

DESIGN AND ACCESS STATEMENT

Demolition of existing rear extension, basement proposal and rear extension

20a Ferncroft Avenue, London, NW3 7PH

November 2019

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1 INTRODUCTION

1.1 APPLICATION

Trace Architects has been commissioned to submit a proposal for the demolition of an existing rear extension and to propose a basement and rear extension at:

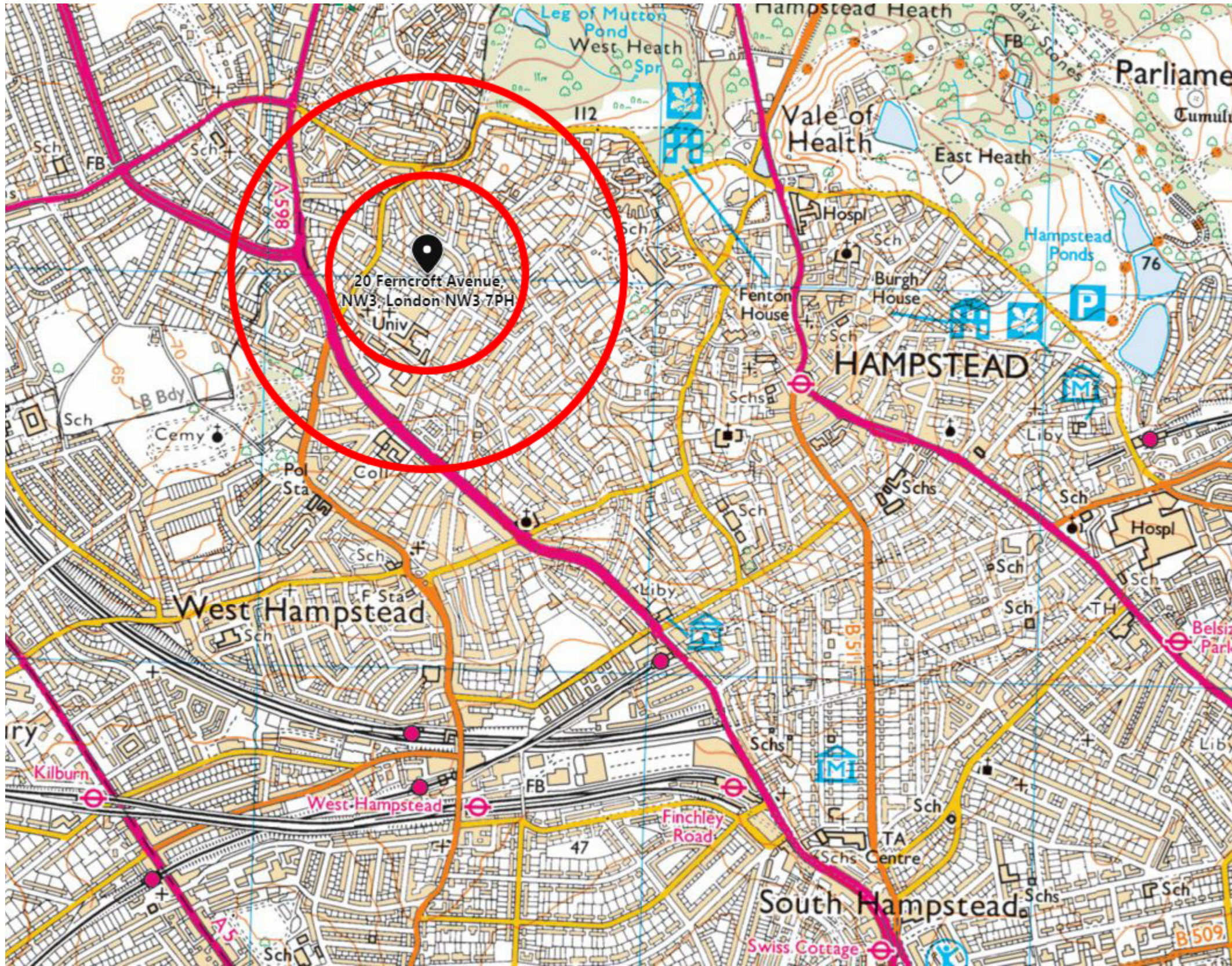
20A FERNCROFT AVENUE, LONDON, NW3 7PH

We have reviewed the relevant planning history and policy relating to the site in making of this application, and this design statement is part of that proposal.

