includes a continuous section that incorporates a combined sink and drainer unit and a hob, and all of the following:
 - The section of worktop is a minimum 2200mm long.
 - The section of worktop is either a height adjustable worktop, or is a fixed section capable of being refixed at alternate heights.
 - There are no fixed white goods (appliances) placed beneath this section of worktop.

- This section of worktop provides clear and continuous open leg space underneath (capable of achieving a minimum of 700mm clearance above floor level).
- c. The sink is not more than 150mm deep with insulation to the underside to prevent scalding of a wheelchair user's legs.
- d. Taps should be lever operated and capable of easy operation.
- e. A suitable space has been identified for a built-in oven (with its centre line between 800mm and 900mm above floor level) to be installed.
- f. A pull out shelf is provided beneath the oven enclosure.
- g. There is a minimum of 400mm of worktop to at least one side of the oven and fridge/fridge freezer where this is taller than the worktop height (or to one side of a pair of tall appliances where they are located together at the end of a run).
- h. Water supply to sinks includes isolation valves and flexible tails.
- i. Drainage is either flexible or is fixed but easily adaptable to suit worktop heights between 700mm and 950mm above floor level.

Table 3.4 Minimum length of kitchen worktop, including fittings and appliances, to be fitted at completion for a wheelchair accessible dwelling

Number of bedspaces	2	3&4	5	6-8
Minimum worktop length (mm)	6130	6530	7430	8530

17. Bedrooms

One bedroom should be close to an accessible bathroom suitable for a wheelchair user. All other bedrooms should be accessible to a wheelchair user. Bedrooms should comply with all of the following:

- a. Every bedroom can provide a minimum clear access route, 750mm wide, from the doorway to the window.
- b. Every bedroom can provide a minimum 1200mm by 1200mm manoeuvring space inside the doorway, clear of the bed and the door(when the door is in the closed position).
- c. The ceiling structure to every bedroom is strong enough to allow for the fitting of an overhead hoist capable of carrying a load of 200kg.
- d. A principal double bedroom is located on the entrance storey, or the storey above (or below) the entrance storey, has a minimum floor area of 13.5m² and is a minimum of 3m wide clear of obstructions (e.g. radiators).
- e. The principal double bedroom can provide a minimum 1000mm wide clear access zone to both sides and the foot of the bed and in front of all furniture, and a minimum 1200mm by 1200mm manoeuvring space on both sides of the bed (see Diagram 3.9).
- f. Every other double (or twin) bedroom has a minimum floor area of 12.5m² and is a minimum of 3m wide.
- g. Every other double bedroom can provide a 1000mm wide clear access zone to one side and the foot of the bed and in front of all furniture.
- h. All single and twin bedrooms provide a minimum 1000mm clear access zone to one side of each bed and in front of all furniture.
- i. Every single bedroom has a minimum floor area of 8.5m² and is at least 2.4m wide.

Compliant

Bedrooms have been spatially designed to Clause 17. In relation to Item c – it is confirmed that the slab structure will accommodate this weight loading, and so will be capable of being adapted as required.

Note 1: When demonstrating compliance with these provisions, bed sizes and furniture should comply with the requirements of the furniture schedule in Appendix D.
Note 2: The loading for strengthened ceilings is considered suitable for many types of adaptations but additional localised strengthening may be required to support high point loads at the time that adaptations are fitted.

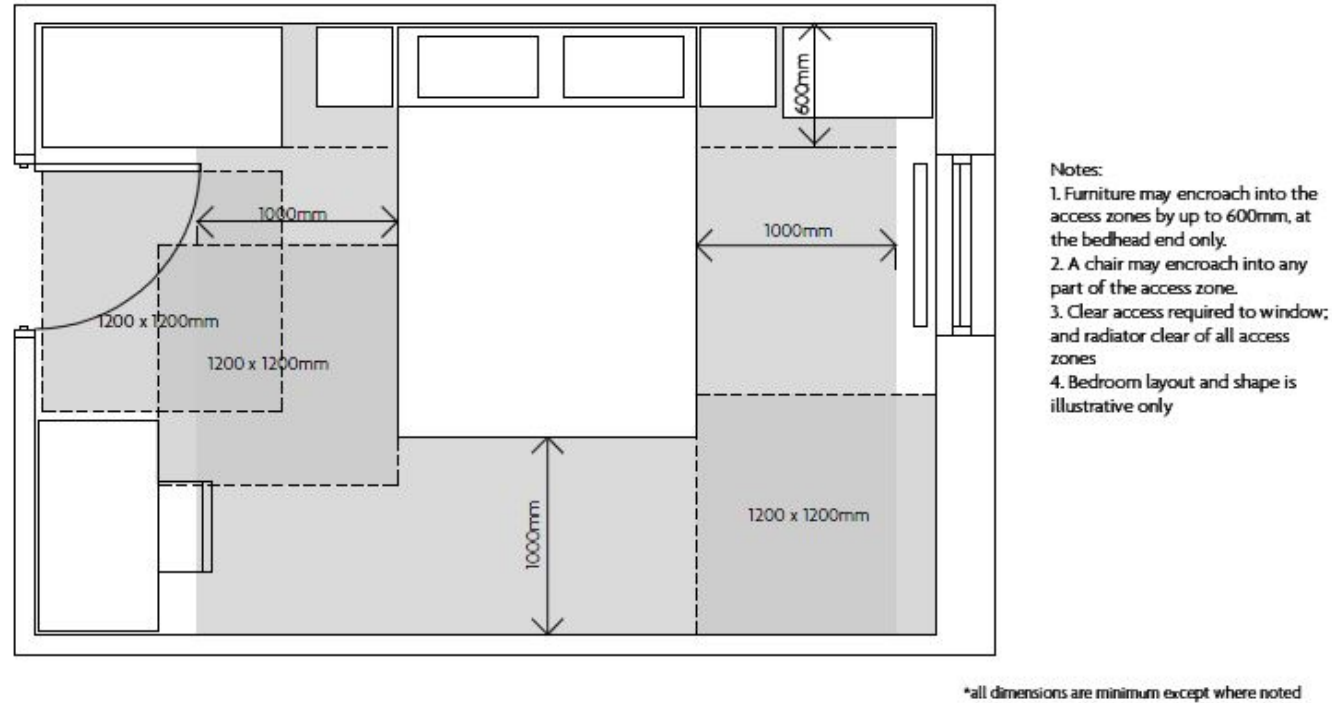


Diagram 3.9 Clear access zones and manoeuvring spaces to principal bedroom

18. Sanitary facilities – General provisions

Dwellings should provide suitable toilet and washing facilities. Reasonable provision will vary depending on whether dwellings are wheelchair adaptable or wheelchair accessible. To provide suitable and convenient sanitary facilities, a dwelling should comply with all of the following:

- a. WC facilities are provided which comply with the relevant requirements of 19 – WC facilities on the entrance storey, and bathroom facilities are provided which comply with the relevant requirements of 20 – Bathrooms.
- b. Any dwelling with four or more bedspaces provides access to a minimum of two WCs in separate bathrooms or WC/cloakrooms (see table 3.5).
- c. Every room that contains an installed level access shower is constructed as a wet room.
- d. All walls, ducts and boxings to every WC/cloakroom, bath and shower room are strong enough to support grab rails, seats and other adaptations that could impose a load of 1.5kN/m².
- e. The ceiling structure to bathrooms and WC/cloakrooms required by 18 – Sanitary facilities – General provisions and 19 – WC facilities on the entrance storey, is strong enough to allow for the fitting of an overhead hoist capable of carrying a load of 200kg.

Not compliant, but with deviation agreed

For the apartment on level 02, an additional WC is required (as this has 4 bed spaces – clause b). However, it is not possible to achieve this without impacting on adjacent properties and within the existing constraints of Medius House.

Two options were identified – having a larger family unit as proposed, but with one main bathroom and no secondary WC, or having a smaller unit with smaller occupancy levels, to allow full compliance. This was discussed with Connie Petrou, Affordable Housing Development Coordinator at Stage 2 in 2017, who confirmed that the preference from the London Borough of Camden was to have the larger unit without the separate WC. Therefore, this is what has been provided for the 2b4p wheelchair flat.

- f. Where sanitary facilities are wheelchair accessible, WC flush controls are positioned on the front of the cistern of the transfer side and can be easily gripped, e.g. a lever flush handle.
- g. Where sanitary facilities are wheelchair accessible, WC pans should be a minimum of 400mm high.
- h. Where sanitary facilities are wheelchair accessible, basins and sinks should be wall hung (typically with their rim 779-850mm above floor level) and the clear zone beneath basins, services and pedestals is maximised to enable wheelchair users to approach. Ideally this clear zone should be in the range 400-600mm from floor level.
- i. Stacks or soil and vent pipes should only be positioned adjacent to WC where there is no practical alternative and should always be on the wall side of the WC.

Note 1: The loading for strengthened walls is considered suitable for many types of adaptations but additional localised strengthening may be required if adaptations are fitted that impose high point loads.

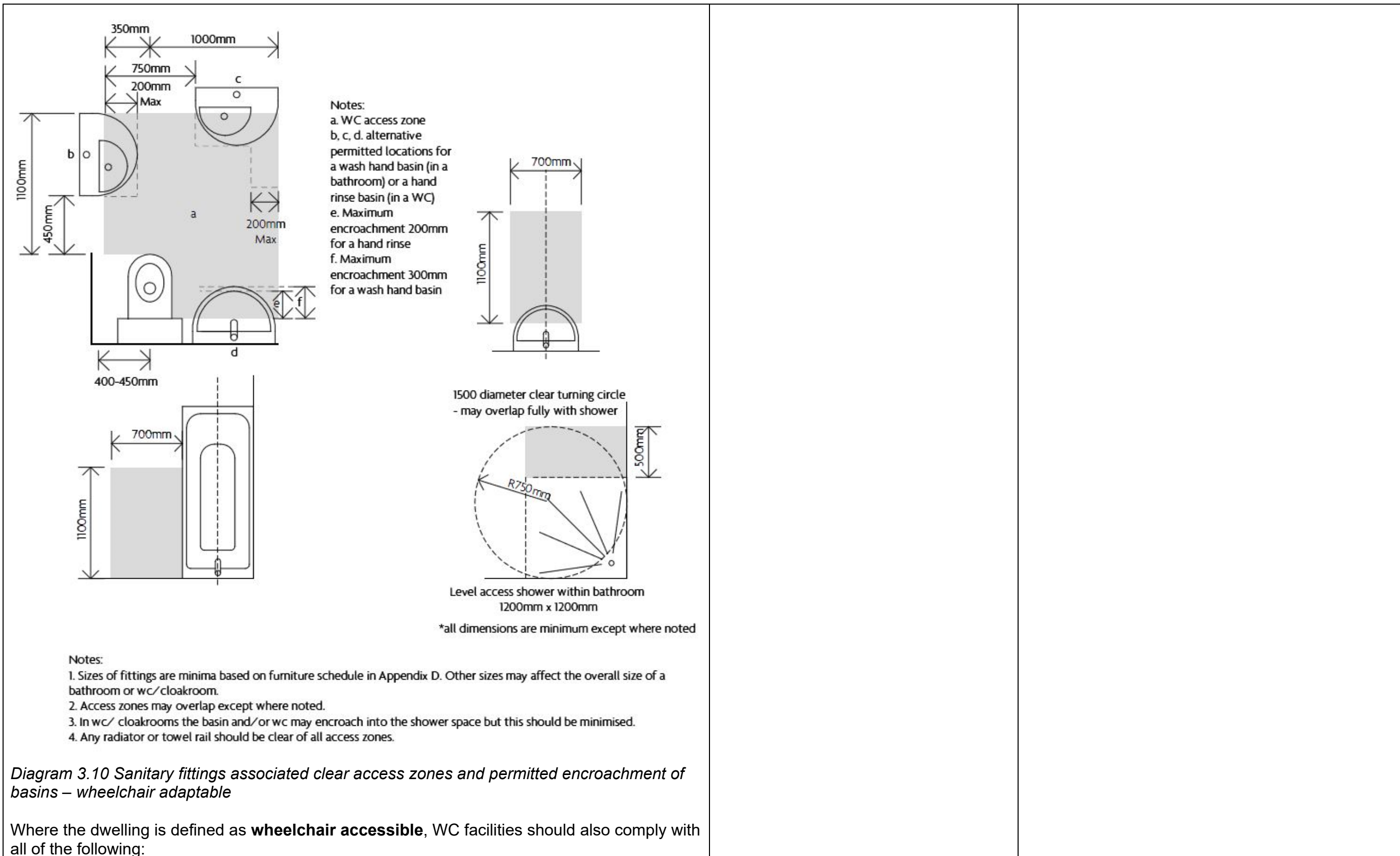
Note 2: The provisions of the above do not apply to sanitary facilities that are additional to the provisions here and 19 – WC facilities on the entrance storey.

