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**Flat A, 124 Greencroft Gardens, London, NW6 3PJ**

**Appeal by Iain Wilson**

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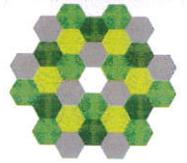
# **APPENDIX 1**



**BLANDY & BLANDY**  
solicitors

# HM Land Registry Official copy of title plan

Title number **NGL987407**  
Ordnance Survey map reference **TQ2584SE**  
Scale **1:1250**  
Administrative area **Camden**



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**Flat A, 124 Greencroft Gardens, London, NW6 3PJ**

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## **APPENDIX 2**



**BLANDY & BLANDY**  
solicitors

Application ref: 2018/5202/P  
Contact: Ben Farrant  
Tel: 020 7974 6253  
Date: 29 April 2019

**Development Management**  
Regeneration and Planning  
London Borough of Camden  
Town Hall  
Judd Street  
London  
WC1H 9JE

Phone: 020 7974 4444

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Ciarcelluti Mathers Architecture  
Unit 1, 1 Ghent Way  
London  
E8 2PE

Dear Sir/Madam

## **DECISION**

Town and Country Planning Act 1990 (as amended)

### **Full Planning Permission Refused**

Address:

**Flat A**  
**124 Greencroft Gardens**  
**London**  
**NW6 3PJ**

Proposal:

Erection of single storey rear extension with green roof, following demolition of existing rear extension.

Drawing Nos: 116-PD-01, 116-PD-02\_Rev.A, 116-PD-03Rev.A, 116-PD-04\_Rev.B & 116-PD-05\_Rev.B

The Council has considered your application and decided to **refuse** planning permission for the following reason(s):

#### Reason(s) for Refusal

- 1 The proposed rear extension, by reason of its design and resulting scale would constitute a dominant rear addition that would harm the character and appearance of the host building and its garden setting, as well as the character and appearance of the South Hampstead Conservation Area, contrary to policies D1 (Design) & D2 (Heritage) of the Camden Local Plan (2017).

- 2 Insufficient information has been provided to demonstrate there would not be an impact on the levels of daylight or sunlight received by neighbouring properties Nos.122 and 126 Greencroft Gardens, contrary to policy A1 (Managing the Impact of Development) of the London Borough of Camden Local Plan (2017).
  
- 2 By reason of its detailed design, scale, and siting the proposed development would result in a harmful level of light pollution and an unneighbourly sense of enclosure to neighbouring properties at nos. 122 and 126 Greencroft Gardens, contrary to policy A1 (Amenity) of the Camden Local Plan (2017).

In dealing with the application, the Council has sought to work with the applicant in a positive and proactive way in accordance with paragraph 38 of the National Planning Policy Framework 2019.

You can find advice about your rights of appeal at:

<http://www.planningportal.gov.uk/planning/appeals/guidance/guidancecontent>

Yours faithfully

A handwritten signature in black ink, appearing to read 'DPope', is written over a light grey rectangular background.

Daniel Pope  
Chief Planning Officer

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**Flat A, 124 Greencroft Gardens, London, NW6 3PJ**

**Appeal by Iain Wilson**

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## **APPENDIX 3**



**BLANDY & BLANDY**  
solicitors

<b>Delegated Report</b>		<b>Analysis sheet</b>		<b>Expiry Date:</b>	25/12/2018
		N/A		<b>Consultation Expiry Date:</b>	02/12/2018
<b>Officer</b>			<b>Application Number(s)</b>		
Ben Farrant			2018/5202/P		
<b>Application Address</b>			<b>Drawing Numbers</b>		
Flat A, 124 Greencroft Gardens London NW6 3PJ			See draft decision notice		
<b>PO 3/4</b>	<b>Area Team Signature</b>	<b>C&amp;UD</b>	<b>Authorised Officer Signature</b>		
<b>Proposal(s)</b>					
Erection of single storey rear extension with green roof, following demolition of existing rear extension.					
<b>Recommendation(s):</b>		Refuse Permission			
<b>Application Type:</b>		Full Planning Permission			

Conditions or Reasons for Refusal:	Refuse Permission					
Informatives:						
<b>Consultations</b>						
Adjoining Occupiers:	No. notified	<b>00</b>	No. of responses	<b>00</b>	No. of objections	<b>01</b>
Summary of consultation responses:	<p>A site notice was displayed between 02/11/2018 and 26/11/2018, with a press notice displayed between 08/11/2018 and 02/12/2018.</p> <p>One response was received from the owner/occupier of 126 Greencroft Gardens, objecting on the following grounds:</p> <ul style="list-style-type: none"> <li>• Plans are misleading regarding the impact on no.126</li> <li>• No information has been included regarding foundation depths</li> <li>• There is a tree which could be affected by the works</li> <li>• Loss of light and sense of enclosure as a result of the increased boundary wall height</li> <li>• Loss of garden space as a result of the proposal and the previous outbuilding (cumulative impact)</li> <li>• Level of glazing would impact on the sense of privacy to the annexe at no.26</li> <li>• An application at no.26 to link the main house to the annexe was refused on loss of garden space and being contrary to the principles of the conservation area – a similar stance should be adopted here</li> </ul>					

## Site Description

The property is a four storey (plus roof accommodation) mid-terraced property within a street of similar dwellinghouses. The property is sited within the South Hampstead Conservation Area, and is noted as a positive contributor within the South Hampstead Character Appraisal and Management Strategy (2011). There are no nearby listed buildings which would be impacted as a result of the works.

## Relevant History

### 124 Greencroft Gardens (application site)

**2018/3433/P** – Erection of single storey rear extension – **Withdrawn 10/10/2018**

**2011/1331/P** – Variation of condition 2 (development should be carried out in accordance with the approved plans) of planning permission granted 18/01/2011 (ref: 2010/5587/P) for the erection of a single storey rear extension and conservatory to ground floor flat, to allow for a minor material amendment to increase the volume of the extension and alter fenestration – **Granted 07/06/2011**

**2011/5587/P** – Erection of a single storey rear extension and conservatory to ground floor flat (Class C3) – **Granted 18/01/2011**

**2009/5064/P** – Erection of a single storey rear extension with green roof to ground floor flat, and replacement of window and doors to rear (Class C3) – **Granted 15/02/2010**

**2008/0268/P** – Amendment to planning permission granted on 25/06/07 (2007/1828/P) for erection of a single-storey structure with green roof to provide workshop/studio space ancillary to the ground floor residential flat [itself a revision to planning permission granted 06/03/06 (2005/4285/P)] namely, increase length of structure from 4.8m to 5.8m and raising it on decking – **Granted 11/03/2008**

**2007/1828/P** – Erection of a single-storey structure with green roof as a revision to planning permission granted 06/03/2006 (ref: 2005/4285/P) for erection of a single-storey structure in rear garden to provide workshop/studio space ancillary to the ground floor residential flat – **Granted 25/06/2007**

**2006/3723/P** – Erection of a single storey rear extension to the garden flat – **27/10/2006**

**2005/4285/P** – Erection of a single storey structure in rear garden to provide workshop/studio space ancillary to the ground floor residential flat – **Granted 06/03/2006**

### 126 Greencroft Gardens

**2014/4610/P** – Erection of two storey building, following demolition of existing, and a glazed single storey link to flat – **Refused 19/09/2014 appeal Ref: APP/X5210/W/14/3002019 Dismissed 01/05/2005**

**2013/3011/P** – Use of lower ground floor and garden studio as residential flat (Class C3) – **Granted 01/08/2013**

### 122 Greencroft Gardens

None directly applicable

## Relevant policies

### National Planning Policy Framework 2019

### The London Plan March 2016

### The Camden Local Plan 2017

A1 - Managing the impact of development

D1 - Design

D2 - Heritage

### Camden Planning Guidance

CPG1 – Design (2018) Chapters 3 (Heritage) and 4 (Extensions, alterations and conservatories)

CPG6 – Amenity (2018) Chapters 2 (Overlooking, privacy and outlook), 3 (Daylight and sunlight), and 4 (Artificial light)

### South Hampstead Character Appraisal and Management Strategy (2011)

## Assessment

### 1. Design

- 1.1 Proposed is the formation of a lower ground floor rear extension, stretching the full width of the property with a depth of up to 4.7m, and a flat roof at a height of 2.7m to match the existing rear extension. The addition would be largely glazed to the rear elevation and would be finished in materials to match the host property. A green roof would cover the proposed addition, as well as the existing rear extension.
- 1.2 Local Plan Policy D1 states that The Council will seek to secure high quality design in development. The Council will require that development: a. respects local context and character; b. preserves or enhances the historic environment and heritage assets in accordance with policy D2 (Heritage).
- 1.3 Local Plan Policy D2 states that The Council will require that development within conservation areas preserves or, where possible, enhances the character or appearance of the area.
- 1.4 Paragraph 4.10 of CPG1 (2018) states that rear extensions should be designed to: be secondary to the building being extended, in terms of location, form, scale, proportions, dimensions and detailing; respect and preserve the original design and proportions of the building, including its architectural period and style; and respect and preserve existing architectural features.
- 1.5 Para. 7.13 of the South Hampstead Character Appraisal and Management Strategy (2011) states: *“The long, undeveloped rear gardens and private open spaces are central to the character and appearance of South Hampstead Conservation Area, and their preservation is of paramount importance”*. Para. 7.14 continues: *“particular care should be taken to ensure that the attractive garden setting of the host building, neighbouring gardens and any private open spaces is not compromised by overly large extensions”*. Para. 12.15 states: *“alterations and extensions to the rear elevations of buildings in the conservation area should respect the historic pattern of development”*.
- 1.6 It is acknowledged that the property has an existing rear extension projecting up to 4m deep from the original rear elevation (though part stepped to 2.5m deep). The addition proposed here would bring the entire extension out to a depth of 7.1m (incorporating a lightwell to give natural daylight to the existing rear bedroom). The cumulative depth of the proposed additions is considered to dominate the rear of the property, projecting far into the rear curtilage, failing to be sympathetic to the scale and proportions of the host property. Whilst the modern design is not objectionable in

principle, given its overall scale, it is considered to cause harm to the character and appearance of the host property. It is considered that the proposal would be at odds with the architectural character of the host building, as well as disrupt the distinct harmonious composition of the terrace, contrary to Local Plan Policies D1 and D2, CPG1 and the South Hampstead Character Appraisal and Management Strategy.

