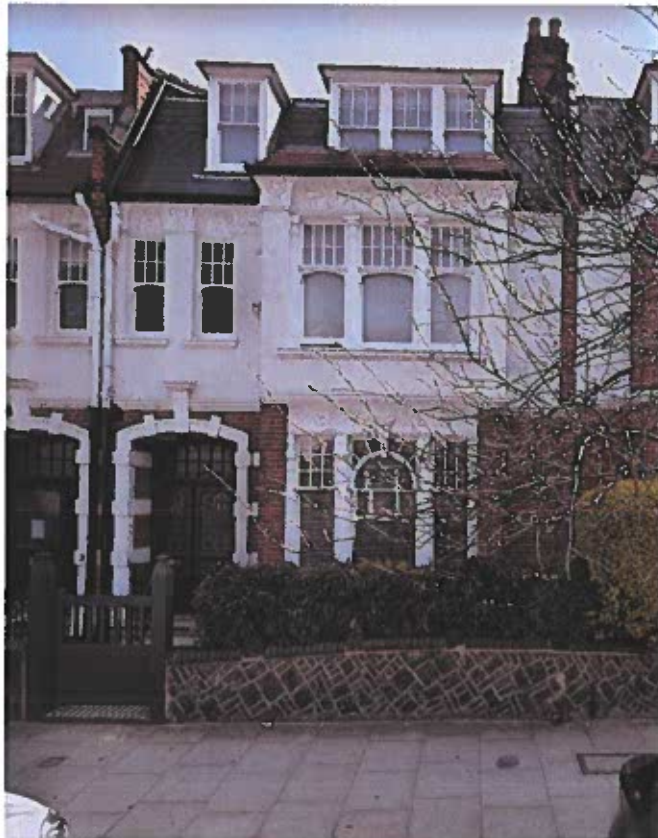


Design & Access Statement
11 Howitt Road, NW3
Reference PP08358175v1JLN
December 2019



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1. Introduction

This Design and Access Statement has been prepared by Haine & Co. for Mr and Mrs P. Cartwright, and forms part of the Full Planning Application for external and internal alterations in connection with the conversion of a single family dwelling into 2 separate flats.

The proposed external and internal alterations include:

- A single storey rear infill extension.
- The front basement window cill to be lowered and reconfiguring the external basement stair.
- Forming Juliet balconies to the rear at first floor and ground floor level.
- Adding a dormer to the rear roof slope.

2. Background/Description

The site is located on the east side of Howitt Road, near the junction with Haverstock Hill.

Howitt Road is residential in character, consisting predominantly of red brick and render Edwardian terrace houses with small frontages and 'lava' brick front walls.



Street elevation of Howitt Road. Subject property on left. Source: [google.com/maps](https://www.google.com/maps)

The property is not listed but forms part of a group of buildings in Howitt Road that make a positive contribution to the Belsize conservation area (Sub Area 4).

11 Howitt Road is a 2 storey mid-terrace house, built at the turn of the century, with a basement, attic and loft level within a slate faced mansard. It is constructed from red face brick, with roughcast render to the upper storey and decorative render mouldings to the windows and entrance. The windows are white painted timber, the upper portion subdivided by glazing bars. The rear elevation is red face brick, and the doors and windows are of white painted timber. The front door and sidelights retain the original stained glass of Art Nouveau design. To the rear, white timber painted French doors, with sidelights and multi-pane overlight, lead to a small deck. There are 3 dormer windows in the slate mansard roof, and 2 non-original rooflights.

The original single storey rear outrigger extension was altered in 2005. The extension is constructed from rendered white painted masonry, with mono-pitched slate roof, white painted windows and doors and 2 rooflights. The garden is accessed via the bi-fold timber doors at the rear of the extension.

The basement was extended to the full footprint of the house in 2007, and a light well and associated glass balustrades were added to the rear of the property in connection with this work.



Front elevation of No. 11 Howitt Road.



Rear elevation of No. 11 Howitt Road.