Note 3: For the purposes of establishing number of bedspaces relevant to these requirements, a bedroom 8.5-12.5m² in size is counted as one bedspace, and equal to or greater than 12.5m² as two bedspaces.

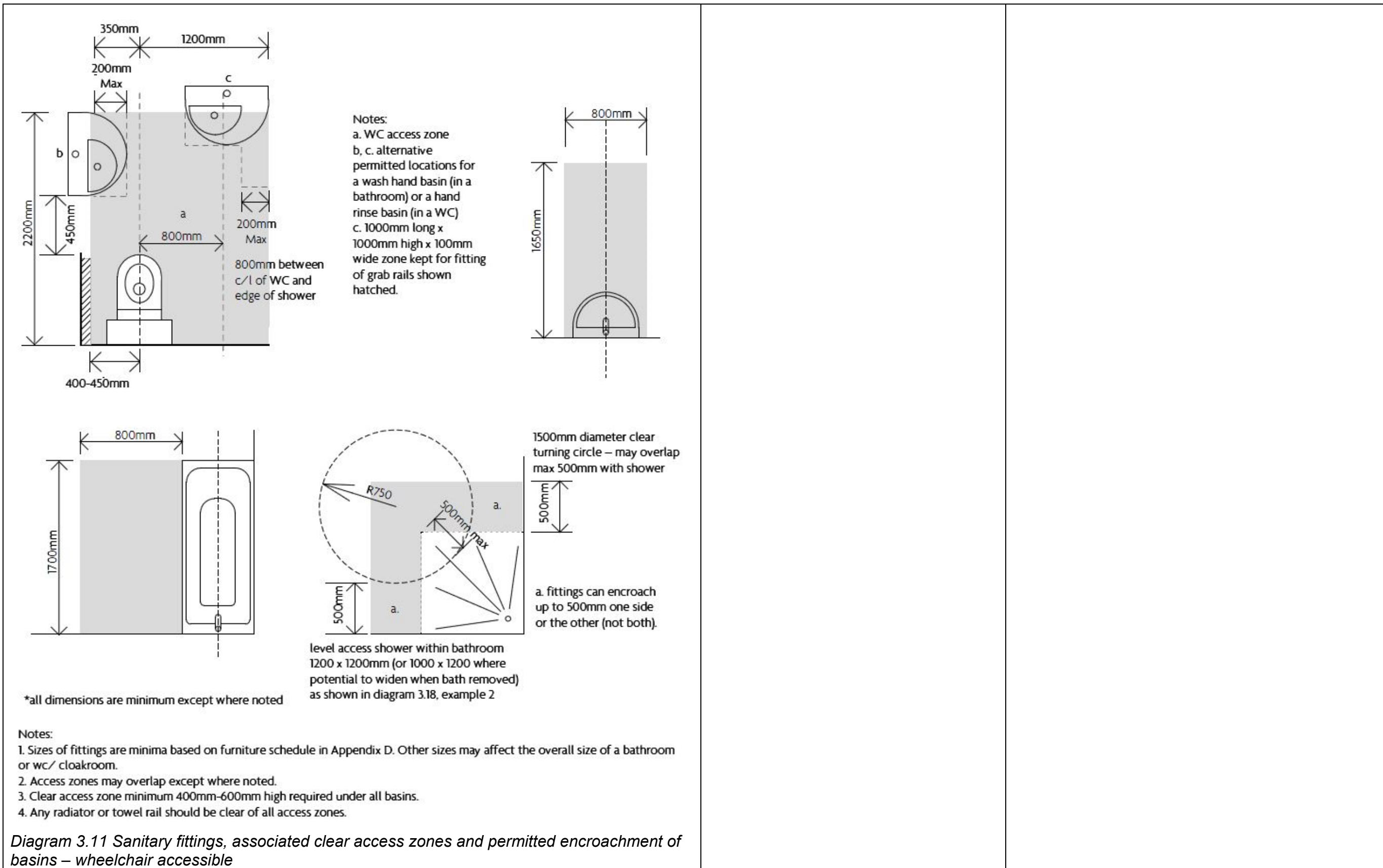
Table 3.5 Summary of minimum requirements for sanitary provision in typical dwelling types (dwellings should also comply with relevant detailed requirements set out in 18 – Sanitary facilities – General provisions, 19 – WC facilities on the entrance storey and 20 – Bathrooms.

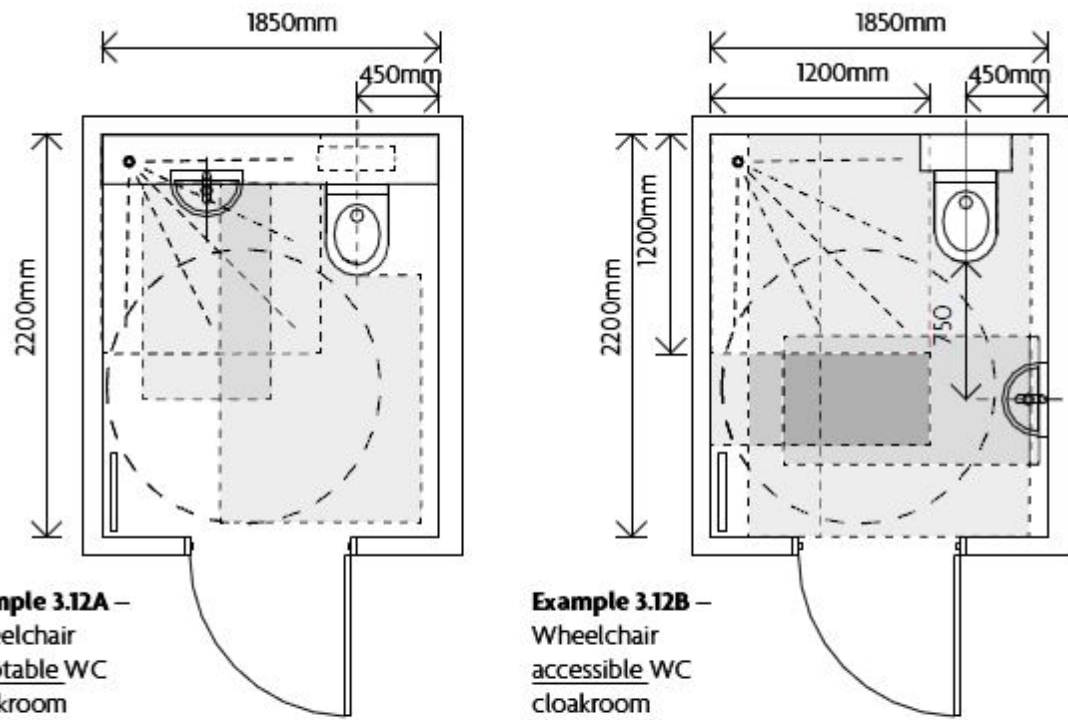
Single storey dwelling (typically a flat or bungalow)	
Occupancy	Typical minimum sanitary provision
2 or 3 bedspaces	Bathroom with level access shower
4 bedspaces	Bathroom with level access shower and separate WC/cloakroom
5 bedspaces or more	Bathroom with level access shower and separate WC/cloakroom (or second bathroom). Wheelchair accessible dwellings must also provide both a level access shower and a bath
Two or three storey dwelling (typically a house or maisonette)	
Occupancy	Typical minimum sanitary provision
2 or 3 bedspaces	Bathroom with level access shower on same level as principal bedroom + entrance storey WC/cloakroom (where bathroom not on entrance storey)
4 bedspaces	Bathroom with level access shower on same level as principal bedroom + entrance storey WC/cloakroom or second bathroom

<p>5 bedspaces or more</p>	<p>Bathroom with level access shower on same level as principal bedroom + entrance storey WC/cloakroom or second bathroom. Wheelchair accessible dwellings must also provide both a level access shower and a bath</p>		
<p>19. WC facilities on the entrance storey To make suitable and convenient provision for a wheelchair user to use a WC, the dwelling should comply with all of the following:</p> <ul style="list-style-type: none"> a. Every dwelling has, on the entrance storey, a wet room (which may be a WC/cloakroom or a bathroom) that contains a WC, a basin and an installed level access shower and complies with the requirements of either wheelchair adaptable or wheelchair accessible. b. Where the dwelling provides both a bathroom and a WC/cloakroom on the same storey, the WC facility need only comply with the requirements of Diagrams 3.13 or 3.14 and the relevant text. c. The door to the WC facility opens outwards. <p>Where the dwelling is defined as wheelchair adaptable, WC facilities should also comply with all of the following:</p> <ul style="list-style-type: none"> a. The WC, basin and shower (and their associated clear access zones) meet the provisions in Diagram 3.10. An example of a compliant design is shown in Diagram 3.12. b. It is demonstrated how the WC/cloakroom could be easily adapted in future to meet the provisions for a wheelchair accessible dwelling. 		<p>Compliant</p>	<p>The bathroom has been designed in accordance with the principles set out in Clause 19.</p>



a. The WC, basin and shower (and their associated clear access zones) meet the provision in Diagram 3.11. Examples of compliant designs are shown in Diagram 3.12.		
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Notes:

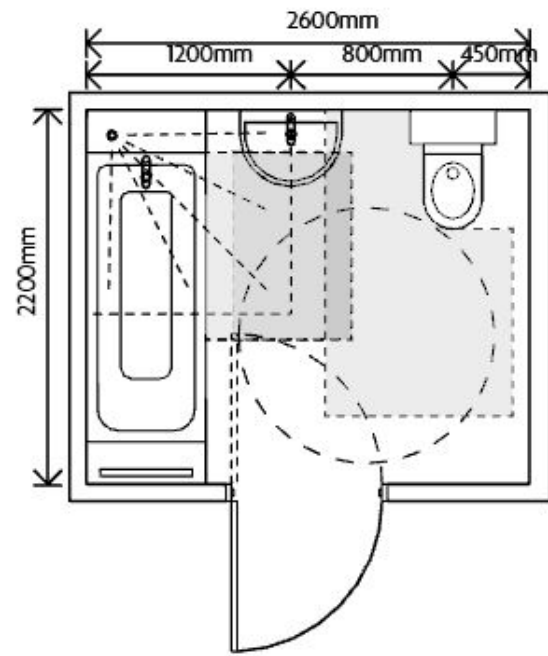
1. All dimensions minimum unless otherwise stated.
2. Doors must be capable of opening outwards – in wheelchair adaptable bathrooms the door may open inwards providing that the door can be easily rehung to open outwards (e.g. door stops are planted and easily moved).
3. SVP and drainage positions to be shown clear of access zones where located within bathroom.

Diagram 3.12 Example of wheelchair adaptable WC/cloakroom layout with potential to be wheelchair accessible

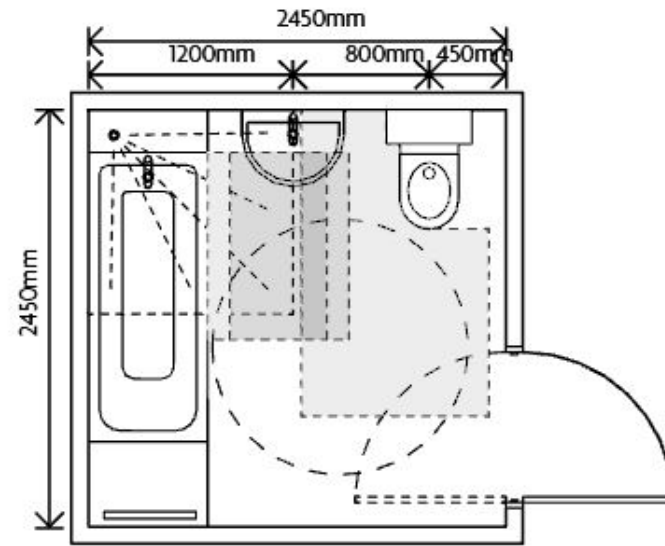
Where the dwelling provides both a bathroom and a WC/cloakroom on the same storey, the WC and basin in the WC/cloakroom (and their associated clear access zones) should as a minimum comply with the provision shown in Diagram 3.13. Examples of compliant designs are shown in Diagram 3.14.