- 1.7 Its form, position and fenestration fail to respect and preserve the original design and proportions of the building and the local context and character. It would further serve to reduce the level of soft landscaping within the rear curtilage (though it is acknowledged a green roof is proposed), which is a particularly important feature of the South Hampstead Conservation Area. It is additionally acknowledged that a large outbuilding has been erected at the application site (ref: 2008/0268/P) which further reduces the green and verdant nature of the garden. The cumulative effects of the works are therefore contrary to guidance contained within the South Hampstead Character Appraisal and Management Strategy which seek to preserve and enhance these green spaces.

## **2 Impact on the conservation area**

- 2.1 Considerable importance and weight has been attached to the harm and special attention has been paid to the desirability of preserving or enhancing the character or appearance of the listed building within a conservation area, under s.72 of the Listed Buildings and Conservation Areas Act 1990 as amended by the Enterprise and Regulatory Reform Act (ERR) 2013.
- 2.2 Para 196 of the NPPF (2018) states that “*Where a development proposal will lead to less than substantial harm to the significance of a designated heritage asset, this harm should be weighed against the public benefits of the proposal including, where appropriate, securing its optimum viable use*”.
- 2.3 The proposed cumulative impacts of the alterations to the property would create an unwelcome and overly dominant extension, of an excessive scale serving to detract from the host property and garden which forms an important part of this conservation area.
- 2.4 It is considered that the addition by virtue of its cumulatively dominant scale, would harm the characteristics identified within the South Hampstead Character Appraisal and Management Strategy and thus the contribution made to the character and appearance of the conservation area. It would result in ‘less than substantial harm’ to the character, appearance and historic interest of the conservation area as well as to the host property (which is noted as a positive contributor). There is no demonstrable public benefit created as a result of the proposed addition to this previously extended private residential unit.
- 2.5 The proposal is thereby considered to constitute ‘less than substantial harm’ to the South Hampstead Conservation Area, with no demonstrable public benefit derived from the scheme. In the absence of any demonstrable public benefit, the proposal is considered to be contrary to Section 16 of the NPPF (2019) which seeks to preserve and enhance heritage assets.

## **3. Amenity**

- 3.1 Policy A1 of the Local Plan seeks to protect the quality of life of neighbouring occupiers. The factors to consider include: visual privacy and outlook; sunlight, daylight and overshadowing; artificial light levels; noise and vibration.
- 3.2 The proposal, given its residential nature is unlikely to result in undue harm to neighbours in terms of noise impacts. Similarly given its single storey nature, it would not impact on the level of overlooking to neighbouring properties.

- 3.3 As part of the proposed works, the boundary wall height to no.122 would increase in height by 1m for a further depth of 3.4m from the existing situation (7m total from the rear elevation of the property). Similarly the boundary wall height to no.126 would increase by 0.5m for the full depth of the proposed extension.
- 3.4 It is noted that the garden of the site faces north, and so each neighbour would be impacted in terms of sunlight at the beginning and end of the day respectively. Given the level of increase in height, coupled with the proposed depth of the addition, the proposal would therefore have some impact in terms of daylight and sunlight, as would the outbuilding to no.126 which forms part of the living accommodation of the property. No daylight/sunlight report or similar information has been submitted with the application to demonstrate compliance in this regard, and refusal is warranted on this basis.
- 3.5 It is considered that the proposal would also result in an unneighbourly sense of enclosure to the properties at both no.122 and 126 (as well as the outbuilding to no.126). The extension would serve to increase the boundary height to a total of 2.4m for a depth of 7m. Given the terraced nature of these properties, their orientation, and the surrounding context of development, the proposal is considered to unduly impact on these neighbouring in terms of outlook/sense of enclosure.
- 3.6 Having an entirely glazed rear elevation, the installation of a new rooflight close to the main property, and given the level of glazing to the courtyard element (particularly the glazing facing back towards the rear elevation of the host property), it is likely that the proposal would result in light overspill to neighbouring properties, particularly the upper floor flats of no.124 and 126.
- 3.7 Given the above assessment, the proposal is considered to result in harm to neighbouring occupiers, particularly regarding levels of light overspill and sense of enclosure, thereby failing to comply with policy A1 of the Local Plan (2017).

#### **4. Trees**

- 4.1 Whilst an objection was received on the grounds of the impact on a nearby tree, given the scale of the proposed works and proximity away from mature vegetation, this is considered not to impact on any nearby trees and refusal is not warranted on this basis.

#### **5. Conclusion**

- 5.1 The proposed rear extension, by reason of its cumulative unsympathetic and dominant scale, would harm the character and appearance of the host building and its garden setting, as well as the character and appearance of the South Hampstead Conservation Area, contrary to policies D1 (Design) & D2 (Heritage) of the Camden Local Plan (2017).
- 5.2 By reason of its design, scale, and level of glazing, the proposed development would serve to result in an unduly harmful level of light pollution and an unneighbourly sense of enclosure to neighbouring properties at nos. 122 and 126 Greencroft Gardens, contrary to policy A1 (Amenity) of the Camden Local Plan (2017).

#### **Recommendation**

Refuse planning permission

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**Flat A, 124 Greencroft Gardens, London, NW6 3PJ**