3. Design Strategy

Our client wishes to downsize their family home and convert the dwelling into 2 separate flats; 1 x 3 bedroom flat over basement and ground floor level, and 1 x 4 bedroom flat on first, second and loft level. The upper flat will be retained by our client as their primary residence. The proposal seeks to make minor external alterations in connection with the conversion, including extending the rear at ground floor, reinstating a basement access door from the front garden, adding a rear dormer, and converting a first floor rear window to a juliet balcony. Alterations to the interior will be required primarily on the non-original basement level and on the ground floor level, to suit the new accommodation.

The flats

The building will contain a total of 2 flats with the following internal spaces:

FLAT 1: BASEMENT & GROUND FLOOR

Comprises: 3 double bedrooms, 3 bathrooms (2 ensuite), utility room, kitchen, dining room, reception and entrance hall, private garden.

FLAT 2: FIRST, SECOND FLOOR & LOFT

Comprises: 4 double bedrooms, 3 bathrooms (1 ensuite), kitchen, dining room, reception and entrance hall, cloakroom/utility.

All rooms will meet the minimum space standards in compliance with the Technical Housing Standards - Nationally Described Space Standards.

Proposed alterations

Ground floor – Flat 1

The main issues to be addressed at ground floor are providing a communal entrance hall, and providing a new internal stair connecting the ground and basement floor level, and extending to the rear to provide a more generous reception space for Flat 1.

To avoid the conversion works impacting the integrity of the original main timber staircase, it was decided to locate the communal entrance hall forward of the stair, and enclose the stair wholly within Flat 2. To achieve an efficient room layout on the basement level, the existing stair to the basement in the rear extension will be replaced with a new stair in the front room to form a spacious and formal Hall as a suitable entrance to this substantial apartment.

To provide a more generous reception space, a single storey infill extension is proposed to the rear, extending 1840mm to align with the basement wall beneath. The extension would be setback from the rear wall of the existing outrigger extension by 1730mm. The extension would provide an additional 7.89m² of internal space for the ground floor level.

To simplify the interface of the existing outrigger roof and the new extension roof, we propose the removal of the canted bay window, 'squaring off' the rear elevation, with bricks salvaged from the demolition works, and infilling the outrigger slate roof where the bay window has been removed.

The proposed extension will be constructed from insulated masonry cavity wall, with white render finish. A flat, green roof is proposed behind a reconstituted stone capped parapet. The existing timber French doors, side lights and overlight will be reused in the extension to create a Juliet balcony overlooking the light well to the garden. The top of the parapet will align with the top of the party wall of the existing outrigger extension (approximately 3.875m from external ground level).

The single storey extension will not adversely increase overshadowing or alter solar or daylight access to neighbours dwellings.

Landscaping

No changes are proposed to the rear or front garden landscaping. New storage structures are proposed for cycle storage and waste storage; see further details in section 6, Key Planning Policies.

Basement level – Flat 1

The proposal seeks to reconfigure the non-original basement level to provide 3 bedrooms, 3 bathrooms (2 ensuite) and a utility/plant room. To provide a fire escape, we propose reinstating the door to the front room which will provide access via stairs to the street. The door the original cellar was replaced in 2007 with a window when the basement floor level was lowered by approximately 565mm to form the enlarged basement. We propose lowering the sill of the window to suit the new basement floor level, and fitting a panelled painted timber door. The stair leading to the front garden will be reconfigured to suit the lowered sill level.

First floor level - Flat 2

The proposal seeks to create a Juliet balcony to the rear by lowering the sill level and replacing the existing timber sash window with inward opening French doors, and fitting a toughened glass balustrade within the reveal. Internally, the proposal seeks to remove a number of partition walls to form an open plan kitchen, living and dining space. Privacy and overlooking from the first floor Juliet balcony has been addressed with the use of obscured glazing to the balustrade.

Second floor level – Flat 2

No change proposed.

Loft level – Flat 2

The proposal seeks to add a dormer to the rear roof slope. The scale, detailing and materials will match the existing dormer below. We propose the roof of the new dormer to be lower than the existing roof ridge (see elevation and section drawings) to achieve a balanced elevation such that the sash windows are to the correct proportion. Two rooflights, one on the rear elevation and one on the front elevation, will be removed and infilled.



The front basement access stair to be reconfigured and bedroom window cill to be lowered.