<p><i>Diagram 3.13 Sanitary fittings, associated access zones and permitted encroachment of basin for second WC/cloakroom where on same floor level as first WC</i></p>		
<p><i>Diagram 3.14 Examples of compliant second WC/cloakrooms where on the same floor level as the first WC</i></p>	<p>20. Bathrooms To make suitable and convenient provision for a wheelchair user to bathe or use a wheelchair accessible shower, with assistance where necessary, the dwelling should comply with all of the following:</p> <p>a. Dwellings with up to four bedspaces should have as a minimum a bathroom that contains a WC, a basin and an installed level access shower with the potential for a bath to be installed above it (unless a bath is provided in addition to the installed level access shower within this bathroom or elsewhere on the same storey).</p>	<p>Compliant</p> <p>The bathroom has been designed in accordance with the principles set out in Clause 20.</p>

<p>b. The bathroom containing the installed level access shower should be located on the same storey as the principal double bedroom and a shower room, either room (but not both) may be an en-suite bathroom.</p> <p>Note 1: In dwellings with five bedspaces or more, here the provisions for wheelchair adaptable or wheelchair accessible are satisfied by providing both a bathroom and a shower room, either room (but not both) may be an en-suite bathroom.</p> <p>Note 2: Where there is a fully accessible shower room on the same storey as the principal bedroom, a separate room providing the bath need only comply with the requirements set out for a Category 2 bathroom.</p> <p>Note 3: In dwellings with up to four bedspaces it would be reasonable for a bath to be fitted above the installed level access shower at the point that the works are completed.</p> <p>Where the dwelling is defined as wheelchair adaptable, it is assumed that most commonly a bath will be installed over a useable level access shower, though this is not a requirement. Wheelchair adaptable bathrooms should also comply with all of the following:</p> <ol style="list-style-type: none"> The WC, basin, bath and shower (and their associated clear access zones) meet at least the provisions shown in Diagram 3.10. Examples of compliant designs are shown in Diagram 3.15. Drawings illustrate how the bathroom could be easily adapted in future to meet the provisions for a wheelchair accessible bathroom set out as a wheelchair accessible bathroom (but need only show either a bath or level access shower, not both). <p>Where the dwelling is defined as wheelchair accessible, the bathroom should also comply with all of the following:</p> <ol style="list-style-type: none"> The WC, basin, bath (where provided) and shower (and their associated clear access zones), meet the provisions in Diagram 3.11. Examples of compliant designs are shown in Diagram 3.16. In dwellings with up to four bedspaces, an installed level access shower is provided as the default but a bath can be accommodated as an alternative if required. In dwellings with five bedspaces or more, both a useable bath and an installed level access shower are provided (either in one bathroom or in more than one bathroom on the same storey as the principal bedroom). Examples of bathrooms with shower and bath are provided in Diagram 3.17. The level access shower is positioned in a corner to enable a shower seat to be fitted on one wall, with shower controls fitted on the adjacent wall. The bathroom/s provides a minimum 1500mm clear turning circle. 		
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Example 3.15A – wheelchair adaptable bathroom (based on wheelchair accessible layout 3.16A)



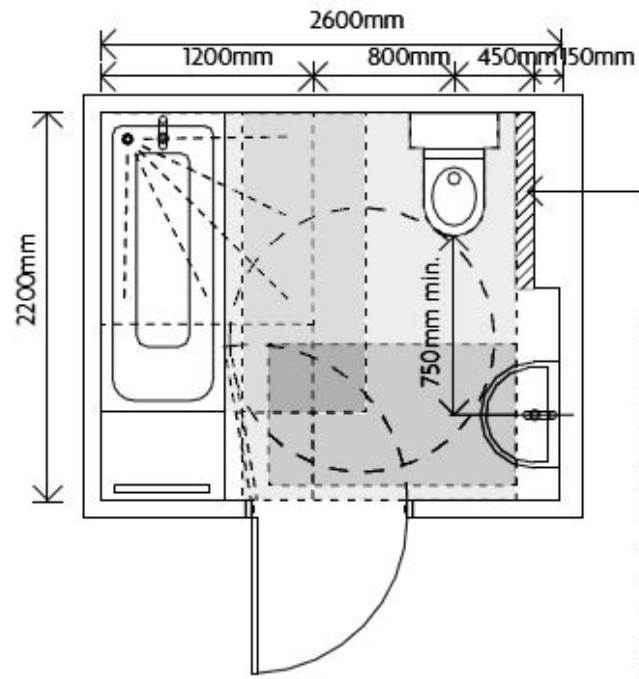
Example 3.15B – wheelchair adaptable bathroom (based on wheelchair accessible layout 3.16B)

Notes:

1. All dimensions minimum unless otherwise stated.
2. Doors must be capable of opening outwards – in wheelchair adaptable bathrooms the door may open inwards providing that the door can be easily rehung to open outwards (e.g. door stops are planted and easily moved).
3. SVP and drainage positions to be shown clear of access zones where located within bathroom.

Diagram 3.15 Examples of wheelchair adaptable bathroom layouts with potential to be wheelchair accessible

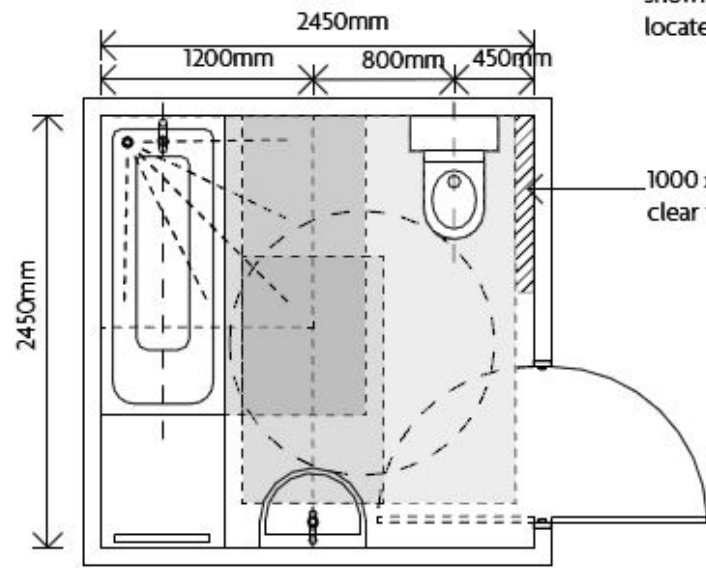
Example 3.16A
– wheelchair accessible bathroom with choice of bath or shower



1000 x 1000 x 100mm zone kept clear to enable fitting of rails.

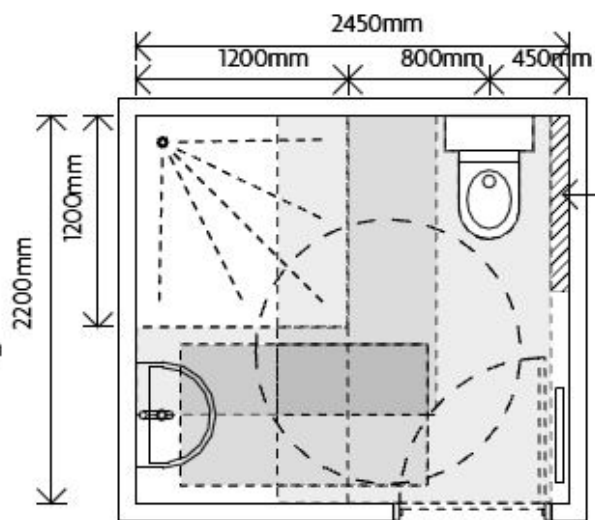
- Notes for all diagrams:
1. All dimensions minimum unless otherwise stated.
 2. WC doors must be capable of opening outwards – in wheelchair adaptable bathrooms the door may open inwards providing that the door can be easily rehung to open outwards (e.g. door stops are planted and easily moved).
 3. SVP and drainage positions to be shown clear of access zones where located within bathroom.

Example 3.16B
– wheelchair accessible bathroom with choice of bath or shower



1000 x 1000 x 100mm zone kept clear to enable fitting of rails.

Example 3.16C
– wheelchair accessible bathroom with shower only – suitable where bath provided in accessible bathroom elsewhere



1000 x 1000 x 100mm zone kept clear to enable fitting of rails.

Diagram 3.16 Examples of wheelchair accessible bathrooms

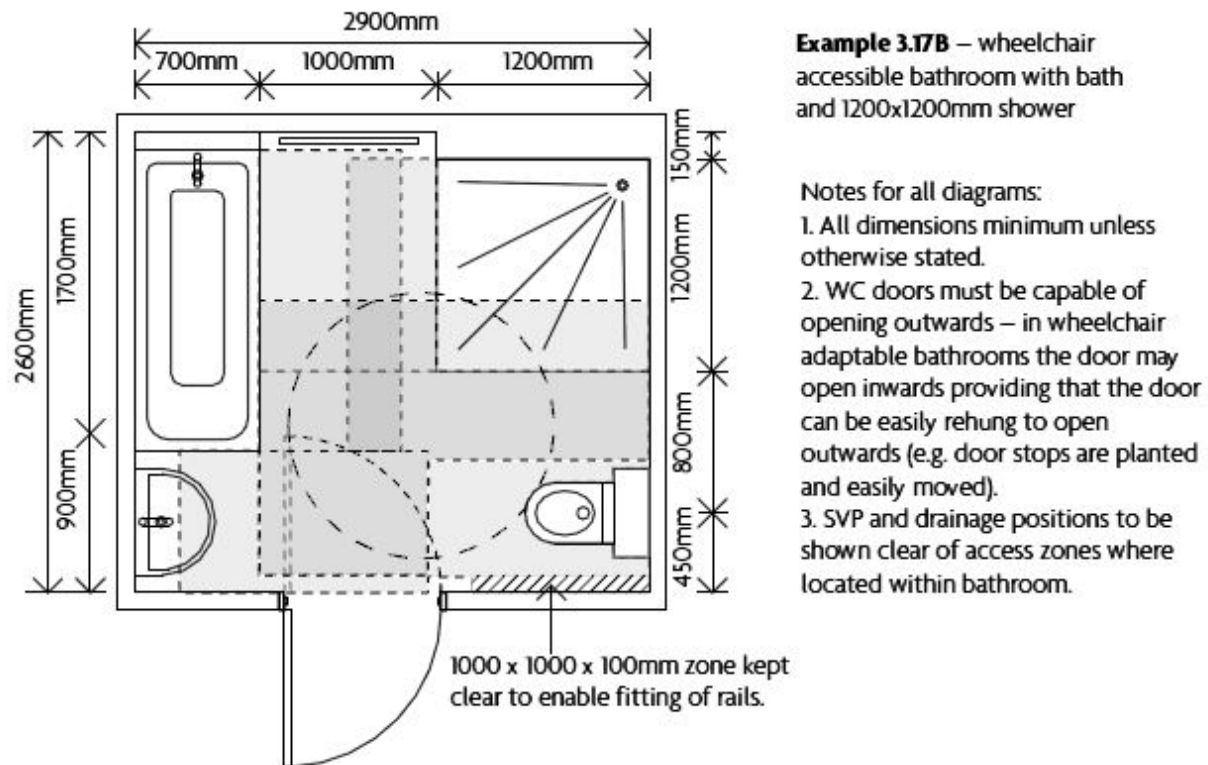
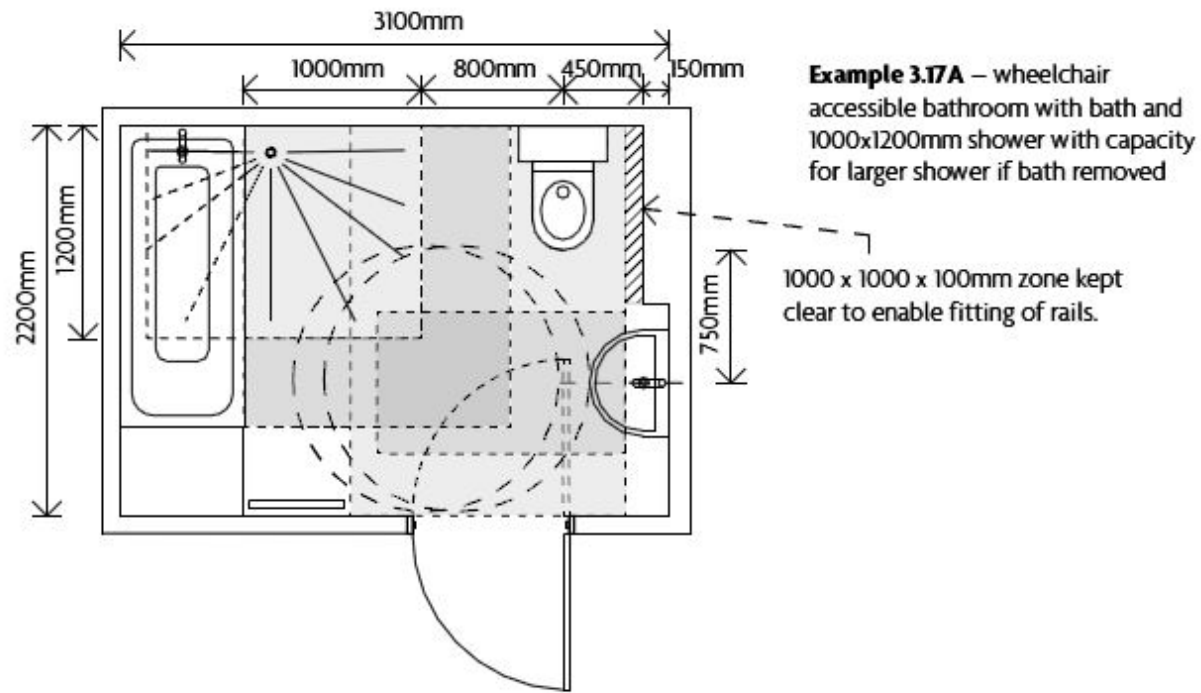