This statement should be read in conjunction with the following related planning application documents:

The application forms, completed on the planning portal. Existing and proposed floor plans, elevations and section as well as planning statement.





SURROUNDING AREA MAP SHOWING SITE

2 CONTEXT

2.1 SITE AND CONTEXT

The proposed site is located in North London within Hampstead area.

2.2 ACCESSIBILITY AND TRANSPORT

Property is located within close proximity to public road A41 as well as A5982. West Hampstead and Hampstead underground stations as well as West Hampstead Thameslink are within close proximity as well as local bus transport.

● TRAIN STATION



EXISTING BUILDING FRONT VIEW



EXISTING BUILDING REAR VIEW



EXISTING BUILDING FRONT VIEW AT NEIGHBOUR SIDE BOUNDARY



EXISTING BUILDING REAR VIEW LOOKING AT NEIGHBOUR BOUNDARY



EXISTING SITE REAR GARDEN

3 SITE

3.1 EXISTING HOUSE

The plot 20a Ferncroft Avenue is located between 20 Ferncroft Avenue and 22 Ferncroft Avenue consists of 273 sq. m. Dwelling is two floor semi-detached building with five bedrooms with rear extension. The site has a gentle slope, and the dwelling is set back from the street, at a lower level. Boundary treatment on the street includes timber panelling. Access to the current house is via a driveway.

4 PRE-APPLICATION ADVICE

Pre-application advice was received by Camden Planning Authority on 2nd May 2019 together with the required fee. Overall conclusion on proposal for basement and rear acceptable in principle.

4.1 Overview

1.1. Advice is sought in relation to a proposed basement extension, enlarged single storey rear extension and addition of side dormers to the front roof slopes to the dwellinghouse.

1.2. The existing rear extension appears to have been added following planning approval in 2003 (planning ref 2003/2488/P). The rear dormer, alterations to the roof and the front lower bay were consented in 2006 (ref 2006/5643/P). The front boundary treatment appears to be recent.

1.3. The site is a two-storey single-family dwelling house located on the north east side of Ferncroft Avenue. The dwelling forms an early infill development in the form of a coach house attached to No 20 Ferncroft Avenue and sits subordinately in relation to its attached neighbour. The site is in the Redington/Froggnal Conservation Area (CA) and the property is noted in the Conservation Area Statement as making a positive contribution to the character and appearance of the Conservation Area.

2. Assessment

2.1. The basement proposals involve a new glazed lightwell to the front of the property, with the remainder of the excavation wholly under the footprint of the dwelling, as enlarged by the single storey rear extension.

2.2. The principle of a single storey basement on this site is acceptable. The scale of the basement is presented as meeting the criteria of policy A5 (a-m).

2.3. The street is characterised by relatively deep front gardens which are often sloped and some of which have existing lightwells or basement level carparking. The dwelling has a low wall with hedging separating the parking area from the front bay which has the appearance of a lightwell upstand. It is considered that there is sufficient precedent and variety in the neighbouring front gardens for a front lightwell to be in keeping with the context and the principle of the lightwell is therefore acceptable. The depth of the proposed lightwell means that it would not be overly visible from the street and is therefore acceptable. The glazed approach is also acceptable although it should be accompanied by a small upstand on the forecourt side to shield it in views from the street.

2.4. Although the proposed basement is only inset marginally from the boundaries at the rear, it would be entirely under the extended property and therefore would not prejudice the ability of the site to maintain a planted margin. This is acceptable.