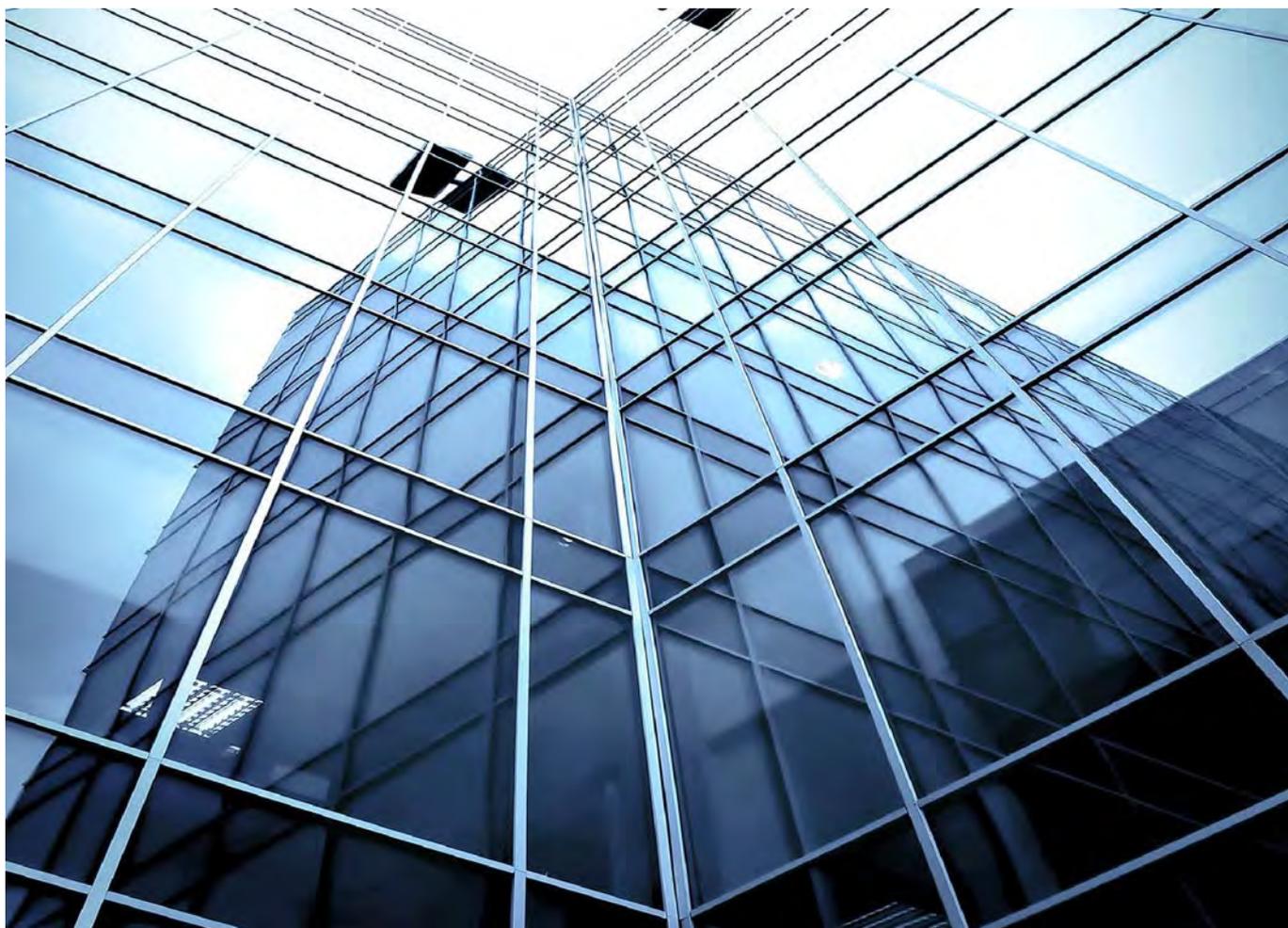
**Appeal by Iain Wilson**

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## **APPENDIX 4**



**BLANDY & BLANDY**  
solicitors



**Blandy & Blandy LLP**

# **124 Greencroft Gardens, London**

Daylight, Sunlight & Overshadowing Report

713133R01

10<sup>TH</sup> SEPTEMBER 2019





## RSK GENERAL NOTES

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**Project No.:** 713133R01

**Title:** 124 Greencroft Gardens, London - Daylight, Sunlight & Overshadowing Report

**Client:** Blandy & Blandy LLP

**Date:** 10<sup>th</sup> September 2019

<b>Author</b>	<u>Rob Baker</u>	<b>Technical reviewer</b>	<u>Joe Norton</u>
<b>Date:</b>	<u>10<sup>th</sup> September 2019</u>	<b>Date:</b>	<u>10<sup>th</sup> September 2019</u>

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Where field investigations have been carried out, these have been restricted to a level of detail required to achieve the stated objectives of the work.

This work has been undertaken in accordance with the quality management system of RSK Environment.

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# 1 INTRODUCTION

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## 1.1 Background

This report has been compiled by RSK on behalf of Blandy & Blandy LLP to assess the daylight, sunlight and overshadowing impact of a proposed new extension at 124 Greencroft Gardens, London.

## 1.2 Information Register

Information for the calculations has been taken from the following drawings.

- 116/PD/01 Existing Site Plan
- 116/PD/02 Existing Floor Plans
- 116/PD/03 Existing Elevations
- 116/PD/04 Proposed Floor Plans
- 116/PD/05 Proposed Elevations

## **2 LEGISLATION AND POLICY**

### **2.1 Legislation**

There is no specific national legislation for the assessment of the impact on daylight, sunlight and overshadowing.

### **2.2 Policy**

The BRE Guide, Site Layout Planning for Daylight and Sunlight, A Guide to Good Practice 2011 provides methods and criteria for calculating the impact on existing properties caused by the proposed development. Although this guide provides guidelines for daylight, sunlight and overshadowing, it should not be used as an instrument of planning policy. It is intended to provide help to the designer and a degree of flexibility should be allowed where appropriate.

### 3 ASSESSMENT METHODOLOGY

Natural light refers to both daylight and sunlight. However, a distinction between these two concepts is required for the purpose of analysis and quantification of natural light in buildings. In this assessment, the term ‘Daylight’ is used for natural light where the source is the sky in overcast conditions, whilst ‘Sunlight’ refers specifically to the light coming directly from the sun. Calculations have been carried out and the 3D computer simulation built using Relux Pro lighting software version 2016.1.1.0. The simulation has been constructed using plans and information supplied by the architect and from information gathered during a site visit.

#### 3.1 BRE Guide

The methodology adopted for this chapter follows that set out in the BRE Guide which gives criteria and methods for calculating daylight and sunlight. The BRE Guide uses a set of criteria to quantify the potential effect on light levels: the Vertical Sky Component (VSC) and the Probable Sunlight Hours (PSH) for windows.

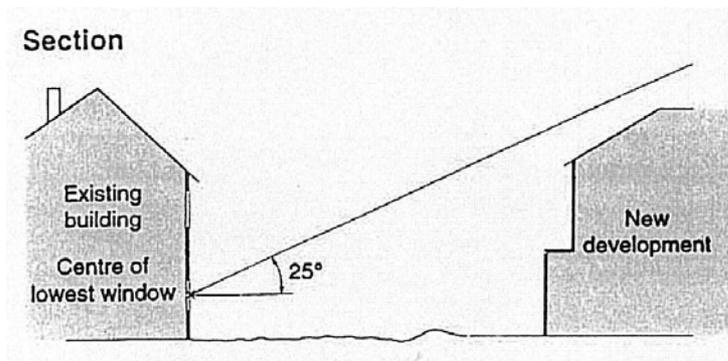
The BRE Guide states that the guidance ‘is intended to be used in conjunction with the interior daylight recommendations in the British Standard BS 8206: Part 2. BS8206-02 Code of Practice for Day Lighting suggests the use of Average Daylight Factor (ADF) as a measure of the general illumination from the sky light actually entering a room’.

##### 3.1.1 Initial Calculations

The BRE guide recommends that an initial calculation be carried out as follows. Draw a section in a plane perpendicular to each affected main window wall of the existing building (see Fig.3.1 below). Measure the angle to the horizontal subtended by the new development at the level of the centre of the lowest window. If this angle is less than 25° for the whole of the development then it is unlikely to have a substantial effect on the diffuse skylight enjoyed by the existing building.

If, for any part of the development, this angle is more than 25°, a more detailed check is needed to find the loss of sky light to the existing building.

**Fig.3.1 - Section in plane perpendicular to the affected window wall.**



### 3.1.2 Vertical Sky Component (VSC)

The VSC calculation is the ratio of the direct sky illuminance falling on the outside of a window, to the simultaneous horizontal illuminance under an unobstructed sky. The standard CIE (Commission Internationale d'Éclairage) Overcast Sky is used and the ratio is expressed as a percentage. The maximum VSC value is close to 40% for a completely unobstructed vertical wall.

The BRE Guide also sets out two guidelines for the VSC:

- If the VSC at the centre of the existing window exceeds 27% with the new development in place, then enough sky light should still be reaching the existing window; and
- If the VSC with the new development in place is both less than 27% and less than 0.8 times its former value, then the reduction in light to the window is likely to be noticeable. This means that a reduction in the VSC value of up to 20% its former value would be acceptable and thus the impact would be considered negligible.

### 3.1.3 Average Daylight Factor (ADF)

Should windows fail to comply with the VSC values, further detailed studies are performed using the ADF calculations to assess if compliance with the minimum values recommended in the BS8206 are achieved.

The BRE Guide sets out the following guidelines for the ADF:

- If a predominantly daylit appearance is required, then the ADF should be 5% or more if there is no supplementary electric lighting, or 2% or more if supplementary electric lighting is provided; and
- In dwellings, the following minimum average daylight factors should be achieved: 1% in bedrooms, 1.5% in living rooms and 2% in kitchens.

### 3.1.4 Sunlight Calculations (Probable Sunlight Hours [PSH])

Access to sunlight is measured on the windows to habitable rooms, facing within 90° of due south. The PSH calculation method measures a point on the window assessed that is sunlit for a period of time. The BRE Guide and BS8206-02 recommend that the PSH is calculated for the whole year, and for the winter months (21<sup>st</sup> September to 21<sup>st</sup> March). If the window reference point can receive more than 25% of annual PSH, including at least 5% of annual PSH during winter months between 21<sup>st</sup> September and 21<sup>st</sup> March, then the room should still receive enough sunlight and the impact will therefore be negligible. Any reduction in sunlight access below this level should be kept to a minimum. If the available sunlight hours are both less than the amount given and less than 0.8 times their former value, either over the whole year or just during winter months (21<sup>st</sup> September to 21<sup>st</sup> March), then the occupants of the existing building will notice the loss of sunlight.

### 3.1.5 Overshadowing of Open Areas

For open areas including those proposed, the BRE Guide suggests that for it to appear adequately sunlit throughout the year, at least half of a garden or amenity area should receive at least two hours of sunlight on 21<sup>st</sup> March.

If as a result of the new development, an existing area which can receive direct sunlight on the 21<sup>st</sup> March does not meet the above or is reduced to less than 0.8 times its former value, then this further loss of sunlight is significant.

## 4 BASELINE CONDITIONS

The buildings and open spaces that have been identified as potential sensitive receptors to changes in daylight, sunlight and overshadowing for this assessment are listed below.

### 4.1 Extent of the Study Area

The study area modelled for this assessment includes the site and surrounding properties. The model includes the adjoining properties facing the site which are potentially affected by the proposed development.

### 4.2 Sensitive Receptors

Potential sensitive receptors have been identified for the proposed scheme in accordance with the guidelines set out in the BRE guide. These are shown in Appendix F below. In the guide, sensitive receptors are described as:

- Adjoining dwellings and any existing non-domestic buildings where occupants have a reasonable expectation of daylight: this would normally include schools, hospitals, hotels and hostels, small workshops and most offices.
- Other sensitive receptors are open spaces such as public gardens but excluding public footpaths and car parks.

#### **Sensitive Receptors (Buildings)**

The garden studio at 126 Greencroft Gardens, 126 and 122 Greencroft Gardens have been identified as the windows are adjacent to the proposed development.