Diagram 3.17 Examples of wheelchair accessible bathrooms with both bath and shower

<p>21. Services and controls To assist wheelchair users who have reduced reach, services and controls should comply with all of the following:</p> <ul style="list-style-type: none"> a. Consumer units should be mounted so that the switches are between 1350mm and 1450mm above floor level. b. Switches, sockets, stopcocks and controls, except controls to radiators, are located with their centre line 700-1000mm above floor level and a minimum of 700mm (measured horizontally) from an inside corner, and are not positioned behind appliances. c. Kitchen appliances in wheelchair accessible dwellings have isolators located within the same height range. d. The handle to at least one window in the principal living area is 700-1000mm above floor level, unless fitted with a remote opening device that is within this height range. e. Handles to all other windows are 450mm-1200mm above floor level, unless the window is fitted with a remote opening device that is within this height range. f. Door handles, locks, latches and catches are both: <ul style="list-style-type: none"> - Easy to grip and use - Fitted 850-1000mm above floor level g. Light switches are on individual plates unless wide rocker or full plate fittings are provided. h. Switches to double socket outlets are located at the outer ends of the plate (rather than in the centre). i. A door entry phone with remote door release facility is provided in the main living space and the principal bedroom. j. Suitable provision is made in the principal bedroom to install bedhead controls in the future (comprising a 2-way light switch, telephone and broadband socket, TV aerial and power socket outlets, and the door entry phone provision described above, grouped adjacent to the head of the bed), for example, by providing blank sockets, conduit and draw wires. k. A main electrical power socket and telephone point are provided together in the main living space. l. Taps and bathroom controls are suitable for a person with limited grip to operate and for single handed operation. m. Boiler timer controls and thermostats are either mounted 900-1200mm above floor level on the boiler, or separate controllers (wired or wireless) are mounted elsewhere in an accessible location within the same height range. n. In wheelchair accessible dwellings, radiator controls are mounted 450-1000mm above floor level. 	<p>Compliant</p>	<p>Controls, where currently specified, will be designed within the ranges specified in clause 16. These will otherwise be picked up in Stage 5 of the project.</p> <p>Windows (with the exception of the fire rated windows, which will not be accessible) will be cleaned by residents, and windows will open to the inside, providing safe access to cleaning.</p>
<p>22. Private outdoor space To enable a wheelchair user to use every private outdoor space that is provided, whether a private garden, balcony or roof terrace, outdoor space should comply with all of the following:</p> <ul style="list-style-type: none"> a. Every outdoor space both: <ul style="list-style-type: none"> - Has a minimum clear width of 1500mm - Provides a minimum 1500mm level clear turning circle, free of any door swing b. There is a level or gently sloping path with a minimum clear width of 1050mm to every private refuse, recycling, cycle or other external store. 	<p>Partially compliant – dispensation required</p>	<p>The private terrace on L08 has been designed in accordance with Clause 22. This is with the exception of the door reveal to the terrace door, as discussed in clause 6 above.</p>

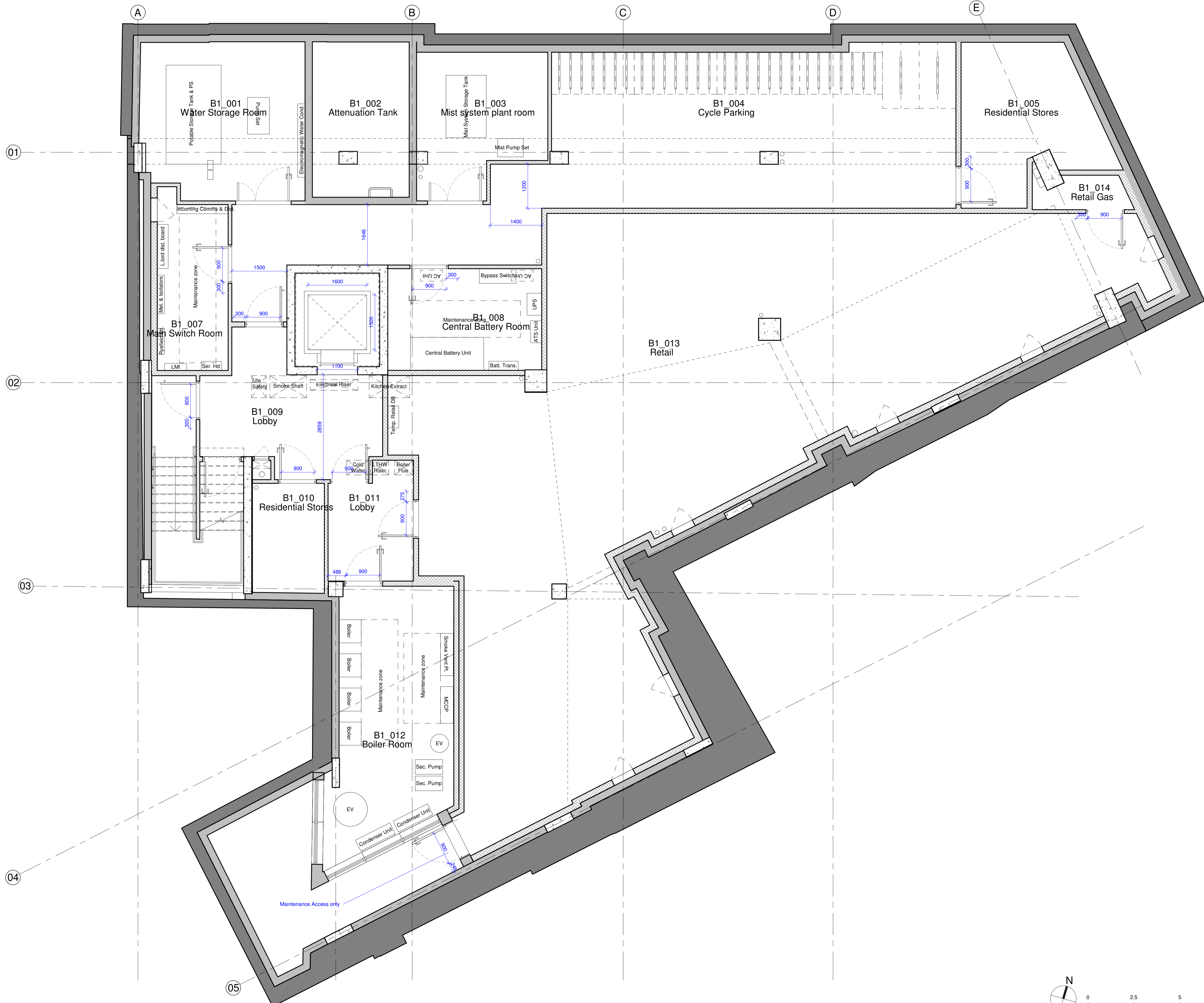
<ul style="list-style-type: none">c. Every path terminates in a clear turning circle a minimum of 1500mm in diameter.d. Every gate/gateway has a minimum clear opening width of 850mm, a minimum 300mm nib to the leading edge and a minimum 200mm nib to the following edge.e. The door to every private external store that is integral with, or connected to, the dwelling has a minimum clear opening width of 850mm.f. All paved areas have a suitable ground surface.		

4 Conclusion

Design development will aim to maintain and improve accessibility throughout the site through ongoing review and collaboration between the design team and Arup Accessible Environments. Design developments – including the consideration of colours, lighting, markings, sizes, surface finishes and handrails – would continue to be reviewed by Arup Accessible Environments with the aim of maintaining and improving accessibility throughout the building and site.

The Medius House project has been designed by the project team with inclusive access in mind, and has taken into account relevant policy, regulations and good practice. This will be developed further in subsequent design stages by the project team.

Appendix A – Non- Compliance Mark Ups



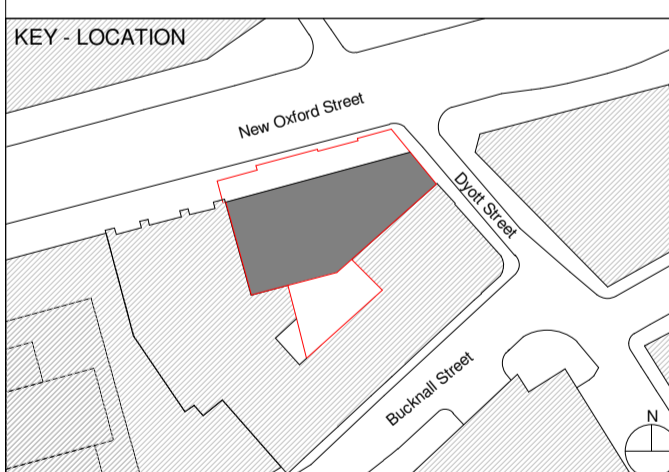
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Notes
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- Key**
- Part M4(3) Area Required
 - Part M4(3) Kitchen Worktop Length
 - 735
 - Measurements for Part M4(2) or Part M4(3) Compliance check.