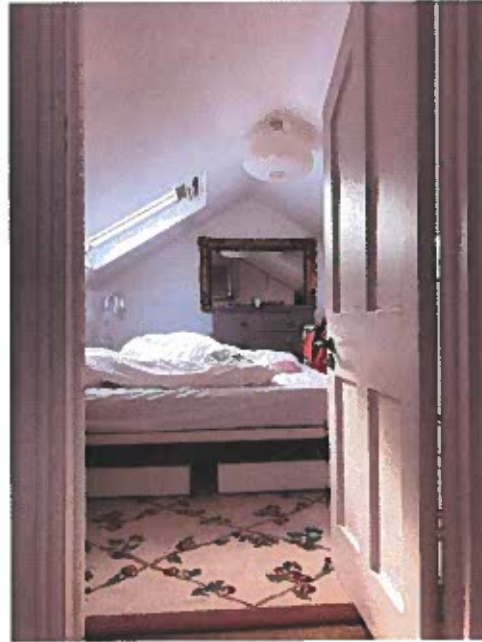


Rear (east) elevation. Proposed area for the single storey infill extension on the left hand side of the image. The existing French doors,

sidelights, overlights and balustrade will be reused in the extension.



Rear (east) elevation and outrigger extension. The canted bay window, seen on the left, will be removed as part of the proposal.

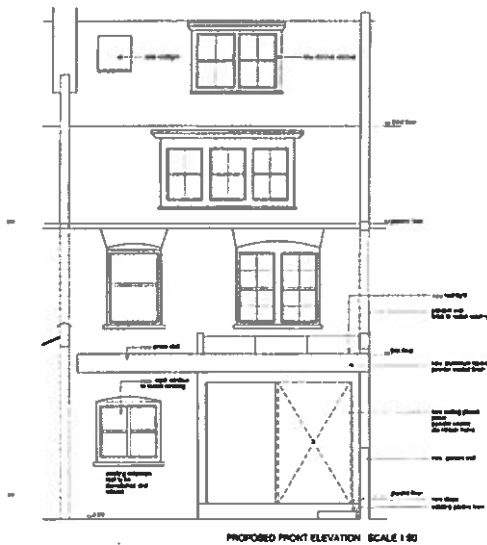


View of the existing loft bedroom. The proposal seeks to replace the rear rooflight with a dormer extension.

4. Development precedents

The proposed rear single storey extension and loft level dormer follows other precedents set in the terrace row at No. 13, No. 17, No. 21 and No. 23 Howitt Road.

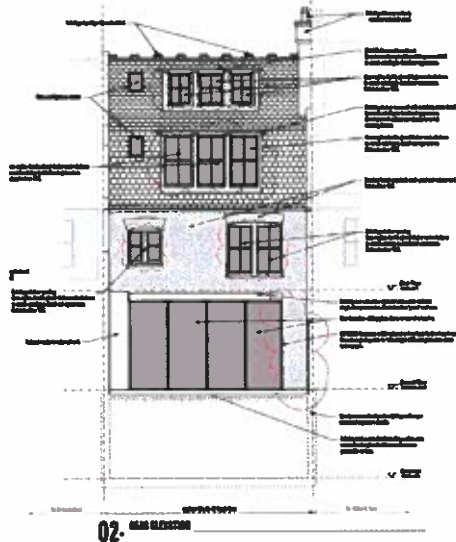
- No. 13 received approval in 2005 for a single storey rear extension, including removal of the canted bay window, and erection of a rear dormer window upper mansard roof slope.
- No. 17 received permission in 2016 for a rear infill extension, including removal of the canted bay window.
- No. 21 received permission in 2013 for a rear single storey extension and rear dormer in upper roofslope. A Certificate of Lawfulness (Proposed) was subsequently granted in 2014 to form 2 rear Juliet balconies at first floor level.
- No. 23 received permission in 2014 for a rear dormer in upper roofslope.



No. 13 Howitt Road
Rear elevation, with single storey rear infill extension and new dormer in upper mansard roof slope.



