



DR WILLIAMS'S LIBRARY- 14 Gordon Square, London WC1H 0AR

CONDITION SURVEY | OCTOBER 2019

8555-CPM- ZZ-ZZ-RP-A-10004_P01

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1.0 Introduction

1.01 Scope of Study

This report summarizes the construction, and condition of the external elevations and the internal spaces. Where appropriate, recommendations for repair and conservation are given, together with guidance as to the urgency of such work.

This report is provided for the sole and confidential use of the client Dr. Williams's Library Trust (the Trust) and to their professional advisers. The Architect accepts no responsibility to any person other than the Trust. Any such person relies on the report at his or her own risk.

1.02 Purpose and Background

CPMG'S instructions are to provide the Trust with a condition assessment of and prioritised sustainable recommendations for the preservation of the fabric and significance of the asset.

This report has been produced to examine the current state of the internal and external building fabric. Of secondary importance has been to identify original elements remaining within the building. The building has undergone a number of modifications since its original construction.

The Library frontage has a North-Eastern aspect and overlooks Gordon Square. To the rear is a small enclosed garden area. There are party wall conditions at each side boundary - the Library abuts a Georgian-style terrace on its Southern boundary and a building known as the Cloisters to its Northern boundary. To the rear of the enclosed garden area is a two storey building in the ownership of the Trust and leased to University College London. This building does not form part of this report.

The Library abuts the public footpath to the front and to the rear is a shared pedestrian access. There is no vehicular access to the rear of the property.

1.03 Format

This condition survey provides an overview of the building condition and lists defects identified in specific locations around and throughout the building. These are recorded with a unique number referenced to a location to allow for their easy identification. A defects list also provides information as to type of defect and material in order that they may be grouped more easily for later use. An image reference is also provided where applicable showing the defects.

In terms of priority it is known that works in certain areas are subject to structural damage. These are identified in a report prepared by Corbett + Tasker (independently appointed structural engineers) in 2018. It is anticipated that the essential works reported by Corbett + Tasker are to be undertaken during 2019.

As a general guide the following ranked hierarchy has been adopted in the descriptions of the various elements that comprise the building –

- **Good** - Structurally sound, weather tight and with no significant repairs needed.
- **Fair-Reasonable** - Structurally sound but in need of minor or localised repair, or showing signs of lack of general maintenance.
- **Poor** - Deteriorating structure, breached weather-tightness and /or where roofed leaking and or defective rainwater goods, usually accompanied by dry rot outbreaks and general deterioration of most elements of the building fabric including external joinery or here there has been a fire or other damage
- **Very Bad** - Structural failure or where there is structural instability. Where there has been a significant loss of roof covering leading to major deterioration of the interior or where there has been a fire or similar incident affecting most of the building.

2.0 Commission Details

2.01 Brief

The report has been produced by CPMG Architects in collaboration with the Dr. John Eaton to provide recommendations for action. This report is based on a visual inspection of the general state of the building. It is given on the terms set out in the R.I.B.A. Conditions of Engagement. It is not a structural survey but a report by a firm of Chartered Architects on those matters expressly set out in this report. The Library and attached railings and pillars to Gordon Square is listed Grade II under the Planning (Listed Buildings and Conservation Areas) Act 1990. It falls within the Bloomsbury Conservation Area.

2.02 Site Details

Site name: - Dr. Williams's Library

Site Location - 14-15 Gordon Square, London WC1H 0AR

2.03 Site Type and Description

The Library was built in 1848 to designs prepared by the Victorian architect John Donaldson. In style, its external appearance may justifiably qualify as Gothic Revival. The building is arranged on seven floor levels with a central core and two side wings to the North and to the South respectively. The lowest level is one floor below the pavement level to Gordon Square and at ground level to the rear. The building was constructed all of a piece and in all important respects, remains so with no external extensions. Sundry alterations have taken place within the interior since the original construction of the building.

The Library was originally constructed as a hall of residence for students of University College London and became the home for Dr Williams's Library in 1890. Since that time the book collection had grown and now occupies most of a building that was not intended to sustain the heaving loadings imposed by the approximately 300,000 volumes now housed within the building.

The general construction consists of load bearing masonry walls with suspended timber floors.

The lowest level floors are solid. Internally the construction within the two wings is unusual as significant structural support is given by the internal stud partitions. In the central areas there are two significant double height spaces where the principal support is achieved through either iron or steel beams supporting timber and metal flooring. The roof is a traditional timber carpentry construction of rafters and purlins with a comparatively recent covering of concrete interlocking tiles. Two main stone staircases serve all levels within the building and are situated respectively in each of the North and South wings.

2.04 Programme

The inspection of the property took place over a period of three weeks in late November and early December 2018.

2.05 Limitations

This report has been based on visual inspection only. The external inspection of the building was carried out at street level. Access was not possible to the roof. Consequently, observations of the roof are restricted to those made from street level. In addition, a drone survey of the roof was commissioned and observations and certain findings are based on the photographic evidence that this has provided.

A visual inspection to assess the general conditions of the interior has been made from floor level in each case. Furnishings, wall hangings and floor coverings have not been moved. No fires have been lit and the condition of flues and the presence of flue liners cannot be indicated. The central heating system and hot water systems have not been tested. Woodwork and other parts of the structure, which are covered, unexposed or inaccessible, have not been inspected and we are unable to report that any such part of the property is free from defect. Carpets, floor coverings or fixed furniture has been removed. The contents of cupboards have also not been removed for inspection. Similarly, secure panels or electrical fittings have not been removed for inspection.

No foundations have been opened up for examination.

2.0 Commission Details

2.05 Limitations (cont)

Drainage has only been inspected where it has been reasonably possible to locate and to raise the covers of inspection chambers.

2.06 Asbestos

It is known that parts of the building contain asbestos containing material (ACM).

RPS Consultants who, following a programme of removal works, re-inspected the Library in June 2017 conducted a survey of the building in 2015. The latest RPS report (reference HLA153017/003R) has identified the presence of ACM with a high risk assessment factor in various locations, refer to appendix A for further information.

It is further noted that many of the chimneys are known to be blocked with builder's rubble arising from the re-roofing of the building undertaken in the 1970's. This may contain ACM's

2.07 Health & Safety

It is relevant to draw attention to a number of issues.

It is noted that as a consequence of the independent Corbett +Tasker structural studies certain areas of book storage either have been or are being evacuated. Reference should be made to their report and the drawings attached to this for the relevant locations.

Externally, the two subsidiary stone staircases from Gordon Square leading down to the chambers beneath pavement level are unsafe. One stair is structurally unsound and the other lacks a handrail.

Internally the surrounding balustrade to the Reading Room galleries are set too low by current Building Regulation standards. In addition at this level certain inward opening lights are set at floor level and this presents a hazard to safety.

3.0 Survey

3.01 Scope

Thus survey was undertaken jointly by Dr. John Eaton and Mrs Valentina Nullo. Access to restricted areas of the building was provided by Dr. David Wykes Director of the library.

3.02 External Envelope

This sets out the current state of the condition of the external envelope, it is divided up as follows –

- Roof Coverings And Rooflights
- Flashings And Chimney Stacks
- Rainwater Disposal System
- Foul Drainage System
- Main Walls - Frontage To Gordon Square
- Main Walls - Party Wall & South Gable
- Main Walls – Party Wall & North Gable
- Main Walls – Rear Elevation To North Wing
- Main Walls – Rear Elevations To Central Section
- Main Walls – Rear Elevation To South Wing

3.03 Internal Spaces

This sets out the current state of the condition of the internal spaces including marked up drawings. It is divided up as follows –

- Level 01 Level 02
- Level 03
- Level 04
- Level 05
- Level 06
- Level 07
- Roof-spaces

3.04 Services

A general visual description of visible services is given.

3.05 Special Environments

Description of specific requirement for book storage and other spaces is made.

3.06 Outbuildings

A general visual inspection has been of enclosures external to the main Library

3.07 Survey Conditions

At the times of the inspections the weather conditions were variable.

3.08 Limitations

The title of the property has not been investigated and no enquiries have been made regarding uses or potential uses of other property in the area that might adversely affect the value of the property. Enquiries are recommended of the Local Authority.

Harmful materials - it has been assumed that no high alumina cement, calcium chloride additive or other harmful substance has been used in the construction of the property and that inspection of those parts that have not been inspected would neither reveal material defects nor materially affect the valuation.