Rev	Reason for Issue	Date	Iss
03	Stage 4 - Addendum	28/06/2019	Apt
02	Stage 4	31/05/2019	Apt
01	Stage 4 - Draft	03/05/2019	Apt
00	Stage 04 - MLM for Review	16/04/2019	Apt

Consultants
Structural Engineer: Davies Maguire
MEP Engineer: GDM Partnership
Project Manager: CBRE



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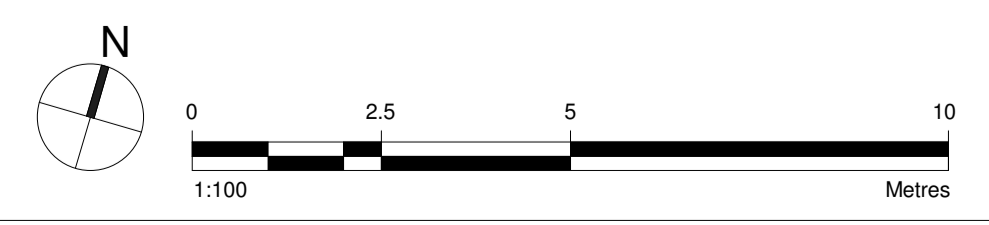
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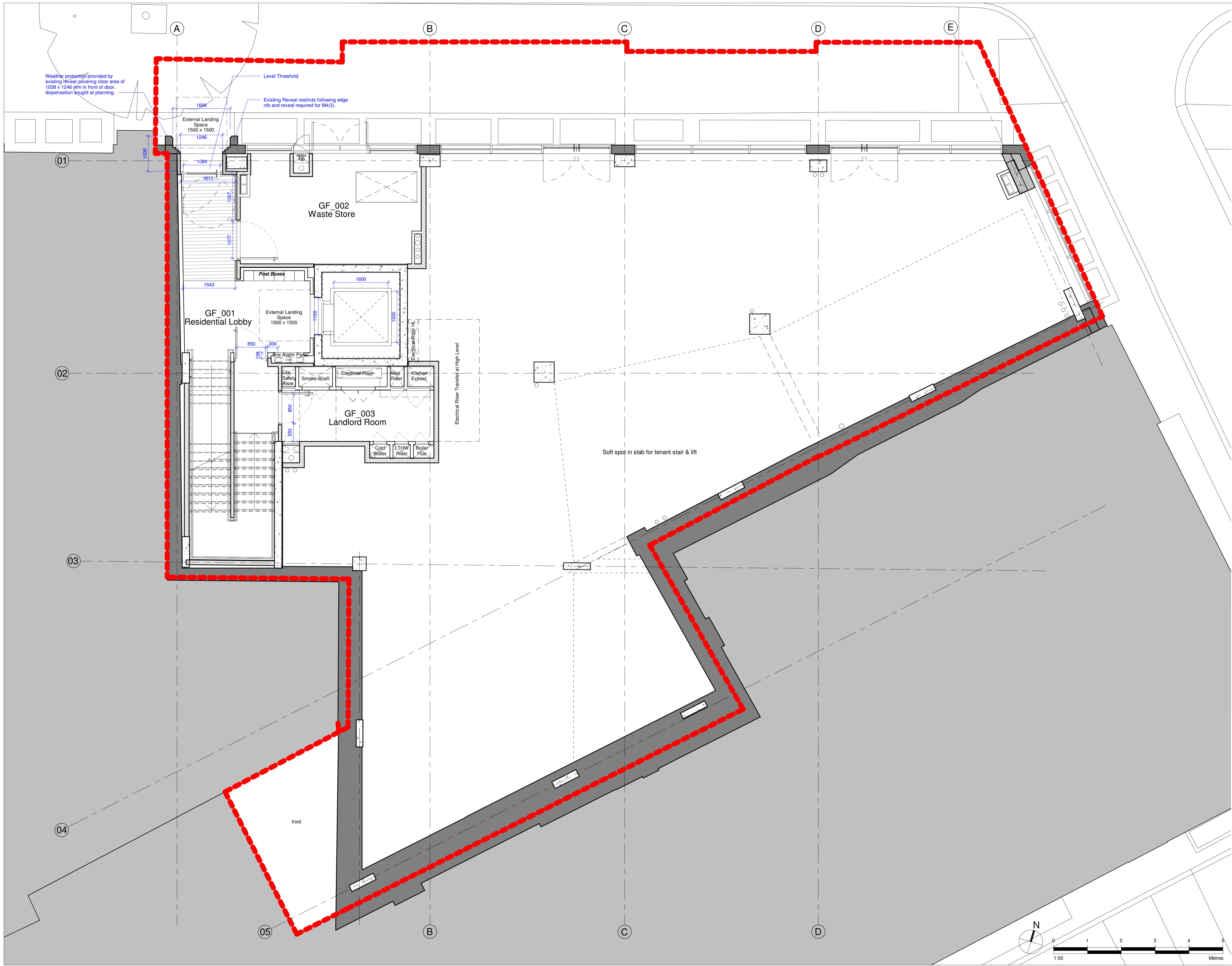
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Weather protection provided by existing reveal covering clear area of 1038 x 1246 mm in front of door. dispensation sought at planning.

Level Threshold

Existing Reveal restricts following edge nib and reveal required for M4(3).

External Landing Space 1500 x 1500

External Landing Space 1500 x 1500

GF_001 Residential Lobby

GF_002 Waste Store

GF_003 Landlord Room

Soft spot in slab for tenant stair & lift

Electrical Riser Transfer at High Level

Void

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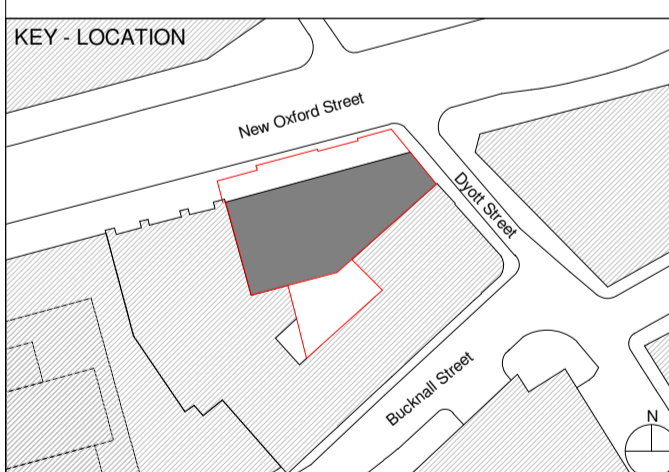
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Key

- Part M4(3) Area Required
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Consultants
Structural Engineer: Davies Maguire
MEP Engineer: GDM Partnership
Project Manager: CBRE



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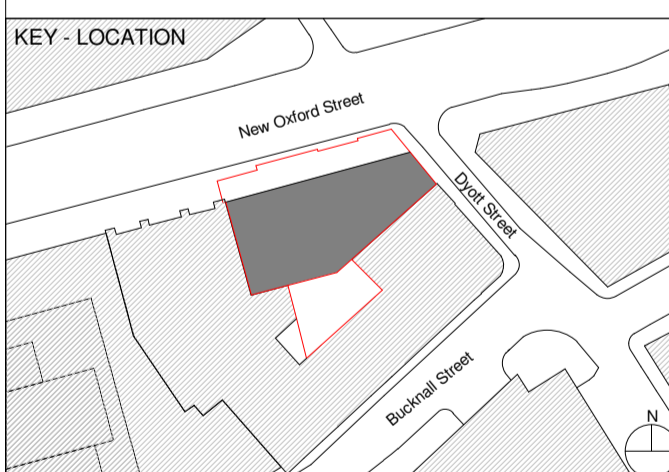
APARTMENT MIX
 LEVEL 01 MIX - 2 APARTMENTS - SOCIALLY RENTED
 1 x 1 bed 2 person
 1 x 3 bed 5
 1 x 3 bed 5 person duplex (lower level)

OVERALL MIX : 18 APARTMENTS
 Socially rented: 10 apartments
 4 x 1 bed 2 person
 1 x 2 bed 4 person Wheelchair Accessible
 5 x 3 bed 5 person

Intermediate Rented: 8 Apartments
 4 x Studio
 4 x 2 bed 4 person

03	Stage 4 - Addendum	28/06/2019	Apt
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01	Stage 4 - Draft	03/05/2019	Apt
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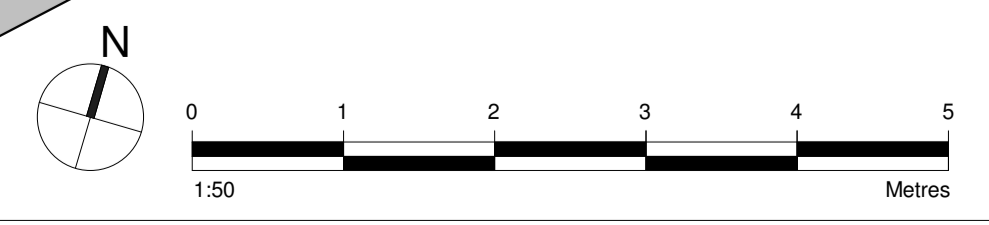
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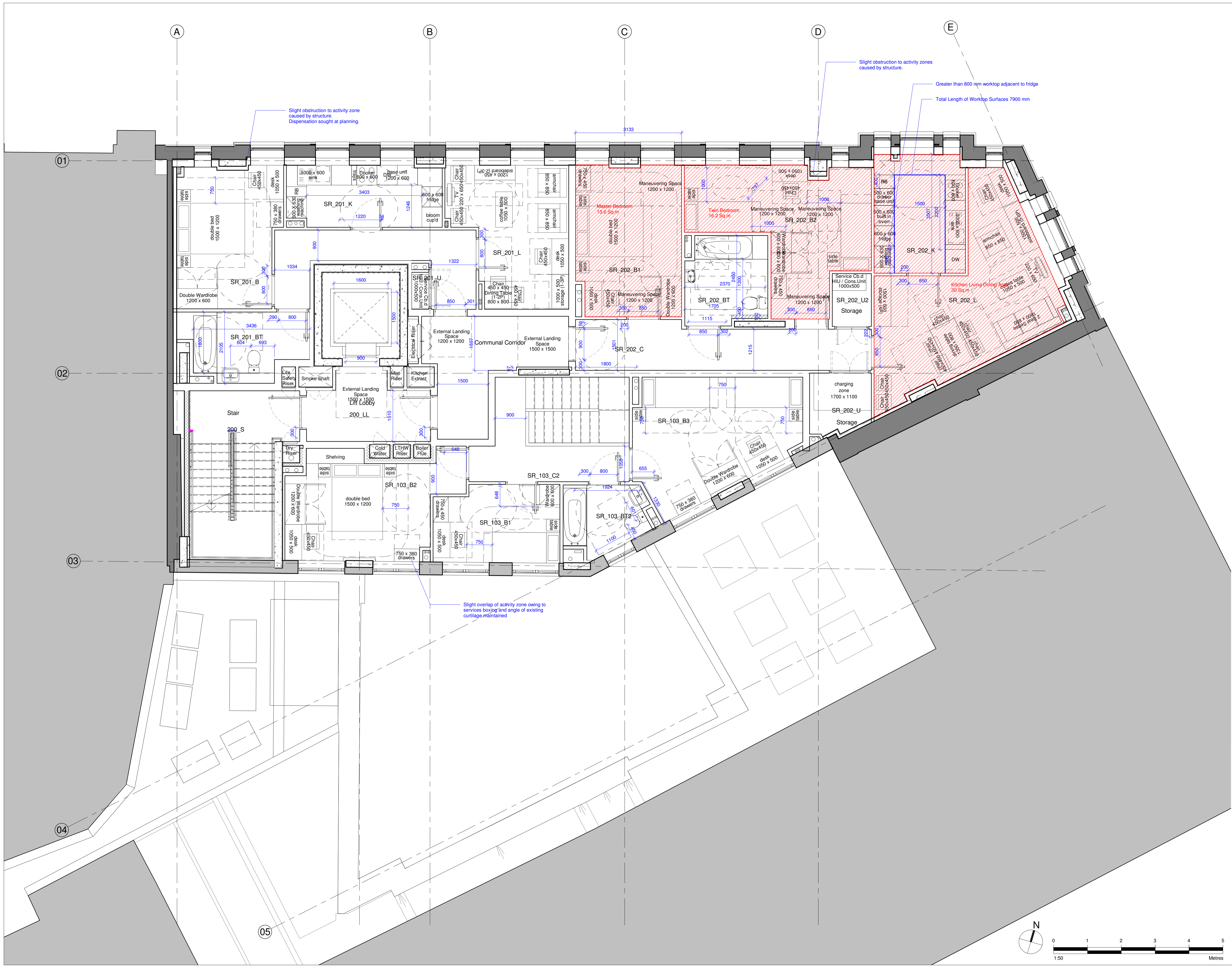
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- Part M4(3) Area Required
- Part M4(3) Kitchen Worktop Length
- Measurements for Part M4(2) or Part M4(3) Compliance check.