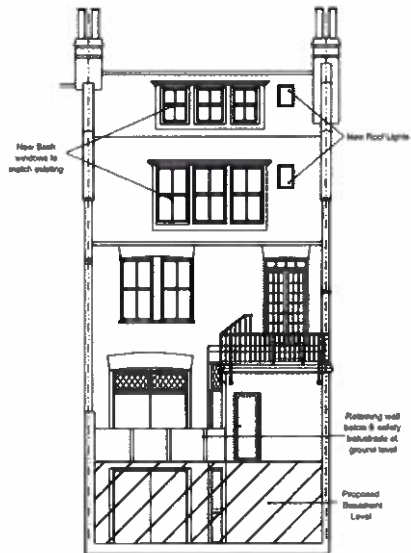
No. 17 Howitt Road Rear elevation, showing single storey rear infill extension.



No. 21 Howitt Road rear elevation, approved 2013, showing new dormer on upper roofslope and rear single storey extension.



No. 21 Howitt Road rear elevation, showing 2no. Juliet balconies, approved in 2014.



Rear Elevation

No. 23 Howitt Road rear elevation, showing new dormer window in upper roof slope.

5. 11 Howitt Road Planning History

The following permissions applications have previously been approved for alterations and additions to the main dwelling:

2007/5695/P	11 Howitt Road London NW3 4LT	Excavation works to enlarge the existing basement with the provision of a rear lightwell with glass bridge and balustrades above at ground floor level on the rear elevation of the dwellinghouse.	FINAL DECISION	19- 12- 2007	Granted
2005/2216/P	11 Howitt Road London NW3 4LT	Erection of a single storey rear extension for single family dwellinghouse and alterations to the rear of the existing extension.	FINAL DECISION	14- 06- 2005	Granted

6. Key Planning Policies

Camden's Local Plan: January 2016

Design (Policy D1)

The new work relates appropriately to the immediate and wider context. Through its high quality, sustainable design, which responds to the scale, form, detailing, materials of the existing building.

The rear addition will be secondary in form, materials, and scale to the existing building. The works are predominantly sited at the rear of the building, within the existing building line, therefore have no negative impact on the streetscape.

The 2 flats created from the conversion will provide a high standard of accommodation, and are in line with the high priority dwelling size requirements of the borough.

The outdoor private amenity space will be reduced slightly with the loss of an existing deck, however the quality of the accommodation will be enhanced as a result.

Solar and daylight access for the dwelling will be enhanced by introducing more glazing to the east facade, by adding the dormer at loft level and replacing a window with glass doors to form a Juliet balcony. Energy requirements for the building will be reduced through increased solar and daylight access, reducing the need for artificial lighting and space heating.

Visual intrusion to existing neighbours is minimised by the use obscured glazing for the first floor Juliet balcony.

Access to the property remains unchanged.

Heritage (Policy D2)

No. 11 Howitt Road is located in a conservation area (Belsize Conservation Area, Sub Area 4) and although not listed, forms part of a group of buildings in Howitt Road that make a positive contribution to the conservation area. We believe the proposal does not diminish this significance in any way; the proposed extension and alteration work is predominantly confined to the rear of the buildings, and are not visible from the street or any public place. Minor alterations on the front elevation including altering the original basement stair, reinstating the basement door, and infilling a non-original dormer, do not detrimentally impact the appearance of the terrace as part of the streetscape.

The proposed materials for the rear extension - white painted rendered masonry, reconstituted stone parapet capping, and doors salvaged from the original structure - are sympathetic to the original building. The bulk form and scale of the addition is also sympathetic and ensures the addition is secondary to the original structure. The proposed rear ground floor addition is setback from the rear building line by 1730mm, ensuring the infill is subservient to the existing building and does not visually dominate. Other minor proposed alterations will match the existing materials, colours and detailing to ensure the work is in keeping with the original building.

Overall, the works are not believed to be detrimental to the architectural or historic integrity of the building. By respecting the scale, materials, design and grain of the existing area, the character and appearance of the conservation area is preserved.

Housing supply and size (Policy H1, H3, H7)

The proposal meets the objectives of Policy H1 by converting the existing underutilised 5 bedroom dwelling into 2 separate dwellings, 1 x 3 bedroom flat, and 1 x 4 bedroom flat.

The proposal meets the requirements of Policy H3 as there is no loss of dwellings due to the development; the development will result in a net gain of 1 dwelling, and a 3 bedroom flat with garden access is provided.