Specific reference is made to the presence of asbestos at section 2.6 above.

4.0 Summary of Findings

4.01 External Envelope

4.01.01 Roof Coverings and Roof Lights-

From the underside of the main roof space it is possible to see that the main roof covering consists of Redland concrete interlocking machine made tiles on softwood battens. The original roof covering was slate. Neither significant rot nor beetle infestation was observed in the roof timbers. From the available records it is thought that the present roof covering was installed at least fifty years ago. The British Standard for the expected life of building products (BS 7534:2015) gives a life of sixty years for roof coverings of the type installed. It is therefore reasonable to conclude that the present covering is coming to the end of its expected life and its replacement will be necessary in the medium term.

A survey was commissioned from Hopgrove Productions, a specialist firm who flew a drone over the building on Friday 30th November 2018 and took a series of high definition photographs of the roofs. The photographic record is of immense benefit at this stage but it is no substitute for a closer examination when scaffolding is in place. It is recommended that the findings of this report as to the external condition of parts of the building be reviewed at that time.

The Hopgrove photographs show that roof configuration consists of double pitched roofs to the two side wings with a double pitched roof at right angles to these covering the central part. At the intersections of the roofs are valley gutters. A characteristic of all the roofs is that they discharge to continuous lead lined parapet gutters at the external wall positions. At the intersection of the North wing with the central part is a parapet boundary detail that is not repeated at the South wing junction.

To the rear slope of the North wing are three lead covered housings all of which have been covered to a high standard and show no signs of leakage. A lead covered access trap is sited in the front Southern slope and this is in good condition.

No significant dipping in the respective ridge lines was observed leading one to the conclusion that these structures are not overloaded.

A small lead lined flat roof is situated behind a stone parapet above the large bay window serving the Reading room (Reference 402). This can be seen from the windows at level 5.

The condition of the hollow roll lead sheet covering and the upstand flashings all appear to be high quality and in sound condition.

The inspection revealed no major leakage through the covering. There is however a persistent leak in the attic area above the head of the stair in the South wing. This is consistent with a number of cracked roof tiles below the immediate area and the lead lined valley gutters to the access hatch to the rear of the building above this area. Remedial work is recommended.

The roof spaces are entirely un-insulated.

4.01.02 Flashings and Chimney Stacks-

The building is served by nine significant sets of brick chimney stacks that penetrate through the roof coverings. There is one set at each of the gable ends of the building (3. No. In total - two front, one rear) and four further sets at the front and rear junctions of the two wings with the central core. Two further sets are sited in each of the front slopes of the two wings.

It is probable that the stacks at the gable end to the Georgian style terrace (North junction) may have been re-built at some time as it appears to be constructed in a different brick to the other stacks. It is characteristic of all the stacks that the chimneys have generally been capped off. However this is not universal and many of the individual flues forming each stack are not capped off and are open. The environmental conditions within the Library are of central importance and measures to restrict the ingress of rainwater should be introduced into any scheme of refurbishments.

4.0 Summary of Findings

4.01.02 Flashings and Chimney Stacks (cont)

It is clear that the junctions of the chimneys and the roof coverings have been well flashed in lead and the photographic record shows neither obvious sign of any missing sections nor lifting of the lead. Similarly, the valley gutters at the intersections of the main roofs all appear to be in good condition.

The general condition of the pointing and state of the brickwork to the chimney stacks appears sound. The gable stacks are considered below at sections 2.7 and 2.8. However, on the small rear stack at the junction of the South wing and the central core the top two courses of bricks show pronounced lateral cracking and this stack will need to be partially re-built.

4.01.03 Rainwater Disposal System-

As described above, the main roof slopes discharge to lead lined parapet gutters and then through chutes into hopper heads discharging to the in-ground system by way of a system of cast iron pipes.

The system appears to be working well and coping with the flows of rainwater. At the time of the inspections there was evidence of leakage at the rear section of roofing serving the South wing. This may be a rainwater disposal problem or it may have been caused by an internal plumbing problem. Further examination is necessary when scaffolding is in place.

As part of the design exercise currently being undertaken it is recommended that the roof areas are calculated and an assessment made as to the rainwater disposal capacity. In any event, a strong argument can be made for doubling up the rainwater outlets serving the respective roof parts. In most cases a significant section of the building is served by only one outlet through the parapet gutter. An additional outlet and pipe would provide a failsafe particularly if the outlets to the hopper heads were, in addition, provided with weir outlets. As much of the pipework attached to the rear walls of the building in particular will become redundant and be removed, an additional outlet and pipe would not represent any cluttering of the external appearance.

The parapet gutters to the Gordon Square frontage appear sound and well maintained. The parapet gutters serving the rear wings and the central core will need to be examined in detail from scaffolding when erected.

4.01.04 In Ground Drainage-

The storm water and foul drainage are discharged in-ground by way of a combined system. This discharges to the main sewer in Gordon Square. A comprehensive survey of the in-ground drainage was undertaken in June 2019 by C J Uden & Company, Drainage specialists and consultants. This survey revealed that most of the in-ground system was the original system installed when the building was originally constructed. Much of the pipework, inspection chambers and catch pits are now beyond their expected working lives. A Complete overhaul is recommended.

4.01.05 Foul Drainage System Above Ground-

The building contains a number of flats each with kitchen and bathroom facilities (see room by room descriptions of the interior parts). In addition to this there are lavatory facilities serving the public areas. The foul drainage discharge is to an in-ground drainage system. From the available record drawings of the lowest level of the building (Robinson Thorne drawing DW/03:301b) it would seem that the foul and storm drainage is a combined system). It is proposed to undertake a camera survey of the existing drainage at a later date and this will confirm both the type and condition of the existing system. No significant problems have been reported

Most of the internal systems have a soil pipe discharging through the roof covering. From the Hopgrove photographs these all seem to be well formed, flashed in lead and in good condition.

The systems serving the lavatories sited at the internal half landing levels discharge to external stacks at the rear of the building. As it is proposed to remove these lavatories much unsightly external pipework serving them will also be removed.

4.0 Summary of Findings

4.01.05 Foul Drainage System Above Ground (cont)

The building to the rear of the site leased to UCL shares its foul drainage discharge with the building. When the in-ground drainage is examined in more detail it would be prudent to establish the combined capacity and to decide upon any remedial works

4.01.06 Main Walls – Frontage to Gordon Square-

- Pointing & General Condition – the front elevation to the Library was extensively refurbished in 2011. Repairs were undertaken to damaged copings, “plastic” repairs were made to certain elements of stonework and brick repairs, pointing and cleaning were undertaken. The gloss paint to the stonework was carefully removed and replaced with a breathable Keim paint system. There is some deterioration to the paint surfaces to the lower cills at level 01 and redecoration is necessary.
- It is not known if the parapet stones were secured by stainless steel dowels at the time of the refurbishment. This is matter that should be checked. It is discussed below at §2.9. The Hopgrove photographs show that the lead capping to the octagonal features all seem to be in good condition. Earlier photographs show crocketed finials to the tops of these features all of which have been removed.
- Serious structural movement – no significant movement was observed.
- Damp proof courses – no damp proof coursing is visible. A rendered dado approximately 600 mm high has been constructed along the base of the walls complete.
- Sub-floor ventilation – at various levels of the facade are cast iron grilles, which correspond to the approximate floor level positions.
- External openings: (doors & windows) – reference should be made here to the internal room-by room survey data. In general the timber sashes and casements are in good order.
- External decorations – the façade is in good decorative order.

4.01.07 Main Walls- Party Wall and North Gable

- Pointing & General Condition – an adjacent four storey terrace owned by UCL abuts

- the Library at a party wall. The gable of the Library projects from approximately level 7 above the roof of the adjoining property. From a visual inspection made through field glasses, the brickwork and pointing all appears to be in sound condition. As noted above, it is likely that the top section of the chimney stack in this location has been rebuilt.
- Serious structural movement – it is noted from the survey drawings supplied by City Surveys that this stack is shown with a pronounced inward lean toward the roof of the Library. It is recommended that this advice is sought from structural engineers.
- Abutment flashings – it was not possible to establish the condition of these.