APARTMENT MIX

LEVEL 02 MIX - 3 APARTMENTS - SOCIALLY RENTED

- 1 x 1 bed 2 person
- 1 x 2 bed 4 person Wheelchair Accessible
- 1 x 3 bed 5 person duplex (upper level)

OVERALL MIX : 18 APARTMENTS

Socially rented: 10 apartments

- 4 x 1 bed 2 person
- 1 x 2 bed 4 person Wheelchair Accessible
- 5 x 3 bed 5 person

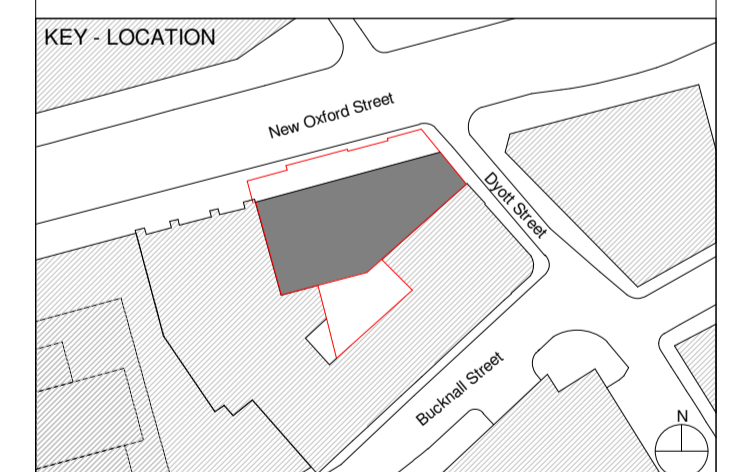
Intermediate Rented: 8 Apartments

- 4 x Studio
- 4 x 2 bed 4 person

Rev	Reason for Issue	Date	Iss
03	Stage 4 - Addendum	28/06/2019	Apt
02	Stage 4	31/05/2019	Apt
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Consultants

Structural Engineer: Davies Maguire
MEP Engineer: GDM Partnership
Project Manager: CBRE



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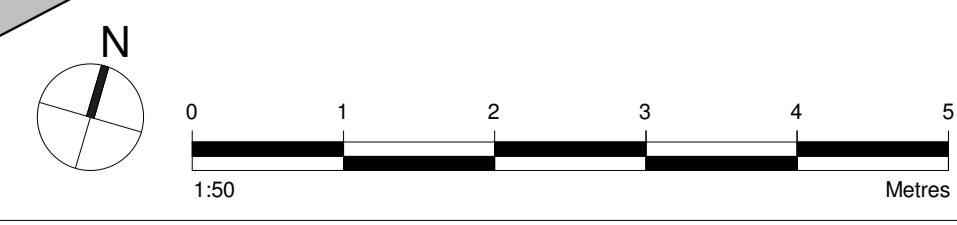
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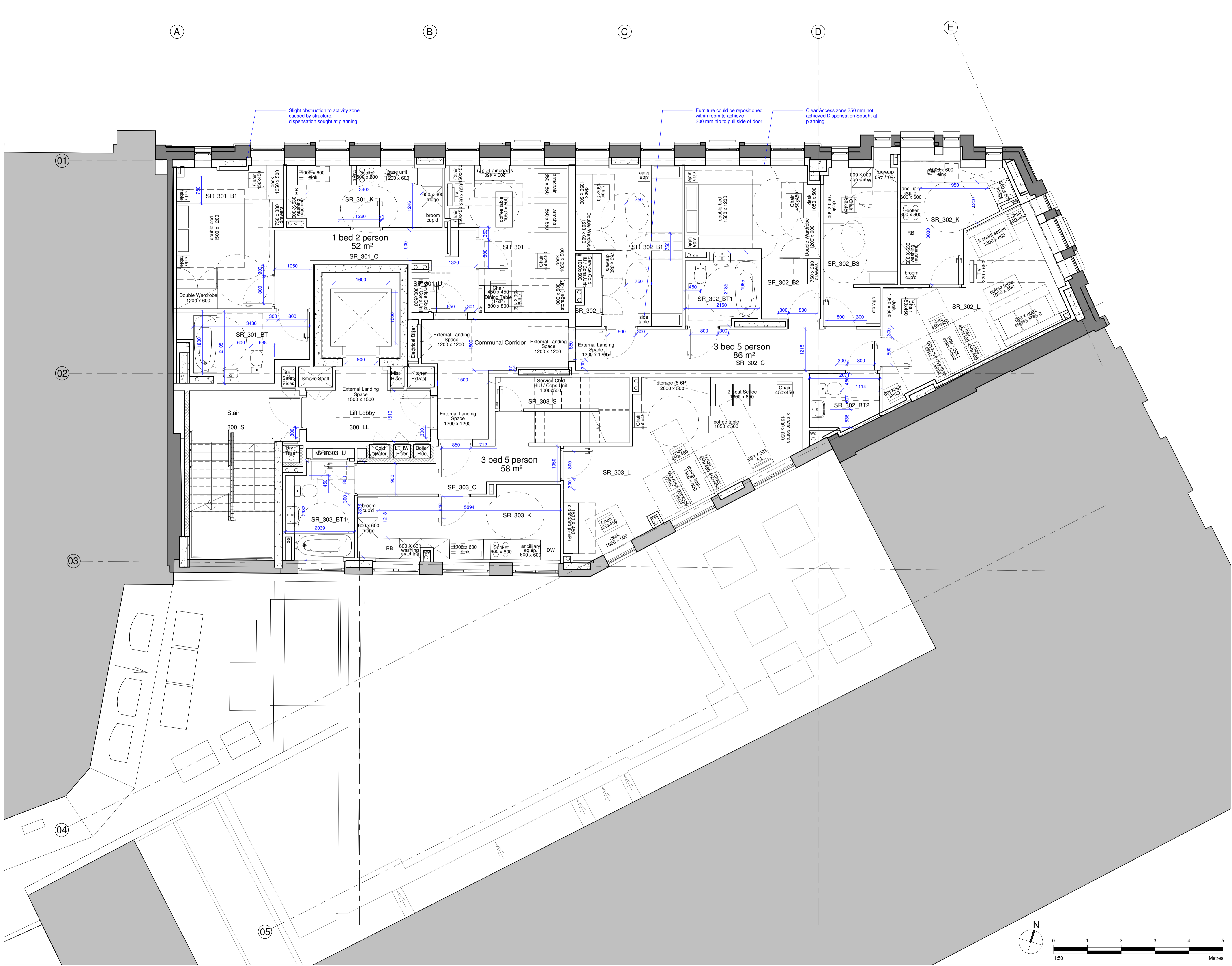
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Key

- Part M4(3) Area Required
- Part M4(3) Kitchen Worktop Length
- 735
- Measurements for Part M4(2) or Part M4(3) Compliance check.

APARTMENT MIX

LEVEL 03 MIX - 3 APARTMENTS - SOCIALLY RENTED

- 1 x 1 bed 2 person
- 1 x 3 bed 5 person
- 1 x 3 bed 5 person duplex (lower level)

OVERALL MIX : 18 APARTMENTS

Socially rented: 10 apartments

- 4 x 1 bed 2 person
- 1 x 2 bed 4 person Wheelchair Accessible
- 5 x 3 bed 5 person

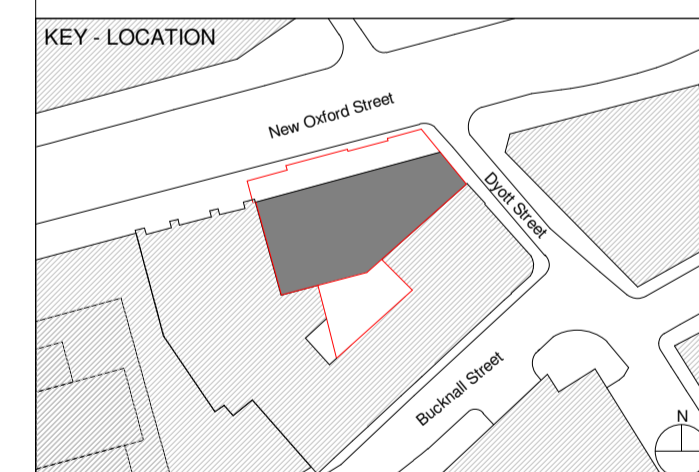
Intermediate Rented: 8 Apartments

- 4 x Studio
- 4 x 2 bed 4 person

Rev	Date	Iss
03	28/06/2019	Apt
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01	03/05/2019	Apt
00	16/04/2019	Apt

Consultants

Structural Engineer: Davies Maguire
MEP Engineer: GDM Partnership
Project Manager: CBRE



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Level 03 Plan

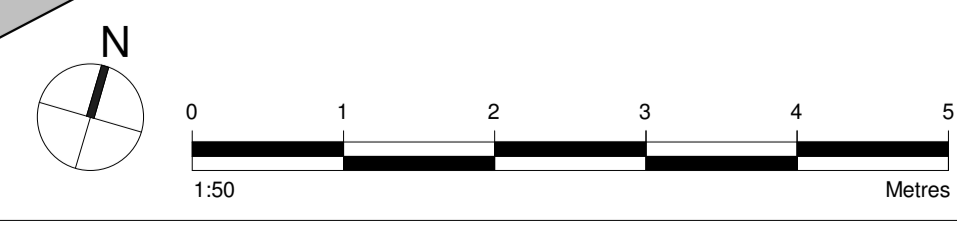
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- Part M4(3) Kitchen Worktop Length
- 735
- Measurements for Part M4(2) or Part M4(3) Compliance check.

APARTMENT MIX
LEVEL 04 MIX - 3 APARTMENTS - SOCIALLY RENTED

- 1 x 1 bed 2 person
- 1 x 3 bed 5 person
- 1 x 3 bed 5 person duplex (upper level)

OVERALL MIX : 18 APARTMENTS

Socially rented: 10 apartments

- 4 x 1 bed 2 person
- 1 x 2 bed 4 person Wheelchair Accessible
- 5 x 3 bed 5 person

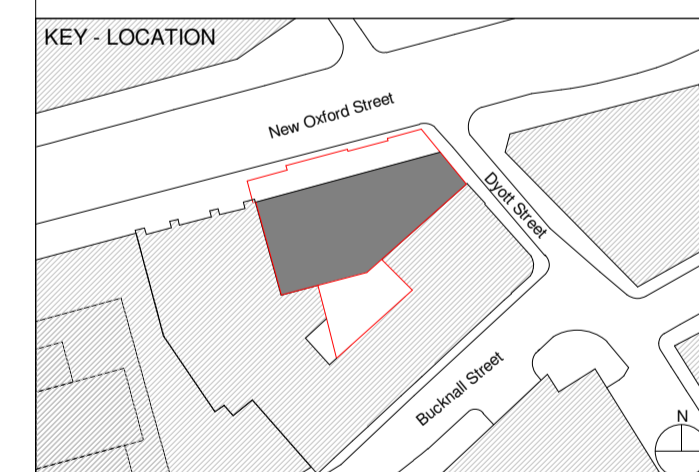
Intermediate Rented: 8 Apartments

- 4 x Studio
- 4 x 2 bed 4 person

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Consultants

- Structural Engineer: Davies Maguire
- MEP Engineer: GDM Partnership
- Project Manager: CBRE



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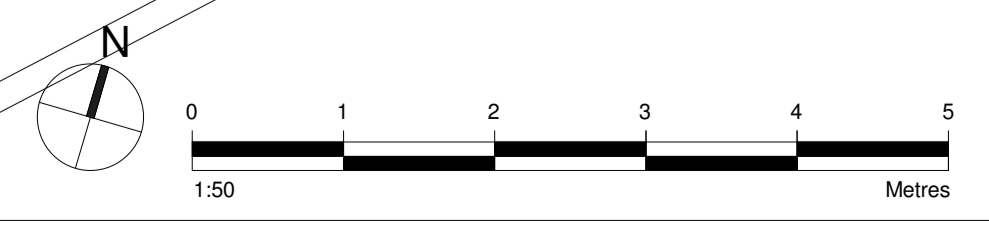
Project
Medius House