#### **Sensitive Receptors (Open Space)**

The gardens of the neighbouring properties have been identified.

### 4.3 Initial Calculations

Initial calculations show that the adjoining properties identified are potentially affected due to the proximity to the existing house. More detailed calculations are required to establish the baseline conditions.

### 4.4 Daylight Calculations for the Site

The results of the VSC calculations to establish the 'without development' scenario are summarised below in Table 1.

The results of the daylight calculations (VSC) show that all but the Garden Studio South window meet the minimum guidelines set out in BRE Guide for daylight. The south window faces directly towards the existing houses which reduce the amount of daylight available. The calculations have been carried out for the existing windows of the properties identified in accordance with the guidelines set out in the BRE Guidance.

**Table 1 – Vertical Sky Component Without Development.**

Position	Receptor	VSC Without Development (%)	VSC $\geq 27\%$ Without Development
1	Garden Studio South Window	8.5	x
2	Garden Studio East Window	32.0	✓
3	122 Greencroft Gardens rear window	37.5	✓
4	126 Greencroft Gardens rear window	33.0	✓

## 4.5 Sunlight Calculations for the Site

In-line with the recommendations in the BRE guide, only windows facing within 90° of due south require calculations to be undertaken. The results of the VSC calculations to establish the 'without development' scenario are summarised below in Table 2. The results show that both windows meet the minimum guidelines set out in BRE Guide for PSH but both windows fall below the 5% target for winter hours.

**Table 2 – Probable Sunlight Hours Without Development.**

Position	Receptor	Probable Sunlight Hours	PSH $\geq 25\%$ all year	PSH $\geq 5\%$ Sept 21 – Mar 21
		Without Development (Hours)	Without Development	Without Development
1	Garden Studio South Window	386	✓	x
2	Garden Studio East Window	401	✓	x

## 4.6 Overshadowing for the Site – Pre Development

Overshadowing for the site, pre development, is shown in Appendix D. The overshadowing calculations show that at the Equinox (21st March) the shadows from the existing buildings fall on the gardens for most of the day. The shadows from the houses dominate the gardens providing very little Sunlight to the gardens of any of the properties.

## 5 ASSESSMENT OF IMPACTS

### 5.1 Daylight Calculations for the Site

The results of the VSC calculations to establish the 'with development' scenario are summarised below in Table 3.

The results of the daylight calculations (VSC) for the identified receptors show that the VSC value does potentially reduce with the development in place. The BRE Guide states that if the VSC is both less than 27% and less than 0.8 times its former value, occupants of the existing building will notice the reduction in the amount of skylight. It can be seen that the impact on all receptors will be negligible.

**Table 3 – Vertical Sky Component – With Development and Without Development.**

Position	Receptor	VSC Without Development (%)	VSC With Development (%)	Ratio of impact
1	Garden Studio South Window	8.5	8.5	1
2	Garden Studio East Window	32.0	32.0	1
3	122 Greencroft Gardens rear window	37.5	37.0	0.99
4	126 Greencroft Gardens rear window	33.0	32.5	0.98

### 5.2 Average Daylight Factor (ADF)

Internal layouts for the existing properties have not been available and so exact calculations of average daylight factor have not been possible. The results of the VSC calculations indicate that the ADF calculations are not required as the calculated VSC has shown the development to have negligible impact and should not be noticeable.

### 5.3 Sunlight Calculations for the Site

In-line with the recommendations in the BRE guide, only windows facing within 90° of due south require calculations to be undertaken. The results of the VSC calculations to establish the 'with development' scenario are summarised below in Table 4.

It can be seen that all receptors will be unaffected by the proposed development.

**Table 4 - Probable Sunlight Hours With Development.**

Receptor	Probable Sunlight Hours				Ratio of impact
	Without Development (Hours)	With Development (Hours)	Without Development (%)	With Development (%)	
Garden Studio South Window	386	386	26	26	1.0
Garden Studio East Window	401	401	27	27	1.0

## 5.4 Overshadowing for the Site - Post Development

The overshadowing post development results are shown in Appendix E. The calculations show that none of the surrounding properties experience any additional significant overshadowing resulting from the proposed development.

# 6 SUMMARY

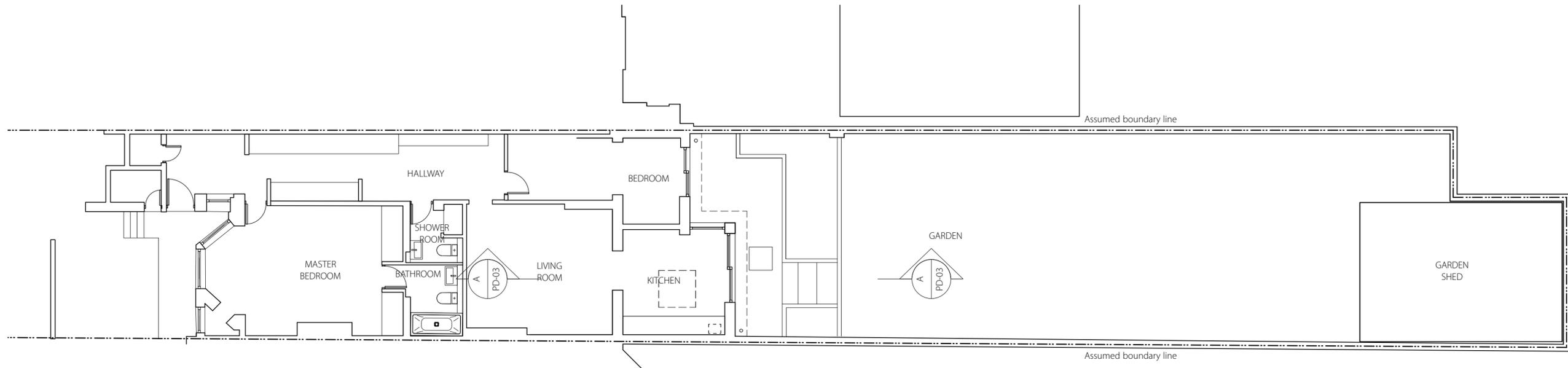
This daylight, sunlight and overshadowing assessment has shown that the proposed development will have a minimal effect on existing potential sensitive receptors in the surrounding area. The results show that although properties will experience some loss of daylight availability the impact of the new development should be negligible.



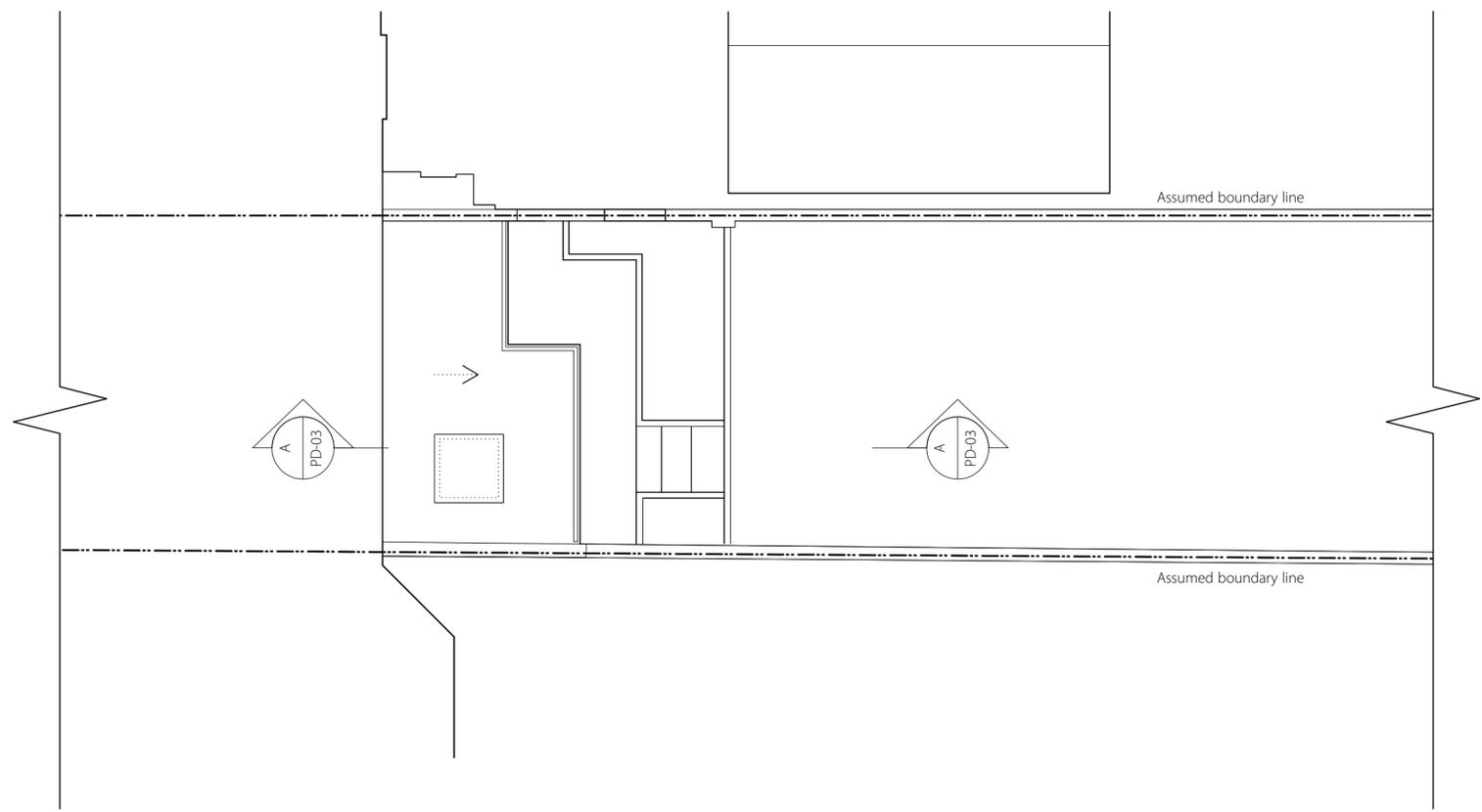
## **APPENDIX A: EXISTING SITE LAYOUT**

---

Notes  
 All dimensions to be check on site prior to construction. Any descepancies should be brought to the attention of the architect.