4.01.08 Main Walls- Rear Elevation North Wing

- Pointing & General Condition – the general condition of the brickwork is generally sound, it is uniformly dirty but the pointing is generally in good condition. The paint covering to the window surrounds complete and the decorative label mouldings at levels 4 and 6 is in very poor condition. At both levels the label mouldings have been cut through to admit vertical pipework. Damage is evident to certain cills
- While the brickwork is very dirty it is likely that the best course is to apply a gentle wash to the surface as an aggressive cleaning regime may disrupt the pointing. In addition, great care will need to be taken with any water-based system to ensure that there is no ingress of water into the interior of the building. Cleaning will, it is hoped, ensure that the decorative diaper work characteristic of the brickwork will be revealed to greater effect.
- Serious structural movement – one parapet stone is missing from the South wing parapet. This has become detached and has been laid on top of the roof covering in the immediate area. This should be re-set as a matter of priority. It is suggested that the parapet stones to the rear elevations generally should be re-set with stainless steel dowels to ensure a secure fixing.
- Damp proof courses – no damp proof coursing is visible. A rendered dado approximately 300 mm high has been constructed along the length of the wall complete. Reference should be made to the internal room schedule and attached drawings concerning dampness.

4.0 Summary of Findings

4.01.08 Main Walls- Rear Elevation North Wing (cont)

- Sub-floor ventilation – at various levels of this facade are cast iron grills that correspond to the respective floor levels
- External openings (doors & windows) - minor works to the single glazed metal casement windows will be required. These will entail some re-glazing and easing of the existing mechanisms. In general, the metal casements are in sound condition with no excessive rusting or deterioration. The timber door leading from the stair is robust and in good condition.
- External decorations - complete redecoration of the metal windows, timber doors and painted stonework is recommended. The remedial works programme for the front elevation employed the Doff system for the removal of flaking paint from the painted sections of stonework. This is a proven technique and it is recommended that the same system is used in any refurbishment of the rear elevations.

4.01.09 Main Walls- Rear Elevation to South Wing

- Pointing & General Condition – the general condition of the brickwork, like that of the rear section of the North wing is generally sound, is similarly uniformly dirty and the pointing is, again, in generally good condition. The paint covering to the window surrounds complete and the decorative label mouldings at levels 4 and 6 are, again in very poor condition. At both levels the label mouldings have also been cut through to admit vertical pipework. Damage is evident to a number of cills.
- A section of the brickwork from level 5 downwards adjacent and to the right of window openings has been significantly water damaged and will need to be carefully cleaned and restored.
- The brickwork to all the elevations to the rear is uniformly dirty and the recommended course is, like that to the other rear wall surfaces, to apply a gentle wash to the surface. The diaper work will become more evident as a result. Again, great care will need to be taken with any water-based system to ensure that there is no ingress of water into the interior of the building.
- Serious structural movement – none was observed.

- Damp proof courses – no damp proof coursing is visible. A long part of the walling is a covering of bituminous paint. Reference should be made to the internal room schedule and attached drawings concerning dampness.
- Sub-floor ventilation – at various levels of this facade are cast iron grills that correspond to the respective floor levels.
- External openings - (doors & windows) – like the windows to the North wing, minor works to the single glazed metal casement windows will be required. These will entail some re-glazing and easing of the existing opening mechanisms.
- External decorations - complete redecoration to the painted parts is recommended. The painted stonework is, again, in a very poor condition. The Doff system for the removal of flaking paint from the painted sections of stonework is again recommended here.

4.01.10 Main Walls- Rear Elevation to Central Core

- Pointing & General Condition - the general condition of the brickwork here, like that of the rear walls of the building is generally sound. This section is similarly uniformly dirty and the pointing is, again, in generally good condition. The paint covering to the window surrounds complete and the decorative label mouldings between levels 2 and 3, level 4 and level 6 are, again in very poor condition. Brick cleaning by gentle washing is again recommended - the diaper work will become more evident as a result
- Serious structural movement - none was observed. It is noted that a holly tree has become established at the junction of the central section to the North side. This is probably not causing any root action problems but the advice of the structural engineer should be sought regarding this.
- Damp proof courses - no damp proof coursing is visible.
- Sub-floor ventilation- at various levels of this facade are cast iron grills that correspond to the respective floor levels.
- External openings: (doors & windows) - these are generally in good order but buckling is evident in the two upper stained glass lights serving the central section of the Lecture theatre bay window (opening reference).

4.0 Summary of Findings

4.01.10 Main Walls- Rear Elevation to Central Core (cont)

- theatre bay window (opening reference). Attention to the saddle bar fixings is probably necessary. Consideration should be given to the provision of external polycarbonate sheeting to provide protection to the stained glass.
- External decorations - complete redecoration to the painted parts is recommended. The painted stonework is, again, in a very poor condition. The Doff system for the removal of flaking paint from the painted sections of stonework is again recommended here.

4.02 Internal Spaces

A visual inspection to assess the general condition of the interior spaces has been made from floor level in each case. Room References in square brackets denote the numbering adopted by previous consultants.

As stated above, the surfaces of floors not covered with fixed coverings have been inspected as far as is practicable. Fixed floorboards have not been lifted. No guarantee can therefore be given that any timbers are free from rot, woodworm or other infestation. Damp meter readings have been made at external and internal walls where readily accessible.

While the configuration of the building has one story below pavement level there is, technically speaking (by virtue of the separation of the building from the back of the pavement) no basement.

Reference is made in what follows to the Corbett +Tasker (C+T) structural investigations reported in their report to the Trust of 25th July 2018.

Also refer to the CPMG Condition Survey drawings.

Level 01

Room Ref.101 [110] – Book Storage – Jonathan Morgan Strong Room	
Floor	Seamless linoleum on solid.
Walls	Plaster on masonry. Dampness in excess of 20% at low level adjacent to party wall
Ceiling	Painted plaster. In reasonable condition.
Windows	Environmental shutters to external windows and access door. In reasonable condition.
Joinery	Strong room door in good condition.
Decorative order	Good.
Room Ref.102 [109] [106] – Book storage – Photography (accessed via Room Ref. 101)	
Floor	Seamless linoleum on solid.
Walls	Plaster on masonry. In reasonable condition
Ceiling	Painted plaster. In reasonable condition.
Windows	Windows – Environmental shutters to external windows. In reasonable condition
Joinery	-
Decorative order	Good.
Room Ref. 103 [106] – Congregational Library Bookstore.	
Floor	York stone slabs in reasonable order. Part linoleum to accommodate rolling stacks.
Walls	Painted fair faced brickwork in reasonable order
Ceiling	Brick fair faced painted segmental vault
Windows	-
Joinery	Strong room security door in good condition.
Decorative order	Fair
Room Ref. 104 [105] – Trust Strong room.	
Floor	York stone slabs in reasonable order.
Walls	Painted fair-faced brickwork in reasonable order.
Ceiling	Brick fair faced painted segmental vault.
Windows	-
Joinery	Strong room security door in good condition. Inner steel door in good order.
Decorative order	Fair
Room Ref. 105 [115] – Plant Room	
Floor	Brick pavers on solid. In reasonable condition.
Walls	Painted fire faced brick. I reasonable condition.
Ceiling	-
Windows	-
Joinery	Solid timber external door with ogee top in reasonable condition.
Other	Gas meter located in this chamber.
Decorative order	Fair

4.0 Summary of Findings

Level 01 (cont)

Room Ref. 106 [107] – Plant Room	
Floor	Brick pavers and concrete in reasonable order.
Walls	Painted fair-faced brickwork in reasonable order.
Ceiling	Brick fair-faced painted segmental vault in reasonable order.
Windows	-
Joinery	Timber in reasonable condition
Asbestos	Asbestos has been identified in a pipe casing.
Decorative order	Fair.
Room Ref. 107 [108] – Conservator's Studio	
Floor	Solid with York stone covering. Infill piece loose and evidence of dampness at ramp junction.
Walls	Masonry with painted plaster finish in reasonable condition.
Ceiling	Painted plaster in reasonable condition. Condensation a problem resulting from uninsulated construction.
Windows	New side lights beneath bridge access from pavement in reasonable condition.
Joinery	In reasonable condition.
Decorative order	In reasonable condition.
Room Ref. 108 [112] – Congregational Library Strong room	
Floor	Solid with seamless linoleum finish.
Walls	Masonry with painted plastered finish. Dampness is evident at low level adjacent to party wall and exterior stair to pavement. Dampness levels recorded in excess of 20%.
Ceiling	Painted plaster in reasonable condition.
Windows	Environmental shutters to windows and external door.
Joinery	In reasonable condition.
Decorative order	In good condition
Room Ref. 109 [112] – Corridor	
Floor	York stone slabs on solid.
Walls	Masonry with painted plaster finish in reasonable condition.
Ceiling	Painted plaster in reasonable condition. The ceiling area here is effectively a large-scale services duct
Windows	-
Joinery	Timber in reasonable condition
Decorative order	Fair
Room Ref. 110 [113] – Manuscript Reading Room	
Floor	Solid in reasonable condition. Partial linoleum covering
Walls	Masonry with painted plastered finish. In reasonable condition.
Ceiling	Painted plaster in reasonable condition.
Windows	Internal glazed screens in good condition.
Joinery	In reasonable condition.
Decorative order	Good condition.