2.5. However, there are several trees in the neighbouring garden immediately adjacent to the extended footprint of the basement. Any application for the basement works would need to be accompanied by a Tree Retention and Protection statement prepared by a suitable qualified Arboriculturalist, which identifies how the health and longevity of the trees would not be undermined by the proposals. In the event that an arboricultural survey finds that the proposals would lead to harm to the trees the scale of basement and possibly the rear extension would need to be reduced sufficiently to avoid the harm.

2.6. A planning application for the basement proposals would need to be accompanied by a Basement Impact Assessment (BIA). The Council's records indicate that the application site is in a site of Claygate Beds, which has special significance for its construction and ensuring land stability is maintained. The BIA will need to be produced by an appropriately qualified professional and completed in line with the Council's adopted pro-forma. You are strongly encouraged to review the BIA-related guidance and help notes on the Camden website, including the notes on the Scope of Engineering services required to provide a satisfactory BIA. Full details are available at www.camden.gov.uk/basements.

A Basement Impact assessment has been prepared and is included with this application.

2.7. The BIA would need to be independently audited by the Council's Consulting Engineers and the cost of that would be in addition to the planning application fee. Full details are available at the above link.

2.8. The depth of the proposed extension is not insignificant, however it would still be subordinate to the original building, it would maintain the majority of the rear garden and it would be screened from the neighbouring dwellings on both sides by the existing boundary treatment or by existing extensions. The scale of the extension is therefore acceptable.

2.9. The existing extension has a roof terrace atop. It appears from the drawings that the position and size of the terrace would be maintained as existing. Any enlargement of the roof terrace would raise concerns about the potential for overlooking to neighbouring properties habitable rooms and would be resisted.

No extension to the current roof terrace is proposed.

2.10. Any planning application should include a detailed section of the green roof showing the depth of substrate and should be accompanied by a planting schedule and schedule of maintenance. This would avoid the need for such details to be required in a pre-commencement condition.

A full detail of the green roof terrace is included in the planning drawings.

2.11. It is evident from the proposed section that the rear portion of the extension would step down from the level of the main kitchen. This has three key impacts: 1. It increases the minimum depth of excavation for the basement necessary to achieve acceptable floor-ceiling height at basement level. 2. It results in an overly dominant ground floor rear elevation which accounts for almost 50% of the height of the pitched-roof building. 3. It results in the need for greater excavation of the rear garden area from its existing levels, which may have consequences for the character of the rear garden and trees.

2.12. You are advised to remove the additional step down at the rear portion of the extension in order to minimise its impact, so that the development provides a more balanced rear composition and requires less excavation. For the reasons set out above the scale and design approach of the rear elevation of the ground floor extension is not acceptable as currently proposed.

Further to the pre application advice, the level difference between the existing kitchen and the rear extension has been reduced from 828mm to 580mm. This reduces the excavation required whilst still allowing daylight to reach the lower levels. Excavation reduction is illustrated in Fig.2 & Fig.3 on page 7 of this D&A.

2.13. The proposal is to add dormers to both sides of the front pitched roof. The front gable is a prominent feature of the building and prominent hipped gables are also characteristic of other nearby properties on the street. The Redington Froggnal Conservation Area Statement identifies prominent roof slopes such as these as being sensitive to additions.

No comment.

2.14. The roofscape at the rear has already been altered and raised to accommodate more roofspace and it is considered that the further addition of dormers to the side pitches, at the front of the dwelling, would add unacceptable clutter to the roofscape and would undermine the composition and architectural style of the front of the building. This element of the proposal is therefore not acceptable in principle.

All works to the roof have been removed from this proposal.

2.15. As mentioned above there are a number of trees close to the proposed basement/rear extension. Any proposals would need to include existing/proposed trees on the drawings and a tree survey and protection plan produced by an arboriculturalist would be required to explain how those trees will be protected during the construction process.

Survey and tree protection plan attached to the application.

2.16. Any planning application for the proposals will require a draft Construction Management Plan to be submitted in order to address how the impacts of the extensive excavation would be carried out without harm to the nearby highway and neighbouring amenity. Details of these requirements, including the CMP pro-forma, are provided on the Camden website (search for 'Construction Management Plan'.)