GROUND FLOOR PLAN



ROOF PLAN

A	23/08/18	DC	DC
Revisions		By	Authorised

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 Email: mail@studiocma.co.uk

**Client**  
 Mr Iain Wilson

**Project**  
 124A Greencroft gardens NW6 3PJ

**Title**  
 EXISTING  
 Plans

**Scale**  
 1:100 @ A2

<b>Drawn</b>	<b>Checked</b>	<b>Authorised</b>
-	-	-

<b>Date</b>	<b>Issuing Discipline</b>
18/07/18	ARCHITECTURE

**Issue status**

PLANNING

<b>Drawing number</b>	<b>Rev</b>
116/ PD / 02	A

**Important note**  
 Where dimensions are not given, drawings must not be scaled and the matter referred to the architect.

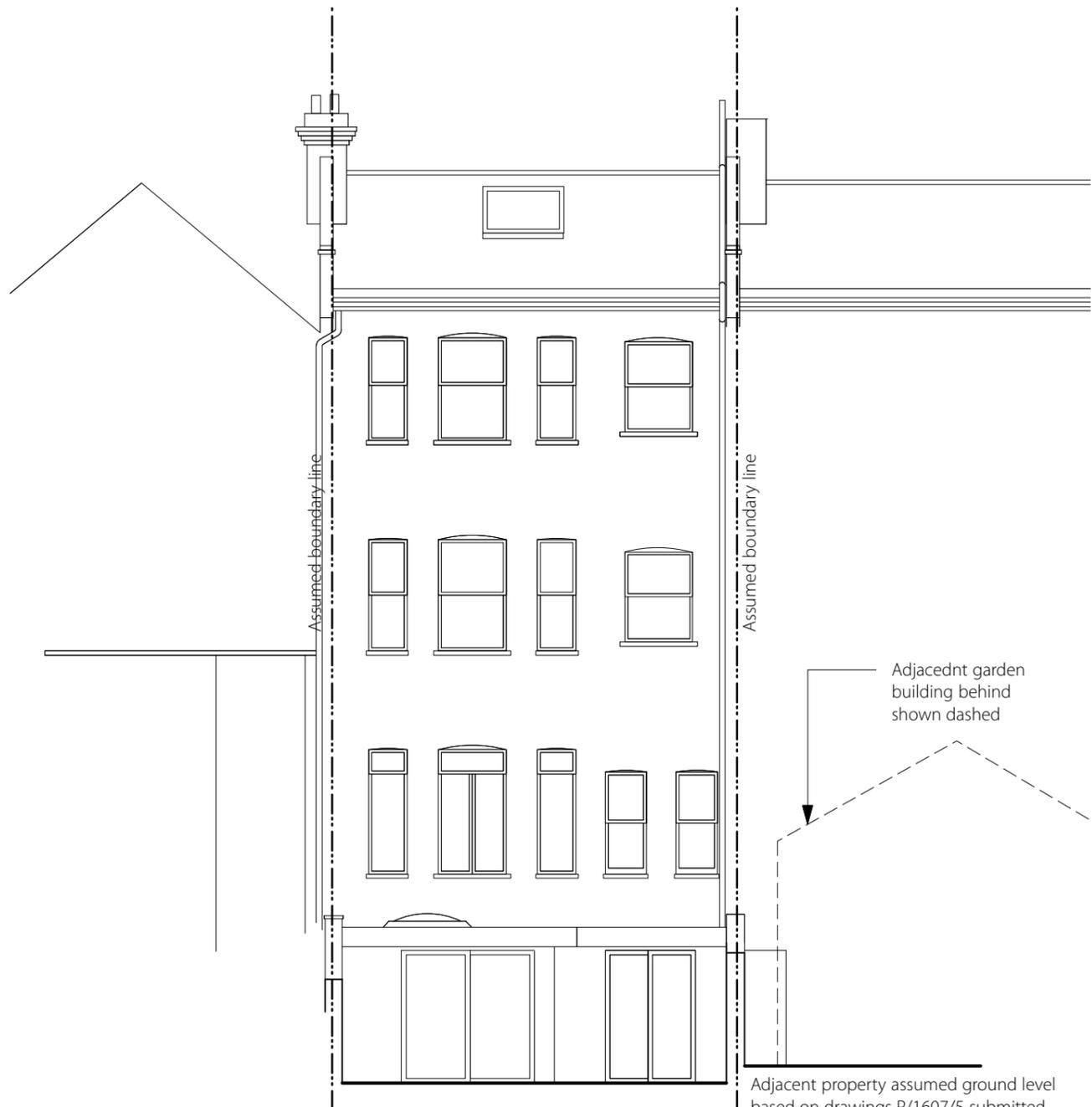
In the event of any detail or dimensional conflict between the architectural drawings, the matter must be referred to the architect for clarification.



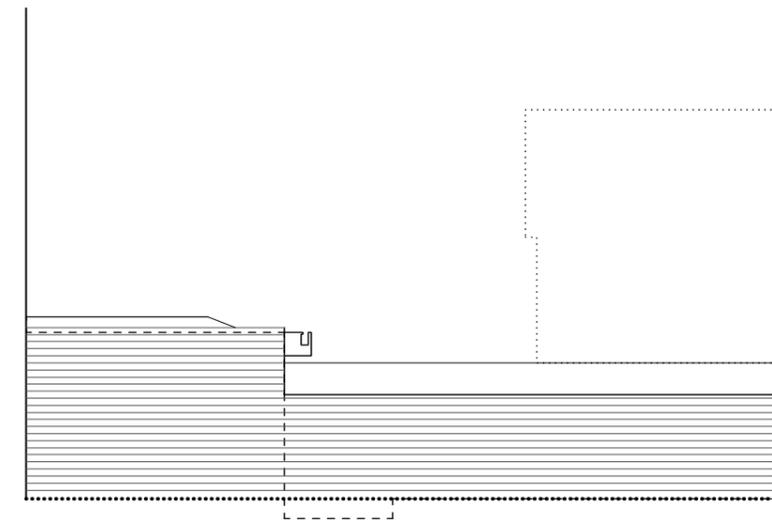


## **APPENDIX B: PROPOSED SITE LAYOUT**

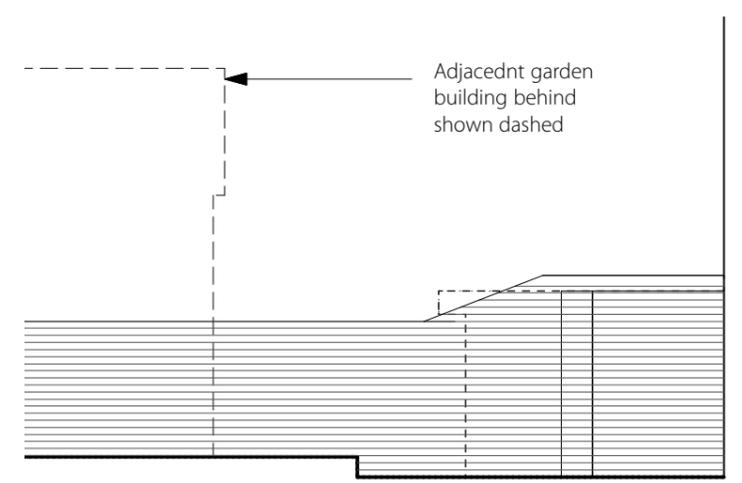
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**REAR ELEVATION**

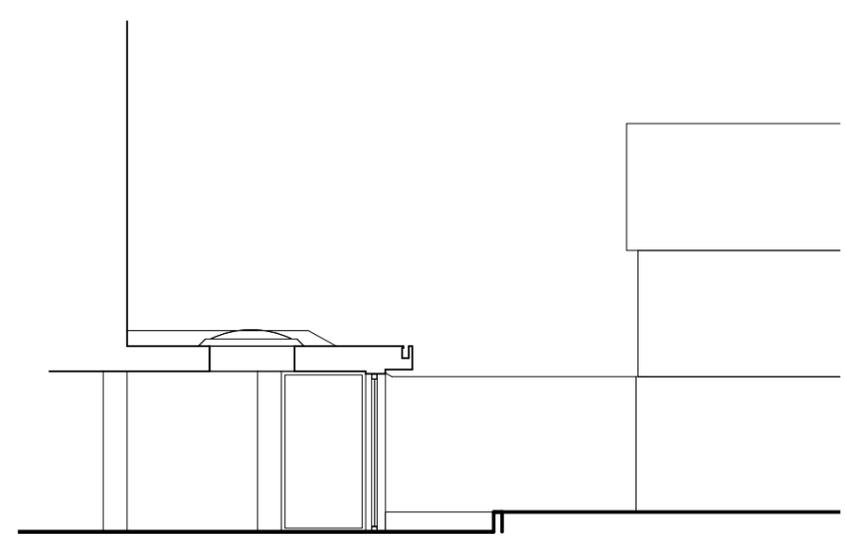


**EAST ELEVATION**

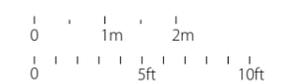


**WEST ELEVATION**

Adjacent property assumed ground level, based on drawings P/1607/5 submitted with planning application 2014/4610/P