Room Ref. 111 [114] – Office	
Floor	Solid with linoleum covering. In reasonable condition
Walls	Masonry with painted plastered finish. In reasonable condition
Ceiling	Painted plaster in reasonable condition. 2.no. timber structural down stand beams non- fire protected
Windows	Galvanised steel casement with external security grilles. In reasonable order.
Joinery	Timber door in reasonable condition.
Structure	Two timber structural down stand beams non- fire protected.
Decorative order	Good
Room Ref. 112 [ICC] – Central corridor.	
Floor	York stone slabs in reasonable order.
Walls	Masonry with painted plaster finish in reasonable condition.
Ceiling	Painted plaster in reasonable condition.
Windows	-
Joinery	In reasonable order.
Services	The ceiling area here is effectively a large-scale services duct
Asbestos	This has been identified at a pipe junction into the adjacent Kitchen area.
Decorative order	Poor
Room Ref. 113 [104] – Book Store	
Floor	Solid with linoleum finish. In good condition.
Walls	Painted fair-faced brickwork in reasonable condition.
Ceiling	Permanent steel shuttering for floor over. There is possible asbestos in the ceiling
Windows	Frosted glass in metal casement with security grille. In reasonable order.
Joinery	Security door in good order.
Decorative order	In reasonable order
Room Ref. 114 [103] – Strong Room	
Floor	Solid with linoleum finish. In good condition.
Walls	Masonry with painted plastered finish. In reasonable condition
Ceiling	Permanent steel shuttering.
Windows	-
Joinery	-
Structure	The ceiling is non- fire protected.
Asbestos	There is possible asbestos in the ceiling construction
Decorative order	In reasonable order.
Room Ref. 115 [101] – Picture Storage	
Floor	Solid floor with painted finish in reasonable order.
Walls	Masonry with painted plastered finish. In reasonable condition.
Ceiling	Painted plaster in reasonable condition
Windows	Galvanised steel casements in reasonable order.
Joinery	Timber in reasonable order.
Fittings	Two original fireplaces in reasonable condition.
Decorative order	Reasonable

4.0 Summary of Findings

Level 01 (cont)

Room Ref. 116 [102] - Kitchen	
Floor	Solid with linoleum finish. In serviceable condition.
Walls	Masonry with painted plastered finish. In reasonable condition.
Ceiling	Painted plaster in reasonable condition
Windows	Galvanised steel casement with external security grille. In reasonable condition
Joinery	Timber. In reasonable condition
Fittings	Kitchen appliances in reasonable order.
Structure	Timber structural down stand beam non- fire protected.
Decorative order	Poor

Room Ref.117 [111]- Book Storage	
Floor	Seamless linoleum on solid.
Walls	Plaster on masonry. Dampness in excess of 20% at low level at party wall location.
Ceiling	Painted plaster. In reasonable condition.
Windows	Environmental shutters to external windows and access door. In reasonable condition.
Joinery	Strong room door in good condition.
Fittings	Rolling stack book shelving with recessed floor mechanisms
Decorative order	Good.

Room Ref.118 [1CS]- Book Storage	
Floor	Seamless linoleum on solid.
Walls	Plaster on masonry.
Ceiling	Painted plaster. In reasonable condition.
Windows	-
Joinery	-
Fittings	Rolling stack book shelving with recessed floor mechanisms
Decorative order	Good.

Staircase Ref. 15N [S01N]	
Floor	York stone in reasonable condition. Some deterioration.
Walls	Masonry with painted plastered finish. Keene's cement skirtings, edges and window reveal edges. Significant plaster cracking around rear exit door and adjacent window.
Ceiling	-
Windows	Galvanised steel casement in reasonable order.
Joinery	Timber handrail on metal balusters. In good condition. Timber rear exist door and frame in reasonable condition.
Stair treads	Cantilevered York stone with linoleum nosings. In serviceable condition.
Decorative order	Fair. Redecoration is necessary.

Staircase Ref. 15S [S01S]	
Floor	York stone in reasonable condition
Walls	Masonry with painted plastered finish. Keene's cement skirtings, edges and window reveal edges. Significant plaster cracking and damage to wall and around rear exit door and adjacent window.
Ceiling	-
Windows	Galvanised steel casement in reasonable order.
Joinery	Timber rear exit door and frame in reasonable condition. Timber handrail on metal balusters. In good condition.
Stair treads	Cantilevered York stone with linoleum nosings. In serviceable condition.
Decorative order	Fair. Redecoration is necessary.

4.0 Summary of Findings

Level 02

Room Ref. 201 [224] – Caretaker's Flat Bedroom 1	
Floor	Suspended timber with carpet covering. No obvious signs of distress.
Walls	Painted plaster.
Ceiling	Painted plaster in reasonable condition.
Windows	Metal casement with internal secondary glazing. Mould evident to reveals between glazing systems
Joinery	Painted timber doors, architraves and skirtings in reasonable condition.
Fireplace	Timber surround and glazed ceramic tiles in good condition.
Decorative order	Fair
Room Ref. 202 [223] – Caretaker's Flat Bedroom 2	
Floor	Suspended timber with carpet covering. No obvious signs of distress.
Walls	Painted plaster. Dampness in excess of 20% evident in party wall.
Ceiling	Painted plaster in reasonable condition.
Windows	Metal casement with internal secondary glazing. Mould evident to reveals between glazing.
Joinery	Painted timber doors, architraves and skirtings in reasonable condition.
Fireplace	Boarded over.
Decorative order	Fair.
Room Ref. 203 [222] – Office	
Floor	Suspended timber with carpet covering. No obvious signs of distress.
Walls	Painted plaster.
Ceiling	Painted plaster in reasonable condition.
Windows	Metal casement in reasonable condition.
Joinery	Painted timber doors, architraves and skirtings in reasonable condition.
Fireplace	Roman cement surround with cast iron grate. In good condition
Decorative order	Fair.
Room Ref. 204 [105] – Main Entrance	
Floor	York stone slabs in reasonable order.
Walls	Painted plastered brickwork in reasonable order.
Ceiling	Painted plaster vaulting in reasonable condition.
Windows	-
Joinery	Main and internal access doors in timber with ogee heads – in reasonable condition.
Steps	Steps to Lecture hall – York stone in reasonable condition.
Stairs	Stairs to level 3 (two sets) – York stone treads in reasonable condition. Repairs to central sections of treads on both sets of stairs. Painted stone balustrading in reasonable condition
Decorative order	Tired.