Draft CMP attached to this application.

4A PRE-APPLICATION ADVICE- DIAGRAMS

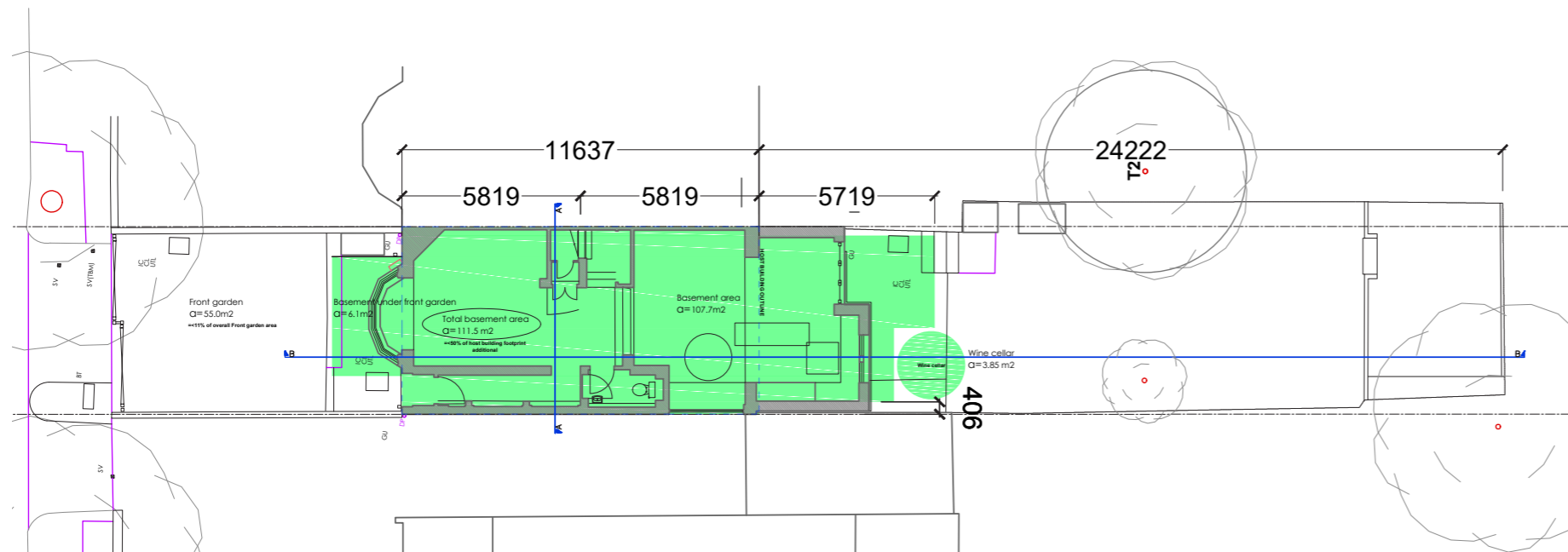
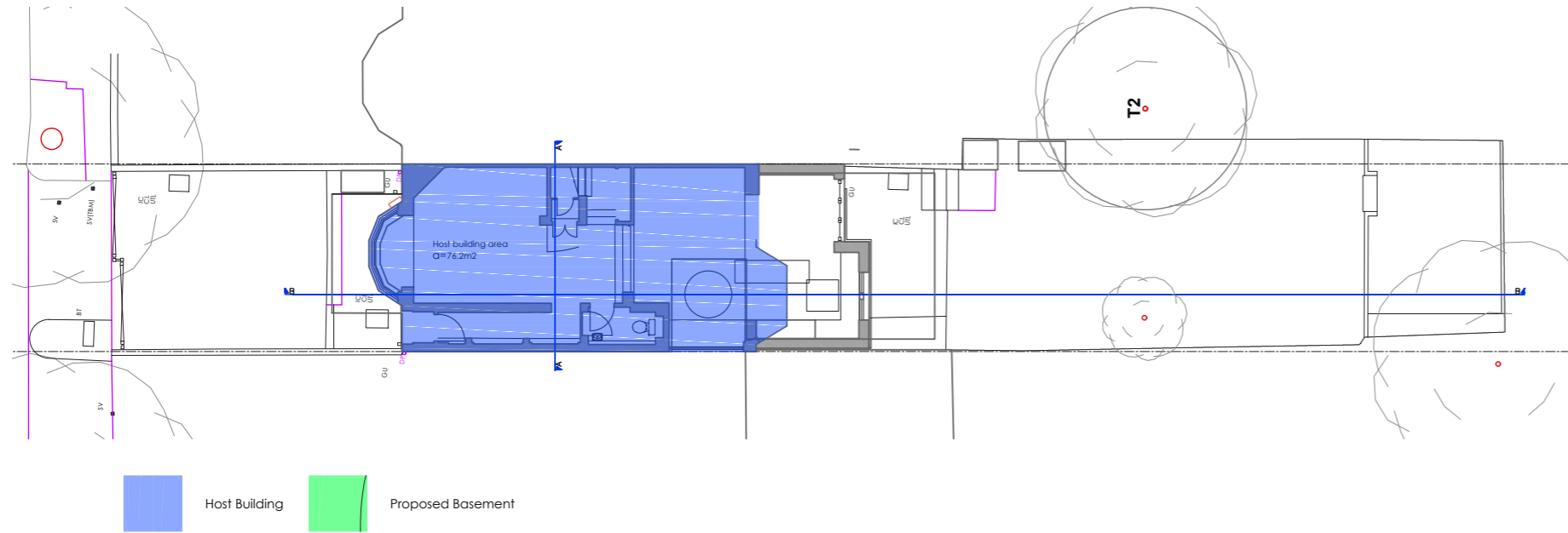