**SECTION A**



A 28/02/2019 Boundary wall and note revised DC DC  
 Revisions By Authorised

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**Title**  
**EXISTING**  
**Elevations and Section A**

**Scale**  
 1:100 @ A3

Drawn	Checked	Authorised
-	-	-

Date	Issuing Discipline
18/07/18	ARCHITECTURE

**Issue status**  
**PLANNING**

Drawing number	Rev
<b>116 / PD / 03</b>	<b>A</b>

**Important note**  
 Where dimensions are not given, drawings must not be scaled and the matter referred to the architect.

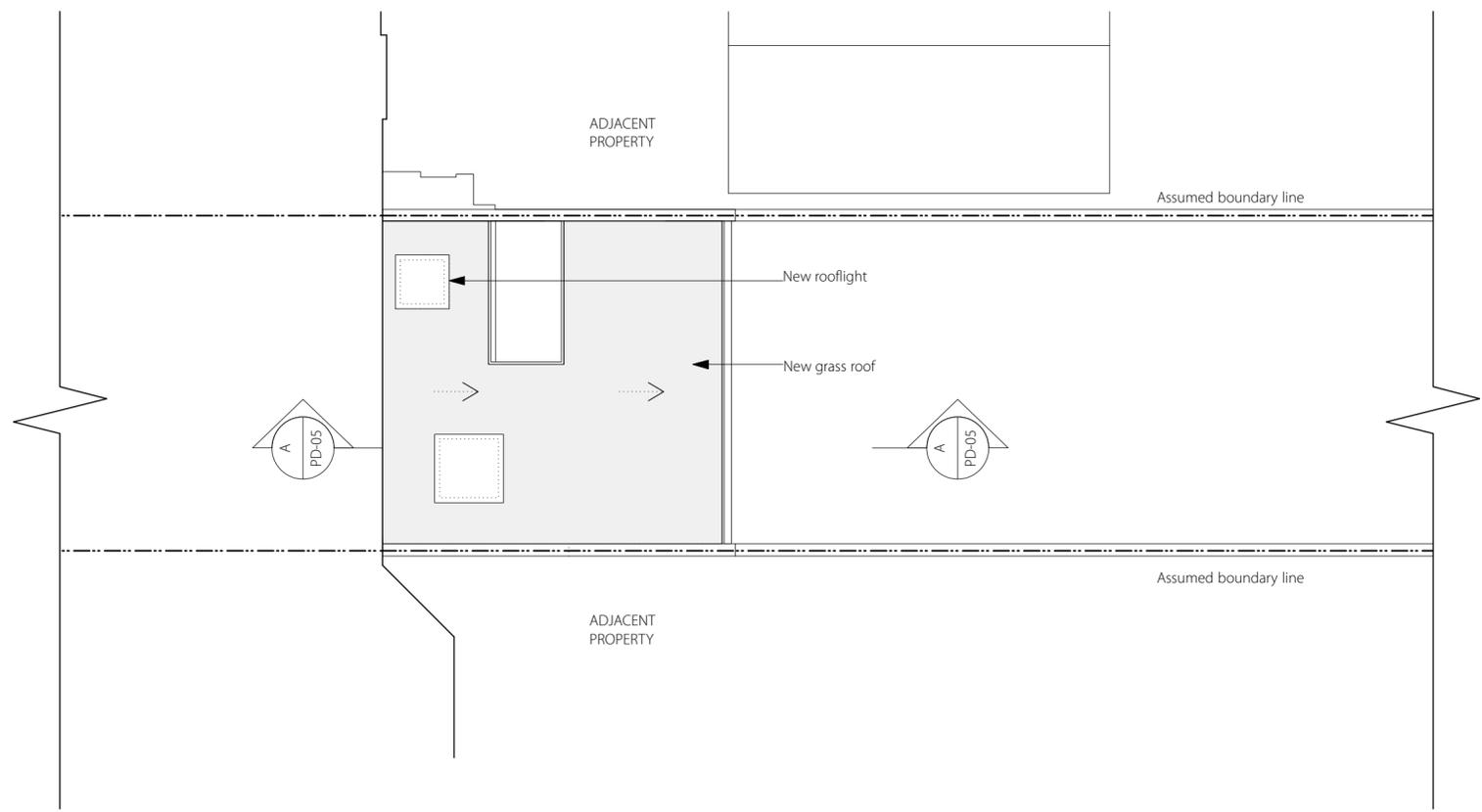
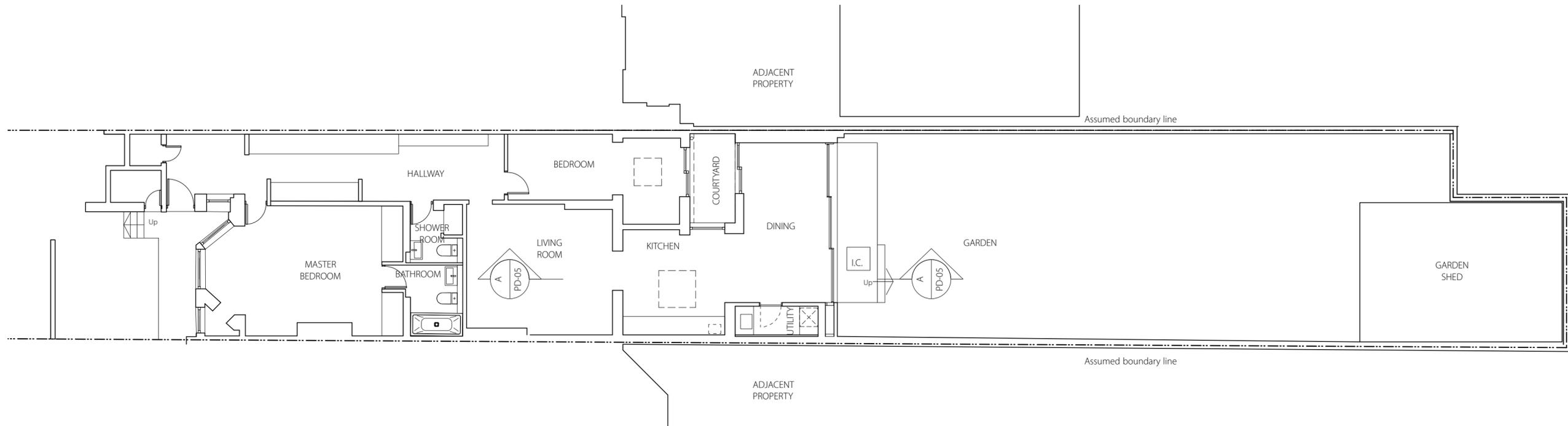
In the event of any detail or dimensional conflict between the architectural drawings, the matter must be referred to the architect for clarification.



## **APPENDIX C: EXISTING ELEVATIONS**

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Notes  
 All dimensions to be check on site prior to construction. Any descepancies should be brought to the attention of the architect.



B	25/10/18	DC	DC
A	23/08/18	DC	DC
Revisions		By I Authorised	

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**Client**  
 Mr Iain Wilson

**Project**  
 124A Greencroft gardens NW6 3PJ

**Title**  
**PROPOSED  
 Plans**

**Scale**  
 1:100 @ A2

<b>Drawn</b>	<b>Checked</b>	<b>Authorised</b>
-	-	-

<b>Date</b>	<b>Issuing Discipline</b>
18/07/18	ARCHITECTURE

**Issue status**  
 PLANNING

<b>Drawing number</b>	<b>Rev</b>
<b>116 / PD / 04</b>	<b>B</b>

Important note  
 Where dimensions are not given, drawings must not be scaled and the matter referred to the architect.

In the event of any detail or dimensional conflict between the architectural drawings, the matter must be referred to the architect for clarification.

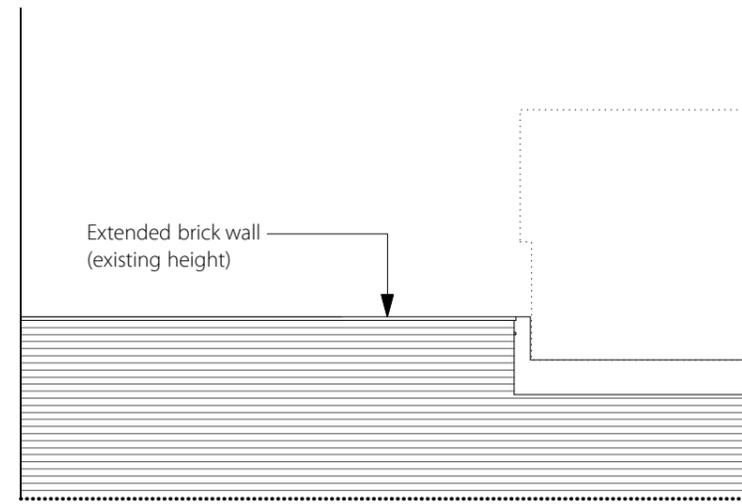
© Copyright 2018 - Ciarcelluti Mathers Architecture Ltd.