Room Ref. 205 [252] – Service Lobby	
Floor	York stone flags and concrete in reasonable order.
Walls	Painted plastered brickwork in reasonable order.
Ceiling	Painted plaster in reasonable condition.
Windows	-
Joinery	Painted timber double doors to the exterior and the interior corridor in reasonable condition.
Decorative order	Fair
Room Ref. 206 [253 & 254] – Book Storage	
Floor	Suspended timber with linoleum covering. No obvious signs of distress.
Walls	Painted plaster.
Ceiling	Painted plaster in reasonable condition.
Windows	Metal casements in reasonable condition.
Joinery	Painted timber doors, architraves and skirtings in reasonable condition.
Structure	C+T have identified the floor as needing structural calculations to justify the imposed loading. Fire protection necessary to existing steelwork.
Asbestos	Possible asbestos has been identified in the side wall to the service entrance.
Decorative order	Fair
Room Ref. 207 [2CN] – Cupboard	
Floor	Infill timber adjacent to party wall
Walls	Masonry with painted plaster finish in reasonable condition.
Ceiling	Painted plaster in reasonable condition.
Windows	-
Joinery	In reasonable condition.
Decorative order	Fair
Room Ref. 208 [2CN] – Central corridor	
Floor	York stone slabs with linoleum covering in reasonable condition
Walls	Masonry with painted plastered finish in reasonable condition.
Ceiling	Painted plaster in reasonable condition.
Windows	-
Joinery	Painted timber doors, architraves and skirtings in reasonable condition.
Decorative order	Fair
Room Ref. 209 [256] – Congregational Library	
Floor	Suspended timber with linoleum finish.
Walls	Masonry with painted plaster finish in reasonable condition.
Ceiling	Painted plaster in reasonable condition.
Windows	Metal casement in reasonable condition.
Joinery	Painted timber door, architraves and skirtings in reasonable condition.
Structure	C+T have identified the floor as needing structural calculations to justify the imposed loading.
Decorative order	Fair

4.0 Summary of Findings

Level 02 (cont)

Room Ref. 210 [255] - Congregational Library	
Floor	Suspended timber with linoleum finish.
Walls	Masonry and internal stud with painted plaster finish in reasonable condition. Cracking to stud partition and dampness in excess of 20% beneath window cill.
Ceiling	Painted plaster in reasonable condition.
Windows	Metal casement in reasonable condition.
Joinery	Painted timber door, architraves and skirtings in reasonable condition.
Structure	C+T have identified the floor as needing structural calculations to justify the imposed loading
Decorative order	Fair
Room Ref. 211 [2CC] - Lobby corridor.	
Floor	York stone slabs with linoleum covering in reasonable order.
Walls	Masonry with painted plaster finish in reasonable condition.
Ceiling	Painted plaster in reasonable condition.
Windows	-
Joinery	In reasonable order.
Decorative order	Fair
Room Ref. 212 [202] – Lecture Hall	
Floor	Long strip hardwood. In good condition re-finishing is recommended.
Walls	Timber panelling with integral cupboards and shelving to door head level. Above, masonry with wall papered plaster finish in reasonable condition (a set of Edward Armitage murals lies beneath the wall paper).
Ceiling	Painted plaster in reasonable condition. Decorative trusses – Timber casings to cast-iron beams in need of refurbishment. Decorative braces and corbels in good order.
Windows	Stained glass in metal casements to the sides in reasonable condition. Stained glass in painted stonework to bay in need of minor repairs. The Teleflex operating gear to window (31) 2-040 is in need of repair. This window has a broken quarry at low level. The leaded light glazing to window (31) 2-042 is visibly distorted.
Joinery	Main access doors in timber with ogee heads – in reasonable condition.
Decorative order	Fair
Room Ref. 213 [2C-C] – Lobby Corridor	
Floor	York stone slabs in reasonable order.
Walls	Masonry with painted plaster finish in reasonable condition.
Ceiling	Painted plaster in reasonable condition.
Windows	-
Joinery	In reasonable order.e l
Decorative order	Fair

Room Ref. 214 [2C-C] Lobby to Caretaker's Flat	
Floor	Carpet on solid. No signs of distress
Walls	Masonry with painted plaster finish in reasonable condition.
Ceiling	Painted plaster in reasonable condition.
Windows	-
Joinery	In reasonable order.
Decorative order	Fair
Room Ref. 215 [*] – Central circulation to Caretaker's Flat	
Floor	Carpet on solid. Suspended timber within cupboard. No signs of distress
Walls	Masonry with painted plaster finish in reasonable condition.
Ceiling	Painted plaster in reasonable condition.
Windows	-
Joinery	In reasonable order.
Decorative order	Fair
Room Ref.216 [226B]- Bathroom to Caretaker's Flat	
Floor	Linoleum on suspended timber. No signs of distress
Walls	Masonry and stud partitioning with painted plaster finish and sundry ceramic tiling. In fair condition. Mould formation due to inadequate ventilation is reported to be a persistent problem.
Ceiling	Painted plaster in reasonable condition.
Windows	-
Joinery	In reasonable order.
Notes	Plumbing / fittings - Bath, sink and lavatory in reasonable condition. Electrics – Electric extract fan
Decorative order	In reasonable order.
Room Ref.217 [226A] - Kitchen to Caretaker's Flat	
Floor	Linoleum on suspended timber. No signs of distress
Walls	Masonry and stud partitioning with painted plaster finish in reasonable condition. Sundry ceramic tiling.
Ceiling	Painted plaster in reasonable condition.
Windows	Metal casements in reasonable condition.
Joinery	In reasonable order.
Notes	Plumbing / fittings – Fitted kitchen with sink in reasonable condition Services – A self contained gas fired hot boiler sited within the kitchen area with a balanced flue through the rear wall provides heating and hot water independently the main systems serving the building.
Decorative order	Reasonable.

4.0 Summary of Findings

Level 02 (cont)

Room Ref.218 [226A] - Living Room to Caretaker's Flat	
Floor	Carpet on suspended timber. No signs of distress
Walls	Masonry with painted plaster finish in reasonable condition. Dampness in excess of 20% is evident at the party wall position.
Ceiling	Painted plaster in reasonable condition.
Windows	Metal casements in reasonable condition.
Joinery	In reasonable order.
Fireplace	Painted Roman cement surround - boarded over.
Decorative order	Reasonable.
Room Ref.219 [226A] - Cupboard to Caretaker's Flat	
Floor	Suspended timber. No signs of distress
Walls	Masonry with painted plaster finish in reasonable condition. Dampness in excess of 20% is evident at the party wall position.
Ceiling	Painted plaster in reasonable condition.
Windows	-
Joinery	In reasonable order.
Decorative order	Reasonable.
Staircase Ref. 2SN	
Floor	York stone in reasonable condition
Walls	Masonry with painted plastered finish. Keene's cement skirtings, edges and window reveal edges. Significant plaster cracking around rear exit door and adjacent window. The plaster has serious deterioration in one side wall.
Ceiling	-
Windows	Galvanised steel casement in reasonable order.
Joinery	Timber handrail on steel balusters in reasonable condition
Stairs	Cantilevered York stone with linoleum nosings. In serviceable condition.
Notes	Lavatory – Access from the half landing containing WC and sink. All in fair condition. Internal fully glazed and screen separation at this level.
Asbestos	Possible asbestos sheeting has been identified in the side panels to the fire door assembly leading to the internal corridor.
Decorative order	Fair. Redecoration is necessary.

Staircase Ref. 2SS	
Floor	York stone in reasonable condition
Walls	Masonry with painted plastered finish. Keene's cement skirtings, edges and window reveal edges. Significant plaster cracking around rear exit door and adjacent window. The plaster is seriously deteriorated in one side wall.
Ceiling	-
Windows	Galvanised steel casement in reasonable order.
Joinery	Timber handrail on steel balusters in reasonable condition.
Stairs	Cantilevered York stone with linoleum nosings. In serviceable condition.
Decorative order	Fair. Redecoration is necessary.

4.0 Summary of Findings

Level 03

Room Ref. 301 [323] – Board Room	
Floor	Suspended timber with long strip oak finish. In good condition
Walls	Masonry with painted plaster finish in reasonable condition.
Ceiling	Painted plaster in reasonable condition. A decorative cornice has been installed at the wall-ceiling junction.
Windows	Timber four light painted sashes in good order.
Joinery	Timber painted panelled door, skirtings, architraves and timber window reveals in good order.
Structure	C+T have identified the floor over this area as needing further structural examination.
Fireplace	Boarded over.
Decorative order	Reasonable.

Room Ref. 302 [322] Office	
Floor	Suspended timber with linoleum finish. In good condition
Walls	Masonry with painted plaster finish in reasonable condition.
Ceiling	Painted plaster in reasonable condition.
Windows	Painted timber sashes in good order.
Joinery	Timber painted panelled door, skirtings and architraves in good order.
Fireplace	Roman cement surround with cast-iron firebox in reasonable condition.
Decorative order	Reasonable.

Room Ref. 303 [352] – Book Storage	
Floor	Suspended timber with carpet finish. In good condition
Walls	Masonry with painted plaster finish in reasonable condition.
Ceiling	Painted plaster in reasonable condition. A decorative cornice has been installed at the wall-ceiling junction.
Windows	Painted timber sashes in good order.
Joinery	Timber flush door, skirtings and architraves in good order.
Decorative order	Reasonable.