FIG.1 PRE-PLANNING SUBMISSION EXCAVATION LEVEL



FIG.2 PRE-PLANNING SUBMISSION EXCAVATION LEVEL



FIG. 3 CURRENT PROPOSAL- REDUCED EXCAVATION LEVEL

5 PLANNING POLICY

Ground Floor Extension.

As your comments

Summary of Basement Compliance.

Policy A5:F : Basement is single storey

Policy A5:G : Basement is not under an existing basement.

Policy A5:H : Basement does not cover more than 50% of front or rear garden.

Policy A5:I : The additional basement area outside the host building footprint is less than 50% of the host buildings original footprint.

Host building Footprint 76.2 m²

Additional area outside host building footprint 35.35 m² (includes front light well and wine cellar)

Policy A5:J : Length of basement from rear elevation is less than 50% of original host Building length.

Basement extension from original rear elevation. 5.71 m

Length of host building form principle front to principle rear elevation (bay windows excluded). 11.6 m

Policy A5:K Length of basement from rear elevation is less than 50% of the garden length.

Basement extension from original rear elevation. 5.71 m

Length of garden 24.2m

Policy A5:L Basement is set in from boundary lines where it extends from the rear boundary.

6 VISUAL



VISUAL OF REAR EXTENSION

7. HERITAGE IMPACT ASSESSMENT

The site is located in the Redington Frogna Conservation Area but is not listed. The site is located on the North side of Ferncroft Avenue. The area is characterised by large Victorian / Edwardian detached and semi-detached houses.

Historic England sets out a number of high-level principles providing an overarching framework for conservation. In relation to the current proposals, the heritage assets will continue to make a valuable contribution to the historic environment. The proposed changes are minor and in proportion to the existing dwelling.

The visually permeable nature of the structure, the high-quality design and the limited height of the structure will ensure that the impact upon the character and appearance of the conservation area will be limited such that the character and appearance will be preserved.

8 COMPANY PROFILE

We believe the proposed new basement and extension will provide an example of high quality architecture that will add to the character and diversity of the area. Coupdeville Architects are experienced, award winning architects who have completed numerous high quality residential buildings.