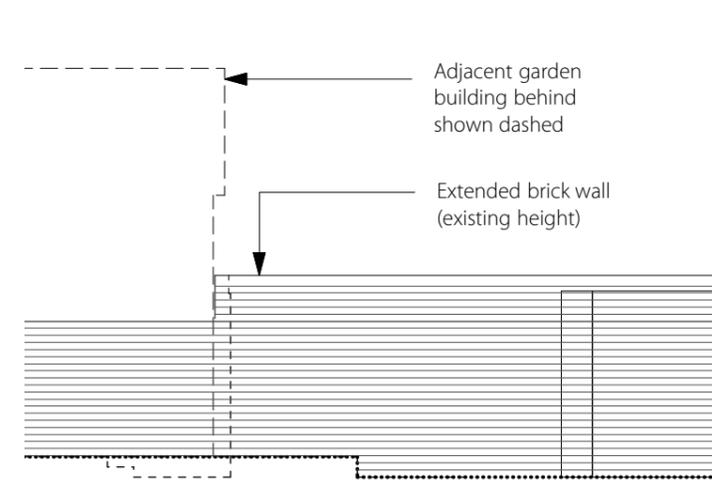


## **APPENDIX D: PROSPOSED ELEVATIONS**

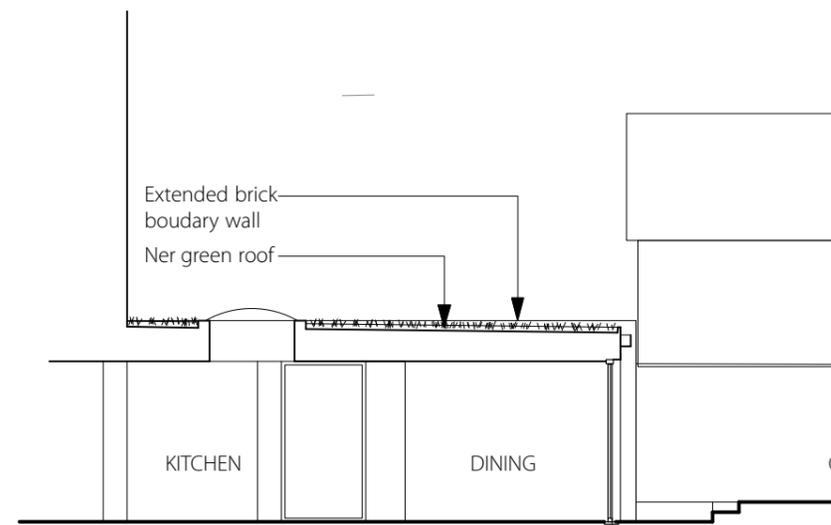
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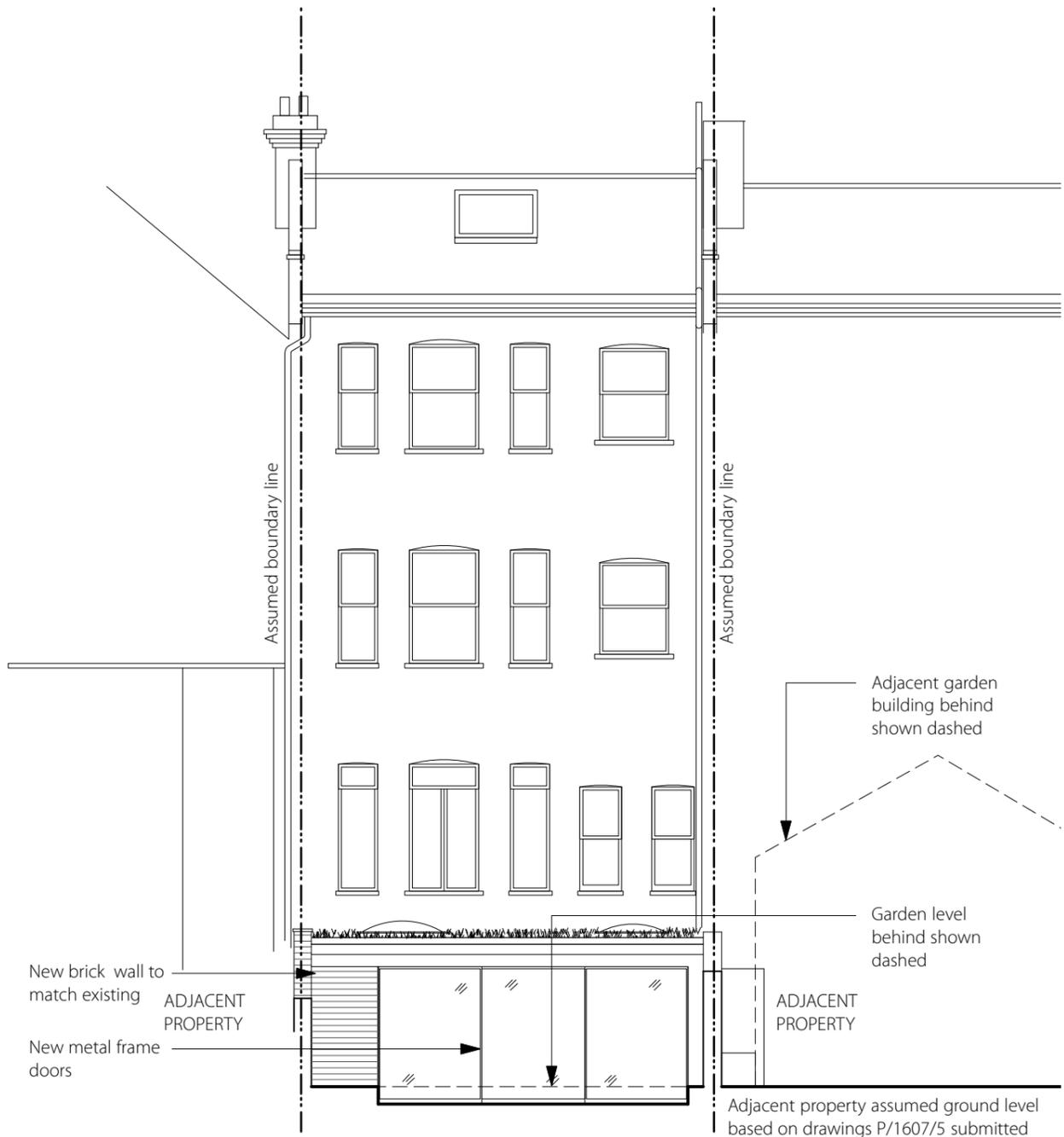
**EAST ELEVATION**



**WEST ELEVATION**



**SECTION**



**REAR ELEVATION**

B	28/02/19	Revised boundary wall and note	DC	DC
A	25/10/18		DC	DC
Revisions			By	Authorised

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**Client**  
 Mr Iain Wilson

**Project**  
 124A Greencroft gardens NW6 3PJ

**Title**  
**PROPOSED**  
**Elevations and Section A**

**Scale**  
 1:100 @ A3

<b>Drawn</b>	<b>Checked</b>	<b>Authorised</b>
-	-	-

**Date**  
 18/07/18

**Issuing Discipline**  
 ARCHITECTURE

**Issue status**  
 PLANNING

**Drawing number**  
**116 / PD / 05**

**Rev**  
**B**

**Important note**  
 Where dimensions are not given, drawings must not be scaled and the matter referred to the architect.

In the event of any detail or dimensional conflict between the architectural drawings, the matter must be referred to the architect for clarification.