Room Ref. 303 [352] – Book Storage	
Floor	Suspended timber with carpet finish. In good condition
Walls	Masonry with painted plaster finish in reasonable condition.
Ceiling	Painted plaster in reasonable condition. A decorative cornice has been installed at the wall-ceiling junction.
Windows	Painted timber sashes in good order.
Joinery	Timber flush door, skirtings and architraves in good order.
Decorative order	Reasonable.

Room Ref. 304 [353] – Book Storage	
Floor	Suspended timber with linoleum finish. In good condition
Walls	Masonry with painted plaster finish in reasonable condition. Dampness evident in centre of chimney breast.
Ceiling	Painted plaster in reasonable condition.
Windows	Four light painted timber sashes in good order.
Joinery	Timber painted panelled door, skirtings, architraves and timber window reveals in good order.
Decorative order	Reasonable.

Room Ref. 305 [3CN] – Central corridor	
Floor	Linoleum covering on York stone slabs with infill suspended timber section at party wall position. In reasonable condition.
Walls	Masonry with painted plaster finish in reasonable condition.
Ceiling	Painted plaster in reasonable condition.
Windows	-
Joinery	Timber painted panelled door, skirtings and architraves in good order.
Decorative order	Reasonable.

Room Ref. 306 [354] – Book Storage.	
Floor	Suspended timber with linoleum finish. In good condition
Walls	Masonry with painted plaster finish in reasonable condition. Cracking in external wall.
Ceiling	Painted timber in reasonable condition.
Windows	Metal casements in good order.
Joinery	Timber painted panelled door, skirtings, architraves and timber window reveals in good order.
Structure	Fireproofing is necessary to down-stand beams.
Decorative order	Reasonable.

Room Ref. 307 [108] – Director's Flat, central corridor	
Floor	Fitted carpet on York stone slabs with infill suspended timber section at party wall position. In reasonable condition.
Walls	Masonry with painted plaster finish in reasonable condition.
Ceiling	Painted plaster in reasonable condition.
Windows	-
Joinery	Timber painted panelled door, skirtings and architraves in good order
Decorative order	Reasonable.

4.0 Summary of Findings

Level 03 (cont)

Room Ref. 308 [112] – Director's Flat bathroom	
Floor	Vinyl on suspended timber. No signs of distress. This floor has been tanked.
Walls	Masonry and stud partitioning with painted plaster finish and sundry ceramic tiling. In fair condition.
Ceiling	Painted plaster in reasonable condition.
Windows	-
Joinery	In reasonable order.
Note	Plumbing - Bath, sink and lavatory in reasonable condition. Electrics - Electric extract fan.
Decorative order	Reasonable.

Room Ref.309 [112] – Director's Flat kitchen	
Floor	Linoleum on suspended timber. No signs of distress
Walls	Masonry with painted plaster finish in reasonable condition.
Ceiling	Painted plaster in reasonable condition.
Windows	-
Joinery	In reasonable order.
Notes	Plumbing / fittings – Fitted kitchen with sink in reasonable condition. Services – a self-contained gas fired hot boiler sited within the kitchen area with a balanced flue through the rear wall provides heating and hot water independently the main systems serving the building.
Decorative order	Reasonable

Room Ref. 310 [324] – Director's Flat bed sitting room	
Floor	Carpet on suspended timber. No signs of distress
Walls	Masonry with painted plaster finish in reasonable condition. Dampness is evident at the party wall position.
Ceiling	Painted plaster in poor condition. A major leak from above (remedied) has caused significant damage.
Windows	Metal casements in reasonable condition
Joinery	In reasonable order.
Structure	C+T have identified the floor over this area as needing further structural examination.
Decorative order	Reasonable.

Staircase Ref. 3SN	
Floor	York stone in reasonable condition
Walls	Masonry with painted plastered finish. Keene's cement skirtings, edges and window reveal edges.
Ceiling	-
Windows	Galvanised steel casement in reasonable order.
Joinery	Timber handrail on metal balusters. In good condition.
Stairs	Cantilevered York stone. In serviceable condition with significant wear.
Notes	Lavatory – Access from the half landing. WC and sink removed. All in fair condition.
Decorative order	Fair. Redecoration is necessary.

Staircase Ref. 3SS	
Floor	York stone in reasonable condition
Walls	Masonry with painted plastered finish. Keene's cement skirtings, edges and window reveal edges. Significant plaster damage to external wall corner caused by leakage.
Ceiling	-
Windows	Galvanised steel casement in reasonable order.
Joinery	Timber handrail on metal balusters. In good condition.
Stairs	Cantilevered York stone with linoleum nosings. In serviceable condition with significant wear.
Decorative order	Poor

4.0 Summary of Findings

Level 04

Room Ref. 401 [424] – Exhibition Room	
Floor	Carpet on suspended timber floor.
Walls	Masonry with painted plaster finish in reasonable condition.
Ceiling	Painted plaster in reasonable condition.
Windows	Timber sashes recently refurbished and in good condition.
Joinery	Timber painted panelled door, skirtings and architraves in good order.
Fireplace	Original retained and blocked off.
Decorative order	Fair
Room Ref. 402 [423] – Accountant's Office	
Floor	Carpet on suspended timber floor.
Walls	Masonry with painted plaster finish in reasonable condition,
Ceiling	Painted plaster in reasonable condition.
Windows	Timber sashes recently refurbished and in good condition.
Joinery	Timber painted panelled door, skirtings and architraves in good order.
Fireplace	Original retained and blocked off.
Decorative order	Reasonable
Room Ref. 403 – Corridor	
Floor	Linoleum on suspended timber floor.
Walls	Masonry with painted plaster finish in reasonable condition
Ceiling	Painted plaster in reasonable condition.
Windows	-
Joinery	Timber painted panelled door, skirtings and architraves in good order. Built in cupboard in painted timber in reasonable condition.
Decorative order	Reasonable
Room Ref. 404 [422] – Staff Room	
Floor	Carpet on suspended timber floor.
Walls	Masonry with painted plaster finish in reasonable condition
Ceiling	Painted plaster in reasonable condition.
Windows	Timber sashes recently refurbished and in good condition.
Joinery	Timber painted panelled door, skirtings and architraves in good order.
Fireplace	Original retained and blocked off.
Decorative order	Reasonable.
Room Ref. 405 [401] - Main Library administrative area	
Floor	Carpet on suspended timber. Tired.
Walls	Masonry with painted plaster finish in reasonable condition
Ceiling	Painted plaster in reasonable condition.
Windows	Leaded lights in stone surrounds
Joinery	Timber stained panelled doors, skirtings and architraves in good order. The timber and glazed screen containing two pairs of double doors between this room and the central reading room (ref.409) is in serviceable condition.
Decorative order	Fair

Room Ref. 406 [452, 453 & 4CN] – Library Administration	
Floor	Carpet on suspended timber floor. Tired
Walls	Masonry with painted plaster finish in reasonable condition. Dampness evident to corner chimney breast.
Ceiling	Painted plaster in reasonable condition.
Windows	Timber sashes recently refurbished and in good condition.
Joinery	Timber painted panelled door, skirtings and architraves in good order.
Fireplace	Original retained and blocked off.
Structure	C+T have identified the floor as needing structural reinforcement and repair. Fireproofing is necessary to the exposed steelwork.
Decorative order	Fair.
Room Ref. 407 [457] - Office	
Floor	Carpet and linoleum on suspended timber floor. Tired.
Walls	Masonry with painted plaster finish and wall paper in reasonable condition. Cracking evident in side stud partition wall.
Ceiling	Painted plaster in reasonable condition.
Windows	Metal casement in need of refurbishment.
Joinery	Timber painted panelled door, skirtings and architraves in good order.
Structure	C+T have identified the floor as needing structural reinforcement and repair.
Decorative order	Fair.
Room Ref. 408 [454] - Office / Book Storage	
Floor	Linoleum and carpet on suspended timber floor. Tired.
Walls	Masonry with painted plaster finish in reasonable condition. Cracking evident in side stud partition wall and above window.
Ceiling	Painted plaster in reasonable condition.
Windows	Metal casement in need of refurbishment.
Joinery	Timber painted panelled door, skirtings and architraves in good order.
Decorative order	Fair.