The proposal contributes to meeting the objectives of Policy H7 by providing two large homes (>3 bedrooms), considered high priority dwelling sizes in the borough, in the place of one large single family dwelling.

Floor space standards (London Plan March 2016)

Both flats would be dual aspect and comply with minimum floor space standards, in compliance with the Technical Housing Standards - Nationally Described Space Standards, as set out below.

Flat 1

Level: Basement and ground floor – 2 storey

No. of bedrooms: 3 (3 bedroom, 6 person)

Min required GIA: 102m² including built in storage

Proposed GIA: 164.13m²

Other proposed areas: Garden 40.2m²

Double bedroom area (minimum): 13.1m² > required 11.5m²

Double bedroom width (minimum): 2.77m > required 2.75m

Built in storage: 4m² > required 2.5m²

Flat 2

Level: 3 storey (1st, second, and loft level)

No. of bedrooms: 4 bedroom, 7 person

Min required GIA: 130m² including built in storage

Proposed GIA: 161.53m²

Single bedroom area: 10.38m² > required 7.5 m²

Single bedroom width: 2.86m > required 2.15m

Double bedroom area (minimum): 11.6m² > required 11.5m²

Double bedroom width (minimum): 3.45m > required 2.75m

Built in storage: 4.5m² > 3.0m²

The total gross internal floor area of the existing property is approximately 318.71m². The proposed total gross internal floor area of the building will be approximately 330.24m² due to the small extension at the rear (7.89m²) and new dormer (3.64m²)

Cycle storage (Policy T1, London Plan 2016 Policy 6.9)

Two dedicated storage spaces for cycles are provided for each flat, in line with the supplementary planning guidance for policy T1. A lockable weatherproof cycle store will be provided in the rear garden for Flat 1, and internal spaces provided in Flat 2's private entrance hall.

Parking (Policy T2)

Certain car free demands are made within Policy T2, and whilst we do not wish to increase the parking provisions relating to this application, we would ask that the existing parking provision be maintained. Policy T2 allows the existing occupiers, who will remain in permanent residence at the property, can retain their parking rights; at present they have 2 parking permits. The proposal creates in effect two family dwellings which will likely be occupied by two families, given that both apartments are 3-4 bedrooms with

ample room sizes. We feel it would be unreasonable to offer such accommodation without some parking provision given the likely occupation of the property by two families.

We would propose therefore that the two flats were allocated parking on the same basis as the current arrangement.

Waste storage

No. 11 Howitt Road has kerbside collection, with a fortnightly rubbish collection, and weekly food and recycling collection.

The proposed external waste storage for the site comprises:

- 1 x 240L wheelie bin for mixed recycling (1070H x 580W x 740D mm)
- 2 x 240L wheelie bins for refuse (1070H x 580W x 740D mm)
- 2 x 23L outdoor kitchen caddies for food waste

The recycling and refuse areas will be located in the front garden, in separate painted timber enclosures.

7. Access

Access to the residence will not be altered. Pedestrian access is maintained from the street pavement to the front door of No. 11 via 2 external steps. Internally, access to first floor through to loft level in Flat 2, will remain as existing via the main staircase. Access to the basement level for Flat 1 will be via a new staircase. Each flat will have separate access from a main communal entrance.

Access to the garden will be maintained through the existing bifold doors for Flat 1. A fire escape will be provided from basement level by replacing the existing window with a door and reconfiguring the original cellar access stair to suit the basement level.

All new light switches, door handles etc. will be positioned at appropriate heights.

Public Transport: The site is located within 2 min walk from the Belsize Park Underground Station, a 16 min walk from Chalk Farm Underground station, and a 13 minute walk to the Hampstead Heath overground station. The site is also served by buses (routes 168, C11, N5 eastbound and westbound) on Haverstock Hill, a 2 minute walk away.

8. Flood risk assessment

11 Howitt Road is in Flood Zone 1 and does not require a flood risk assessment.

9. Conclusion

We believe the proposal respects the character of the surrounding areas, the character and appearance of the building and the amenities of the neighbouring properties. The proposal is therefore considered to be in accordance with local plan policies and we trust that you will find the scheme to be acceptable.