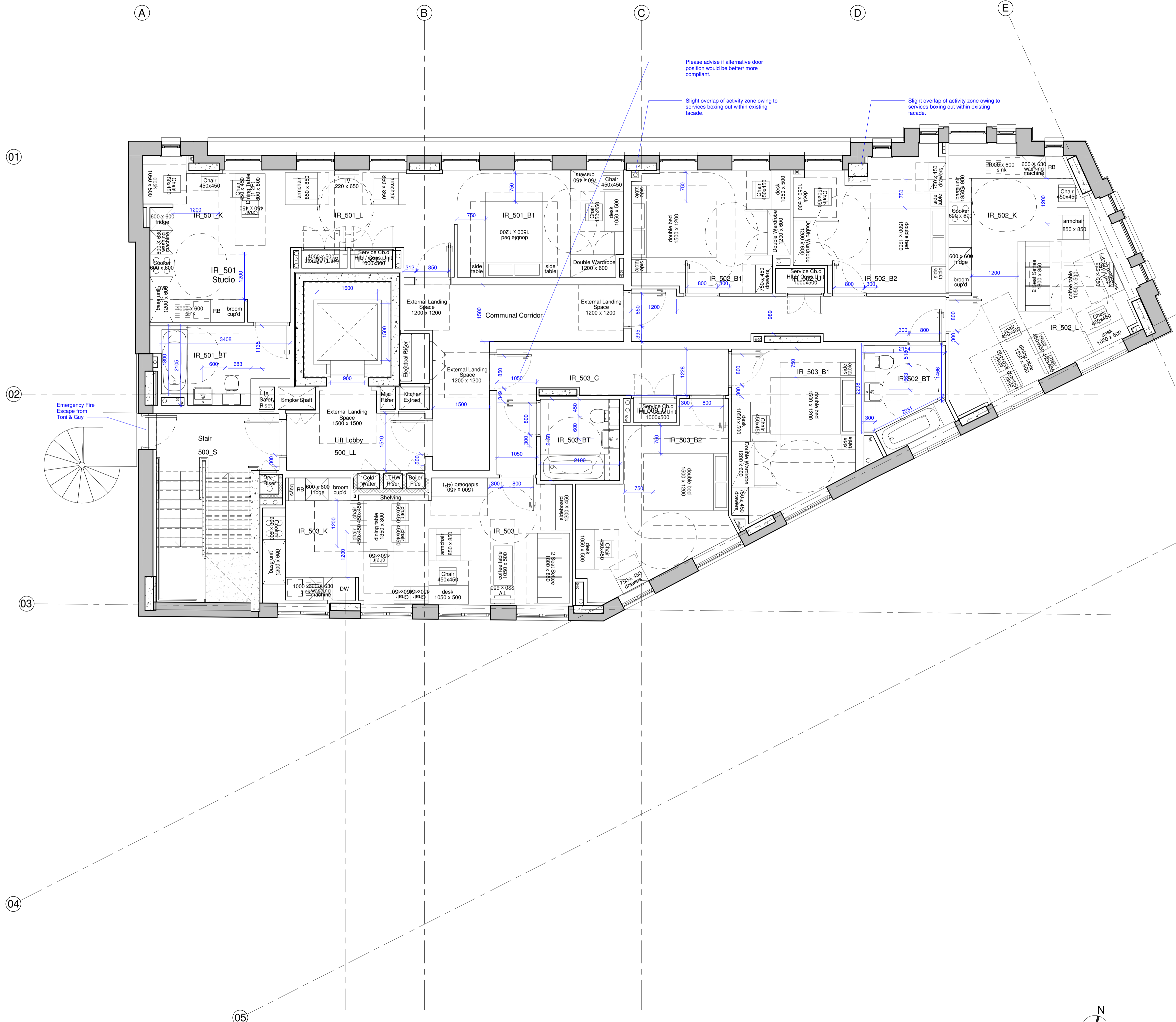
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Key

- Part M4(3) Area Required
- Part M4(3) Kitchen Worktop Length
- 735
- Measurements for Part M4(2) or Part M4(3) Compliance check.

APARTMENT MIX
LEVEL 05 MIX - 3 APARTMENTS - INTERMEDIATE RENTED

1 x Studio
2 x 2 bed 4 person

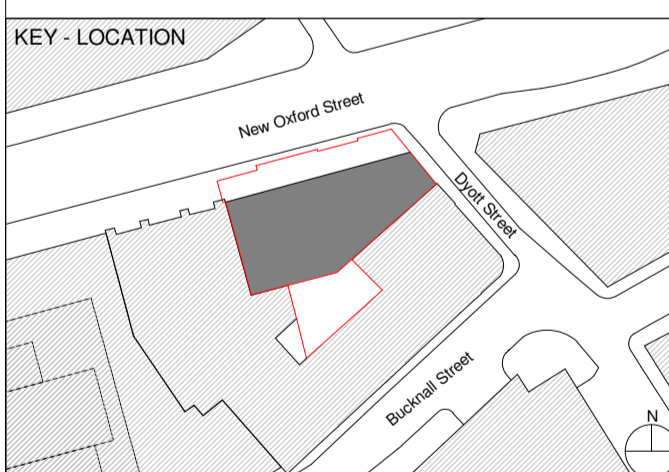
OVERALL MIX : 18 APARTMENTS

Socially rented: 10 apartments
4 x 1 bed 2 person
1 x 2 bed 4 person Wheelchair Accessible
5 x 3 bed 5 person

Intermediate Rented: 8 Apartments
4 x Studio
4 x 2 bed 4 person

03	Stage 4 - Addendum	28/06/2019	Apt
02	Stage 4	31/05/2019	Apt
01	Stage 4 - Draft	03/05/2019	Apt
00	Stage 04 - MLM for Review	16/04/2019	Apt
Rev	Reason for Issue	Date	Iss

Consultants
Structural Engineer: Davies Maguire
MEP Engineer: GDM Partnership
Project Manager: CBRE



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Client
Royal London Asset Management

Project
Medius House

Drawing Title
Compliance
Level 05 Plan

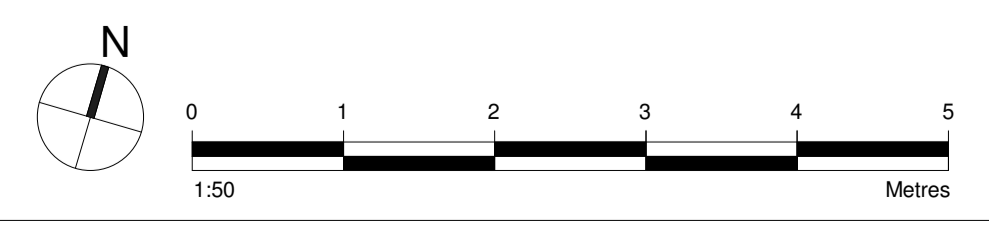
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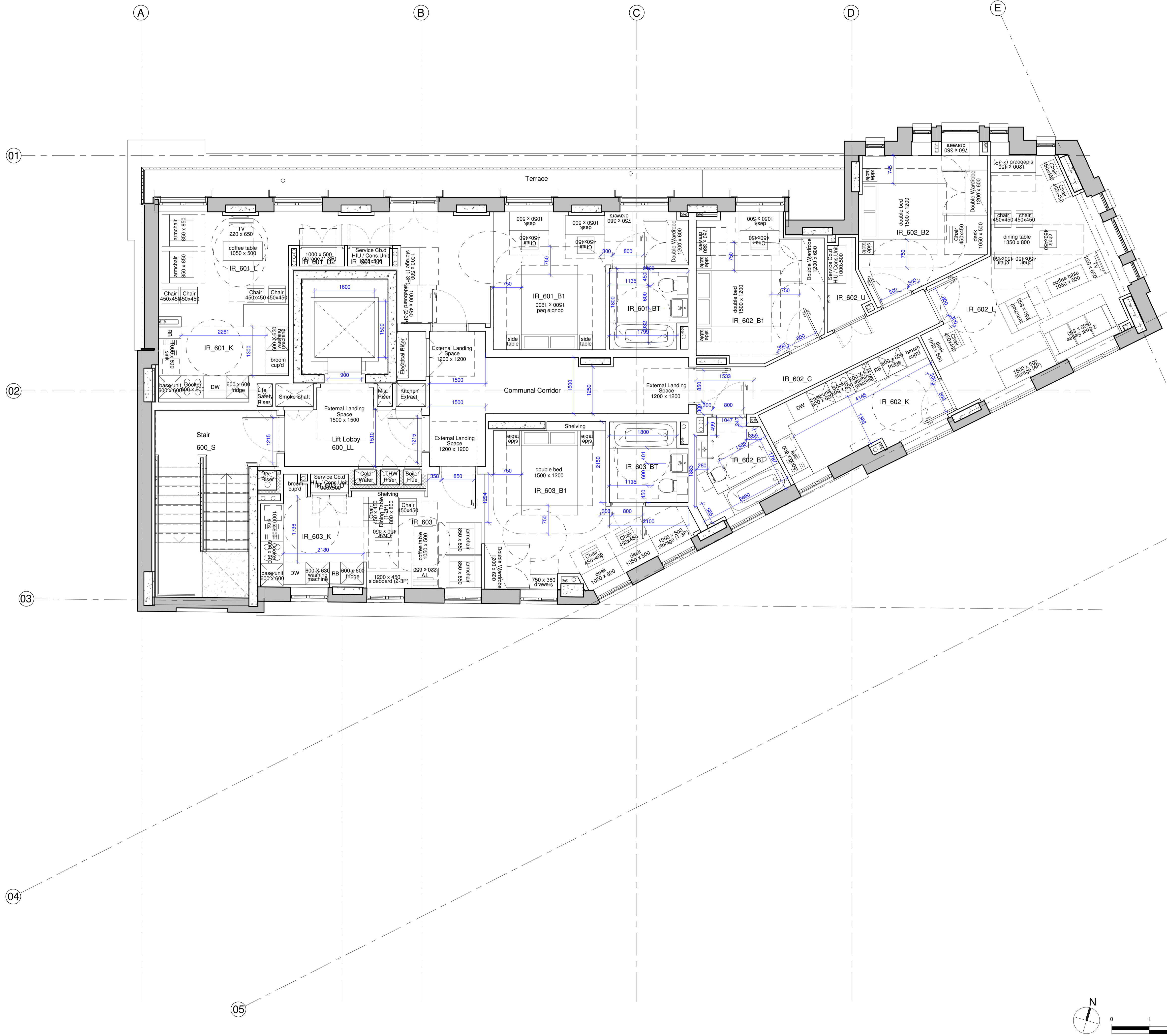
Drawn By
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Stage 4

Project No.	Drawing No.	Revision
18013	A_99_105	03





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Notes
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Key

- Part M4(3) Area Required
- Part M4(3) Kitchen Worktop Length
- Measurements for Part M4(2) or Part M4(3) Compliance check.

APARTMENT MIX
LEVEL 06 MIX - 3 APARTMENTS - INTERMEDIATE RENTED

2 x Studio
1 x 2 bed 4 person

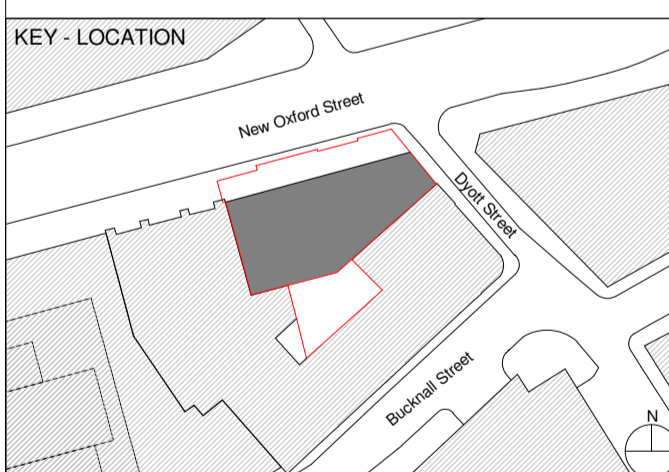
OVERALL MIX : 18 APARTMENTS

Socially rented: 10 apartments
4 x 1 bed 2 person
1 x 2 bed 4 person Wheelchair Accessible
5 x 3 bed 5 person

Intermediate Rented: 8 Apartments
4 x Studio
4 x 2 bed 4 person

Rev	Reason for Issue	Date	Iss
03	Stage 4 - Addendum	28/06/2019	Apt
02	Stage 4	31/05/2019	Apt
01	Stage 4 - Draft	03/05/2019	Apt
00	Stage 04 - MLM for Review	16/04/2019	Apt

Consultants
Structural Engineer: Davies Maguire
MEP Engineer: GDM Partnership
Project Manager: CBRE