4.0 Summary of Findings

Level 04 (cont)

Room Ref.409 [402]- Central Reading Room	
Floor	Carpet on suspended timber.
Walls	Above the level of the built-in book presses there is a painted plastered finish to the masonry walls.
Ceiling	Painted plaster in reasonable condition.
	Decorative trusses – timber casings to cast-iron beams in need of refurbishment. Decorative braces and corbels in good order.
Windows	Stained glass in metal casements to the sides in reasonable condition. Stained glass in painted stonework to bay in need of minor repairs. The Teleflex operating gear to window (31)2-040 is in need of repair. This window has a broken quarry at low level. The glazing to window (31) 2-042 is visibly distorted.
Joinery	Galleries and Access – a timber gallery is sited around three sides of this room. Access is by way of doorways to the staircases on each side and through the dividing wall between this room and the front library administration area (ref 406). The gallery here and that to the front are set at different levels. This assembly is in a serviceable condition. The balustrading serving the galleries does not conform to current Building Regulation standards. No significant beetle infestation was found in the fittings.
Notes	Significant timber book presses are incorporated within the design of the room. These provide structural support for the timber gallery over. No significant beetle infestation was found in the fittings.
Decorative order	Fair.

Room Ref.410 [426]- Male Lavatories	
Floor	Seamless vinyl on suspended timber.
Walls	Masonry with painted plaster finish in reasonable condition
Ceiling	Painted plaster in reasonable condition.
Windows	Metal casements with obscured glazing in reasonable order.
Joinery	Painted plaster in reasonable condition.
Plumbing	Lavatories, urinals and washbasins in reasonable condition
Notes	Proprietary laminated cubicle divisions in good condition.
Decorative order	Fair

Room Ref.411 [427] - Female Lavatories	
Floor	Seamless vinyl on suspended timber.
Walls	Masonry with painted plaster finish in reasonable condition. Dampness is evident at the party wall position.
Ceiling	Painted plaster in reasonable condition.
Windows	Metal casements with obscured glazing in reasonable order.
Joinery	Timber painted panelled door, skirtings and architraves in good order.
Plumbing	Lavatories, and washbasins in reasonable condition
Notes	Proprietary laminated cubicle divisions in good condition.
Structure	C+T have identified the floor this area as needing urgent structural reinforcement and repair.
Fireplace	Original retained and blocked off.
Decorative order	Fair

Room Ref.412 [427] - Lobby	
Floor	Seamless vinyl on suspended timber.
Walls	Masonry with painted plaster finish in reasonable condition. Damage to plasterwork in central area.
Ceiling	Painted plaster in reasonable condition.
Windows	-
Joinery	Timber painted panelled door, skirtings and architraves in good order.
Structure	C+T have identified the floor this area as needing urgent structural reinforcement and repair.
Decorative order	Fair

Room Ref.413 [4CS] - Disabled Lavatory	
Floor	Seamless vinyl on suspended timber.
Walls	Masonry with painted plaster finish in reasonable condition
Ceiling	Painted plaster in reasonable condition.
Windows	
Joinery	Timber painted panelled door, skirtings and architraves in good order.
Plumbing	Lavatory, and washbasin in reasonable condition
Decorative order	Fair

Room Ref.414 [4CS] - Central Corridor	
Floor	York stone slabs in reasonable condition.
Walls	Masonry with painted plaster finish in reasonable condition
Ceiling	Painted plaster in reasonable condition.
Windows	-
Joinery	Timber painted skirtings and architraves in good order. Painted built-in storage cupboard in reasonable condition.
Decorative order	Fair

4.0 Summary of Findings

Level 04 (cont)

Staircase Ref. 4SN	
Floor	York stone in reasonable condition
Walls	Masonry with painted plastered finish. Keene's cement skirtings, edges and window reveal edges. Lavatory at the half landing level in fair condition.
Ceiling	-
Windows	Galvanised steel casement in reasonable order.
Joinery	-
Stairs	Cantilevered York stone with linoleum nosings. In serviceable condition but worn.
Decorative order	Fair. Redecoration is necessary.

Staircase Ref. 4SS	
Floor	York stone in reasonable condition
Walls	Masonry with painted plastered finish. Keene's cement skirtings, edges and window reveal edges. Severe plaster damage to external wall corner caused by leakage.
Ceiling	-
Windows	Galvanised steel casement in reasonable order.
Joinery	-
Stairs	Cantilevered York stone with linoleum nosings. In serviceable condition but worn.
Notes	Landing WC – Not in use. Chamber in poor condition.
Decorative order	Fair. Redecoration is necessary.

Room Ref.411 [427] - Female Lavatories	
Floor	Seamless vinyl on suspended timber.
Walls	Masonry with painted plaster finish in reasonable condition. Dampness is evident at the party wall position.
Ceiling	Painted plaster in reasonable condition.
Windows	Metal casements with obscured glazing in reasonable order.
Joinery	Timber painted panelled door, skirtings and architraves in good order.
Plumbing	Lavatories, and washbasins in reasonable condition
Notes	Proprietary laminated cubicle divisions in good condition.
Structure	C+T have identified the floor this area as needing urgent structural reinforcement and repair.
Fireplace	Original retained and blocked off.
Decorative order	Fair

4.0 Summary of Findings

Level 05

Room Ref. 501 [524 & 525] – Book Storage	
Floor	Linoleum on suspended timber floor.
Walls	Masonry with painted plaster finish in reasonable condition.
Ceiling	Painted plaster in reasonable condition.
Windows	Timber sashes recently refurbished and in good condition.
Joinery	Timber painted panelled door, skirtings and architraves in good order.
Structure	C+T have identified the floor as likely to need structural reinforcement and repair. Fireproofing is necessary to down-stand beams.
Decorative order	Fair.

Room Ref. 502 [523] - Office	
Floor	Timber suspended timber floor.
Walls	Masonry with painted plaster finish in reasonable condition,
Ceiling	Painted plaster in reasonable condition.
Windows	Timber sashes recently refurbished and in good condition.
Joinery	Timber painted panelled door, skirtings and architraves in good order.
Decorative order	Fair

Room Ref. 503 [501a & 501B] – Galleries to main Library Administrative area. (See § Room ref. 405)	
Floor	See Room ref. 405
Walls	See Room ref. 405
Ceiling	See Room ref. 405
Windows	See Room ref. 405
Joinery	See Room ref. 405
Notes	Galleries and access stairs - cast iron spiral staircase serve two tiers of galleries around this room. The galleries have perforated metal sheet floors and are supported on a system of cast-iron columns. All these assemblies are in a serviceable condition. The balustrading serving the galleries does not conform to current Building Regulation standards.
Decorative order	See Room ref. 405

Room Ref. 504 [552] - Office	
Floor	Suspended timber floor.
Walls	Masonry with painted plaster finish in reasonable condition. Dampness and damaged plaster to chimney breast.
Ceiling	Painted plaster in reasonable condition.
Windows	Timber sashes recently refurbished and in good condition.
Joinery	Timber painted panelled door, skirtings and architraves in good order.
Fireplace	Original retained and blocked off.
Decorative order	Fair

Room Ref. 505 [553] – Library Administration	
Floor	Suspended timber floor.
Walls	Masonry with painted plaster finish in reasonable condition
Ceiling	Painted plaster in reasonable condition.
Windows	Timber sashes recently refurbished and in good condition.
Joinery	Timber painted panelled door, skirtings and architraves in good order.
Structure	C+T have identified the floor as being structurally adequate subject to further examination. Fireproofing is necessary to down-stand beams.
Decorative order	Fair.

Room Ref. 506 [5C-N] – Central Corridor	
Floor	York stone slabs with infill suspended timber section at party wall position. In reasonable condition.
Walls	Masonry with painted plaster finish in reasonable condition. A former shaft with timber panelling at the party wall position. In reasonable condition.
Ceiling	Painted plaster in reasonable condition.
Windows	-
Joinery	Timber painted panelled door, skirtings and architraves in good order.
Decorative order	Reasonable.

Room Ref. 507 [555 & 554]- Baynes Library	
Floor	Linoleum on suspended timber floor.
Walls	Masonry with painted plaster finish in reasonable condition
Ceiling	Painted plaster in reasonable condition.
Windows	Metal casement in need of refurbishment.
Joinery	Timber painted panelled door, skirtings and architraves in good order.
Fireplace	Original retained and blocked off.
Structure	C+T have identified the floor as being structurally adequate subject to further examination.
Decorative order	Fair.