# APPENDIX E: POTENTIALLY SENSITIVE RECEPTOR LOCATIONS

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Appendix E  
Measuring Element Positions



# APPENDIX F: OVERSHADOWING CALCULATIONS PRIOR TO DEVELOPMENT

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21<sup>st</sup> March 10:00am



21<sup>st</sup> March 12:00pm



21<sup>st</sup> March 14:00pm



21<sup>st</sup> March 16:00pm



# APPENDIX G: OVERSHADOWING CALCULATIONS POST DEVELOPMENT

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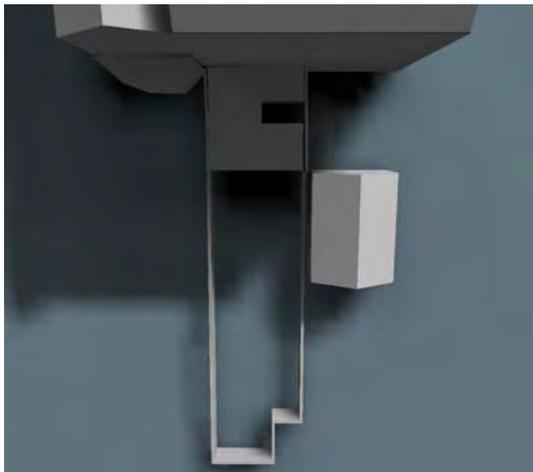
21<sup>st</sup> March 10:00am



21<sup>st</sup> March 12:00pm



21<sup>st</sup> March 14:00pm



21<sup>st</sup> March 16:00pm



---

**Flat A, 124 Greencroft Gardens, London, NW6 3PJ**

**Appeal by Iain Wilson**

---

## **APPENDIX 5**



**BLANDY & BLANDY**  
solicitors

28 February 2019

My ref: 116/C1/L01

**Mr Ben Farrant,**  
Camden Council,  
Planning Department  
5 St Pancras Square  
London N1C 4AG

Dear Mr Ben Farrant,

**Project: 116 – 124 A Greencroft Gardens, 2018/5202/P**

It has been brought to our attention that an objection to our planning application has been lodged. We have reviewed it and would like to respond the following points:

1. The objection letter states that we propose to *"add another two metres twenty centimetres to the existing extension and raising the party wall by one metre twenty centimetres in height and by four metres twenty centimetres in length."*

It is not clear where these dimensions are measured from. Crucially, we note that the proposed raised height of the party wall is 8 brick courses as demonstrated by Image 1 and Image 2 below. This is approximately 0.6m, not 1.2m as stated in the objection letter.

2. The objection letter states that *"none of the elevations submitted...give an accurate or fair impression of the impact the proposed extension and do not show the south and east facing windows that the proposed extension will draw level with."*

The submitted planning application indicatively shows the adjacent properties. We feel that this is a sufficient level of detail. The planning department has made a site visit and have not requested further information.

It is worth noting that applications 2014/4610/P and 2015/5412/P made by No126 do not show any information about the adjacent properties.

3. With regard to the objection that there "is no mention of foundation levels", the planning department will know that foundations are not typically indicated on planning drawings for single storey extensions. The foundation depth will be designed by a structural engineer and signed off by building control during the subsequent stages of technical design and construction. Relevant information will be provided to the adjoining owners at a later stage in accordance with the Party Wall Act.

4. The objection letter states: *"Assumed ground level of west facing elevation is inaccurate and it is at least a metre higher than shown"*.

We refer to planning application 2014/4610/P, drawings P1607/5 from July 2014. The North and the South Elevations show that the adjacent property ground levels at the same height of No126.

5. The tree mentioned in the objection letter is approx. 10m away from the proposed extension and is unaffected by the proposed extension. This tree comprises three individual trunks that start from ground level. It is our understanding that the trunks have a diameter less than 75mm measured at 1.5m above ground. This would therefore not class as a notifiable tree as set out by the Town and Country Planning Act 1990 document "Notification of Proposed Works to Trees in Conservation Areas". Please refer to Image 3 below.
6. Photograph One:  
In reality, the view from this window will benefit from the proposed scheme with a planted roof not only on the new extension but also on the existing roof, replacing the unsightly black roof surface shown on this picture.
7. Photograph Two:  
The representation of the raised boundary wall is not correct:
  - a. It does not extend so far beyond No 126 Garden Studio in length.
  - b. The height indicated on the photograph is a significant misrepresentation. The brick coursing of the existing wall is visible in photograph and this demonstrated that the "proposed new wall" as drawn does not follow the perspective of the photograph. As drawn the wall appears to slope higher towards the rear, giving the impression that the wall would be more imposing than proposed. The top of the proposed wall is horizontal and 8 brick courses higher than the existing wall. Please refer to Image 1 and 2 below.

The light and sense of enclosure of the existing foliage shown in Photograph Two is similar to what would result from extending the wall as proposed.

8. Photograph Three:  
The windows on the south elevation are hardly visible from No 124 as they are covered by the boundary wall and thick foliage. Please refer to Image 1 and Image 4 below. Also, the new extension stops approximately at the south east corner of Garden Studio of No 126 and the east window overlooking the garden of No 124 garden will not be affected. As per the previous point, there should be no impact to the daylight.
9. Photograph Four, Five and Six:  
These photographs and comments reference the rear garden structure and approved planning application 2008/0268/P for the "erection of a single-storey structure with green roof to provide workshop/studio space ancillary to the ground floor residential flat" and construction by the previous owner but one.

These comments are irrelevant to the proposed extension.

10. Photograph Seven and Eight:

The remaining garden will be in excess of 17m in length (measured from the proposed rear elevation to the south elevation of the existing workshop/studio), whilst the garden studio is set back more than two metres from the boundary line with No 126. We believe that the remaining garden will be sufficient and not cause any sense of enclosure to the Garden Studio of No 126.

Also, the proposed extension drawn on Photograph 7 misrepresents the size and extent of our proposal.

In general, we feel that the remaining garden of No 124 will be still spacious and the new extension will not affect the overall character of the area. We strongly believe, as already set out by the Design and Access Statement, that the proposed design and the alterations to the existing building would be beneficial to the neighbourhood.



Image 1



Image 2

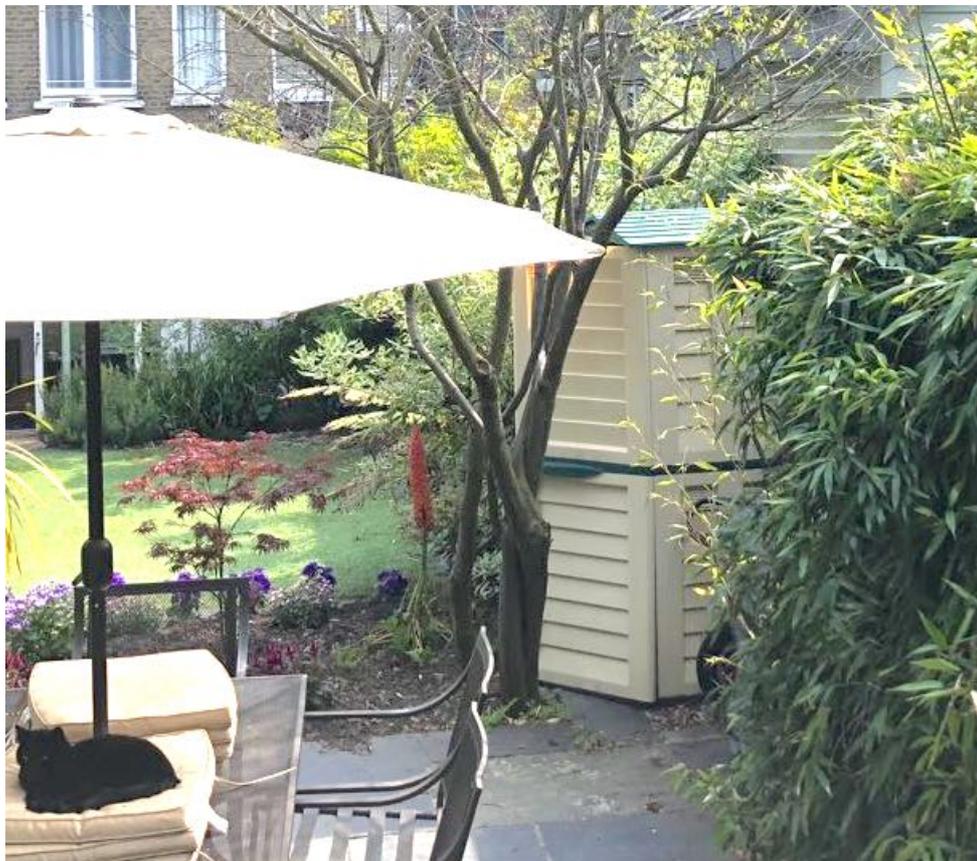


Image 3



Image 4

---

**Flat A, 124 Greencroft Gardens, London, NW6 3PJ**

**Appeal by Iain Wilson**

---

## **APPENDIX 6**



**BLANDY & BLANDY**  
solicitors

**From:** Rob Baker  
**To:** [Karen Jones](#)  
**Subject:** 124a Greencroft Gardens (WIL1525/1)  
**Date:** 11 October 2019 15:27:41  
**Attachments:** [image001.jpg](#)  
[image002.png](#)  
[image003.png](#)  
[image004.png](#)

---

Good Afternoon Karen,

Looking at the plans, it is unlikely that any light spill from external lighting will have any impact on the neighbouring property as no lighting is proposed. If no external lighting is proposed for the courtyard, then any potential light spill will be minimised and if blinds or curtains are used at night in the rooms facing the courtyard then then this will be reduced further.

The courtyard design and proposed metal doors are unlikely to result in any significant additional light spillage from the property from the current arrangements, with two sets of patio doors currently in existence across the rear of the property, as the proposal is to have a single set of bi-fold or similar type doors. As the main beam angle of any domestic interior lighting will be downward this will minimise light spillage beyond the boundary of the room.

Regards

Rob

**Rob Baker**  
**Senior Consultant**

RSK\_QA\_AWARD.png



Home\_Quality\_Mark\_RGB\_72dpi



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**RSK**

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RSK Environment Ltd is registered in Scotland at 65 Sussex Street, Glasgow, Scotland, G41 1DX, UK  
Registered number: 115530

---

**Flat A, 124 Greencroft Gardens, London, NW6 3PJ**

**Appeal by Iain Wilson**

---

## **APPENDIX 7**



**BLANDY & BLANDY**  
solicitors