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Project
Medius House

Drawing Title
Compliance
Level 06 Plan

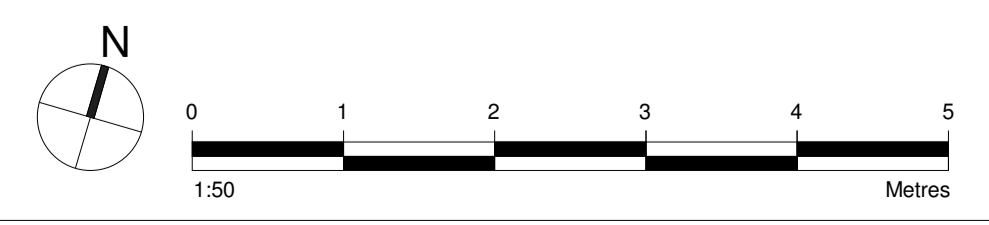
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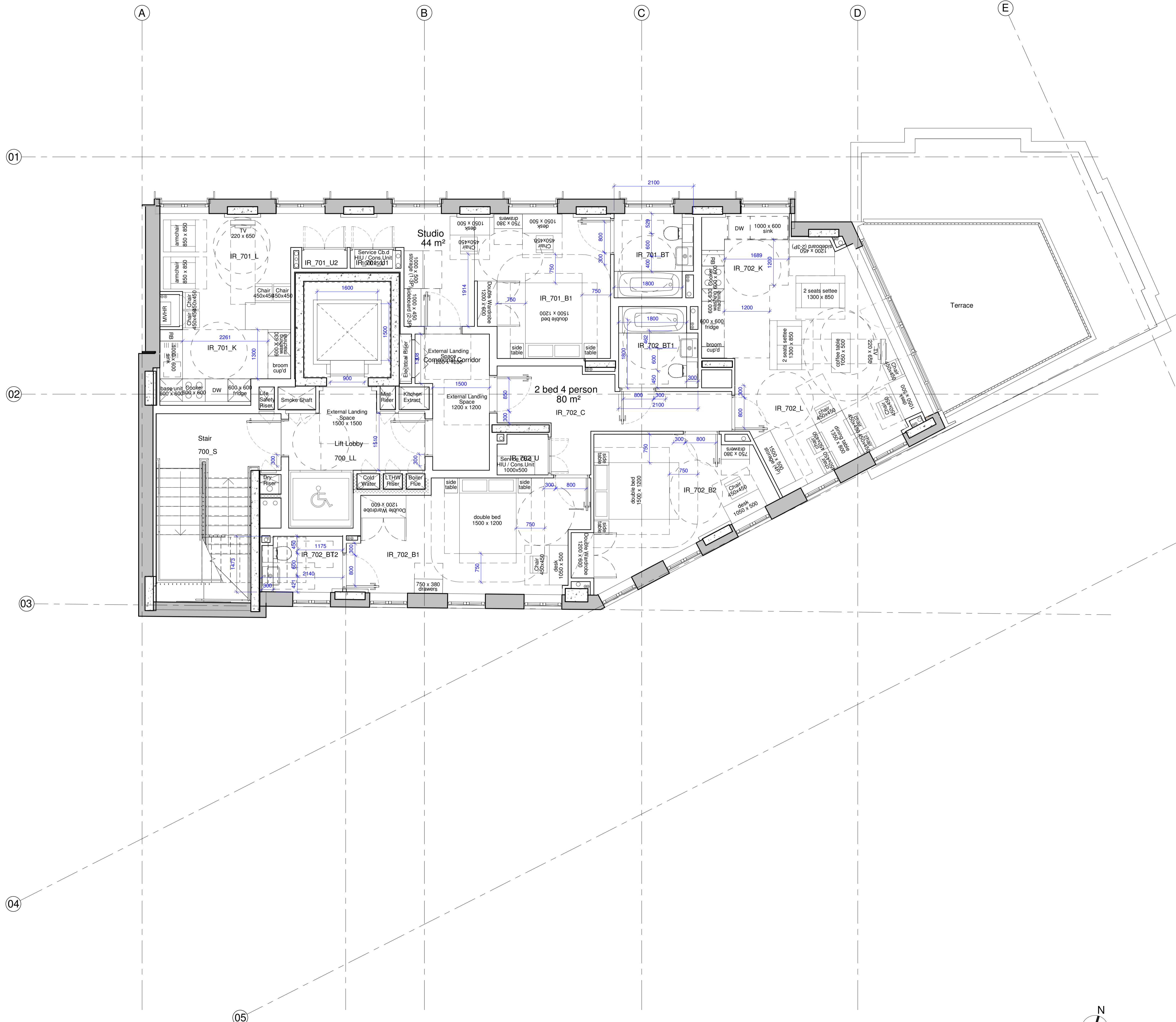
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Stage 4

Project No.	Drawing No.	Revision
18013	A_99_106	03





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Key

- Part M4(3) Area Required
- Part M4(3) Kitchen Worktop Length
- 735 Measurements for Part M4(2) or Part M4(3) Compliance check.

APARTMENT MIX
LEVEL 07 MIX - 3 APARTMENTS - INTERMEDIATE RENTED

1 x Studio
1 x 2 bed 4 person

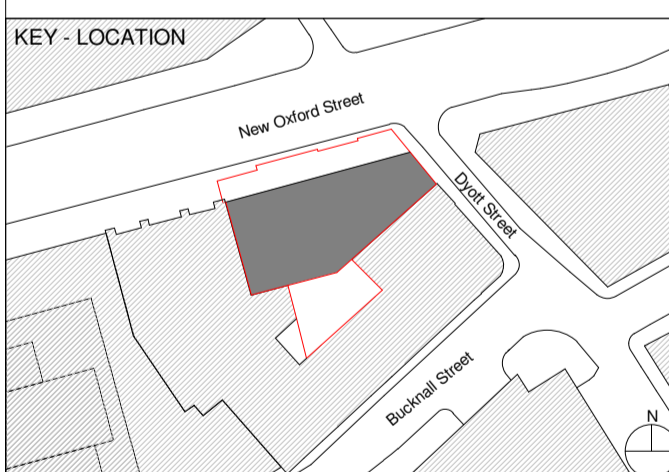
OVERALL MIX : 18 APARTMENTS

Socially rented: 10 apartments
4 x 1 bed 2 person
1 x 2 bed 4 person Wheelchair Accessible
5 x 3 bed 5 person

Intermediate Rented: 8 Apartments
4 x Studio
4 x 2 bed 4 person

Rev	Reason for Issue	Date	Iss
03	Stage 4 - Addendum	28/06/2019	Apt
02	Stage 4	31/05/2019	Apt
01	Stage 4 - Draft	03/05/2019	Apt
00	Stage 04 - MLM for Review	16/04/2019	Apt

Consultants
Structural Engineer: Davies Maguire
MEP Engineer: GDM Partnership
Project Manager: CBRE



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Project
Medius House

Drawing Title
Compliance
Level 07 Plan

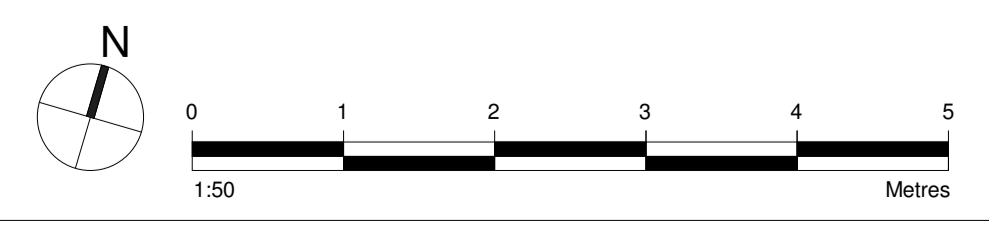
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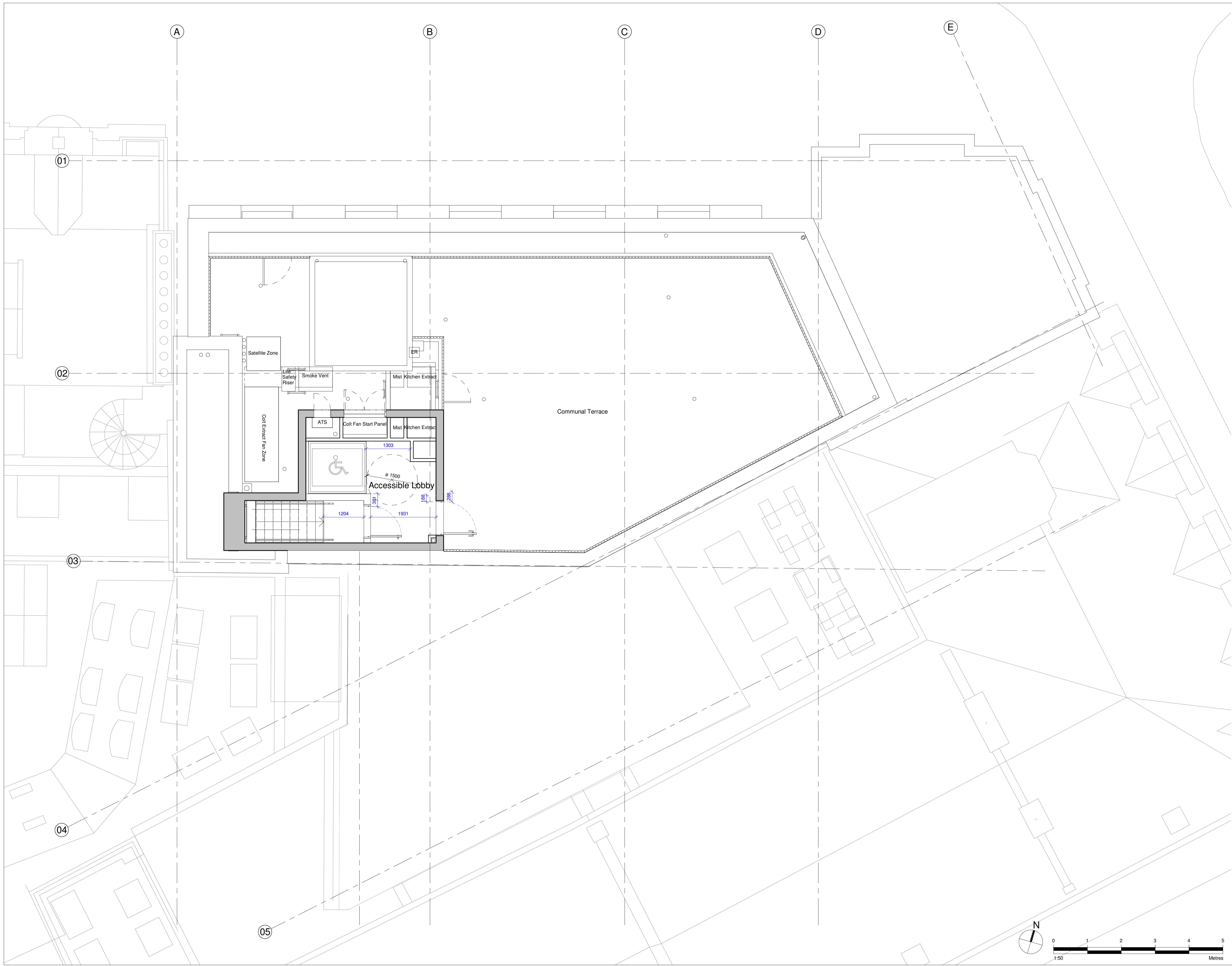
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Project No.	Drawing No.	Revision
18013	A_99_107	03





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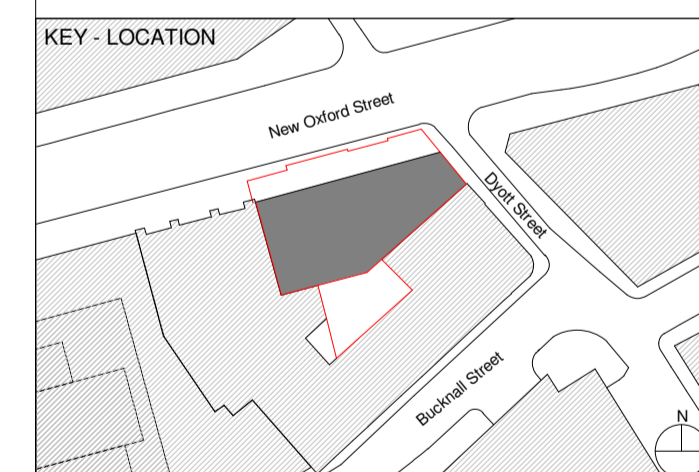
Notes
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Key

- Part M4(3) Area Required
- Part M4(3) Kitchen Worktop Length
- 735
- Measurements for Part M4(2) or Part M4(3) Compliance check.

Rev	Reason for Issue	Date	Iss
03	Stage 4 - Addendum	28/06/2019	Apt
02	Stage 4	31/05/2019	Apt
01	Stage 4 - Draft	03/05/2019	Apt
00	Stage 04 - MLM for Review	16/04/2019	Apt

Consultants
Structural Engineer: Davies Maguire
MEP Engineer: GDM Partnership
Project Manager: CBRE



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Project
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Drawing Title
Compliance
Level 08 Roof Terrace Plan

Scale
1 : 50 @ A1

Stage 4

Project No.	Drawing No.	Revision
18013	A_99_108	03