4.0 Summary of Findings

Level 05 (cont)

Room Ref. 508 [501a & 501B] – Gallery above main Reading Room. See § Ref.409	
Floor	-
Walls	Masonry with painted plaster finish in reasonable condition. Damage to plaster in reveals to main bay window.
Ceiling	Painted plaster in reasonable condition.
Windows	See Ref.409
Joinery	Galleries and Access – A timber gallery is sited around three sides of this room. Access is by way of doorways to the staircases on each side and through the dividing wall between this room and the front library administration area at gallery level (ref 503). The gallery here and that to the front are set at different levels. This assembly is in a serviceable condition. The balustrading serving the galleries does not conform to current Building Regulation standards. No significant beetle infestation was found in the fittings.
Structure	Fireproofing is necessary to exposed cast iron beams above side windows.
Decorative order	See Ref.409

Room Ref.509 - Central Corridor	
Floor	York stone slabs in reasonable condition.
Walls	Masonry with painted plaster finish in reasonable condition
Ceiling	Painted plaster in reasonable condition
Windows	-
Joinery	Timber painted panelled door, skirtings and architraves in good order.
Decorative order	Reasonable.

Room Ref. 510 [526] – Book Storage	
Floor	Linoleum on suspended timber floor.
Walls	Masonry with painted plaster finish in reasonable condition,
Ceiling	Painted plaster in reasonable condition.
Windows	Metal casement in need of refurbishment.
Joinery	Timber painted panelled door, skirtings and architraves in good order.
Structure	C+T have identified the floor as being structurally suspect. There is a significant deflection in the level of the floor.
Decorative order	Fair.

Room Ref. 511 [525] – Book Storage	
Floor	Linoleum on suspended timber floor.
Walls	Masonry with painted plaster finish in reasonable condition.
Ceiling	Painted plaster in poor condition with significant cracking.
Windows	Metal casement in need of refurbishment.
Joinery	Timber painted panelled door, skirtings and architraves in good order.
Fireplace	Original retained and blocked off.
Structure	C+T have identified the floor as being structurally suspect. There is a significant deflection in the level of the floor.
Decorative order	Fair.

Room Ref. 512 – Cupboard	
Floor	Suspended timber floor.
Walls	masonry with painted plaster finish in reasonable condition,
Ceiling	Painted plaster in reasonable condition.
Windows	-
Joinery	Timber painted panelled door in good order.
Decorative order	fair

Staircase Ref. 5SS	
Floor	York stone in reasonable condition
Walls	Masonry with painted plastered finish. Keene's cement skirtings, edges and window reveal edges. Severe damage to plasterwork at left hand due to water ingress. Cleaners room off half landing in very poor condition due to water ingress.
Ceiling	-
Windows	-
Joinery	Timber handrail on metal balusters. In good condition.
Stairs	Cantilevered York stone with linoleum nosings. In serviceable condition.
Asbestos	Possible asbestos sheeting has been identified in the side panels to the fire door assembly leading to the internal corridor.
Decorative order	fair. Redecoration is necessary.

Staircase Ref. 5SN	
Floor	York stone in reasonable condition
Walls	Masonry with painted plastered finish. Keene's cement skirtings, edges and window reveal edges. Store room at the half landing level in fair condition.
Ceiling	-
Windows	Galvanised steel casement in reasonable order.
Joinery	Timber handrail on metal balusters. In good condition.
Stairs	Cantilevered York stone with linoleum nosings. In serviceable condition.
Decorative order	fair. Redecoration is necessary.

4.0 Summary of Findings

Level 06

Room Ref. 601 [623 & 634] – Office	
Floor	Carpet on suspended timber floor.
Walls	Masonry with painted plaster finish in reasonable condition.
Ceiling	Painted plaster in reasonable condition.
Windows	Timber sashes recently refurbished and in good condition.
Joinery	Timber painted panelled door, skirtings and architraves in good order.
Fireplaces	Original retained and blocked off.
Structure	C+T have identified the floor as likely to need structural reinforcement and repair.
Decorative order	Fair
Room Ref. 602 [622] – Office	
Floor	Carpet on suspended timber floor.
Walls	Masonry with painted plaster finish in reasonable condition,
Ceiling	Painted plaster in reasonable condition.
Windows	Timber sashes recently refurbished and in good condition.
Joinery	Timber painted panelled door, skirtings and architraves in good order
Fireplace	Original retained and blocked off.
Decorative order	Fair
Room Ref. 603 [601] – Storage above Central Administrative Area	
Floor	Double suspended timber floor in reasonable condition. York stone slabs in reasonable condition in former corridor position.
Walls	Masonry with painted plaster finish in fair condition.
Ceiling	Painted plaster in reasonable condition.
Windows	Timber sashes recently refurbished and in good condition.
Joinery	-
Stairs	Stair access – Match-boarded enclosure to spiral stair. No evidence of timber infestation.
Structure	Fireproofing is necessary to down-stand beams.
Decorative order	Fair.
Room Ref. 604 [652] – Book storage	
Floor	Linoleum on suspended timber floor.
Walls	Masonry with painted plaster finish in reasonable condition,
Ceiling	Painted plaster in reasonable condition.
Windows	Timber sashes recently refurbished and in good condition.
Joinery	Timber painted panelled door, skirtings and architraves in good order.
Fireplace	Original retained and blocked off.
Structure	Fireproofing is necessary to down-stand beams.
Decorative order	Fair

Room Ref. 605 [653 & 654] – Book Storage	
Floor	Linoleum on suspended timber floor.
Walls	Masonry with painted plaster finish in reasonable condition,
Ceiling	Painted plaster in reasonable condition.
Windows	Metal casement in need of refurbishment.
Joinery	Timber painted panelled door, skirtings and architraves in good order.
Structure	C+T have identified the floor as needing structural reinforcement and repair. Fireproofing is necessary to down-stand beams.
Decorative order	Fair.
Room Ref. 606 [6C-N] – Corridor	
Floor	York stone slabs with suspended timber flooring at party wall position.
Walls	Masonry with painted plaster finish in reasonable condition
Ceiling	Painted plaster in reasonable condition.
Windows	-
Joinery	Timber painted panelled door, skirtings and architraves in good order.
Decorative order	Fair.
Room Ref. 607 [657] – Book Store	
Floor	Linoleum on suspended timber floor structure.
Walls	Masonry with painted plaster finish in reasonable condition,
Ceiling	Painted plaster in reasonable condition.
Windows	Metal casement in need of refurbishment.
Joinery	Timber painted panelled door, skirtings and architraves in good order.
Fireplace	Original retained and blocked off.
Structure	C+T have identified the floor in this area likely to need structural reinforcement and repair.
Decorative order	Fair.
Room Ref. 608 [656] – Book Storage	
Floor	Linoleum on suspended timber floor.
Walls	Masonry with painted plaster finish in reasonable condition,
Ceiling	Painted plaster in reasonable condition.
Windows	Metal casement in need of refurbishment.
Joinery	Timber painted panelled door, skirtings and architraves in good order.
Structure	C+T have identified the floor in this area likely to need structural reinforcement and repair. Fireproofing is necessary to down-stand beams.
Decorative order	Fair.

4.0 Summary of Findings

Level 06 (cont)

Room Ref. 609 [602] – Book Storage	
Floor	Long strip hardwood on cast iron and timber structure beneath. In good condition. Stone slabs at intended fireplace locations to side walls.
Walls	Masonry with painted plaster finish in poor condition,
Ceiling	Ceiling and down stand beams - Painted plaster in poor condition.
Windows	Metal casement in need of refurbishment.
Joinery	Timber painted panelled door in good order. Timber stair to book storage area above in serviceable condition.
Staircase	To floor below, timber in reasonable condition.
Decorative order	Poor.
Room Ref. 610 [6C-S] – Corridor	
Floor	York stone slabs in reasonable condition
Walls	Masonry with painted plaster finish in reasonable condition
Ceiling	Painted plaster in reasonable condition
Windows	-
Joinery	Timber painted panelled doors, skirtings and architraves in good order.
Decorative order	Poor.
Room Ref. 611 [625] – Book Storage	
Floor	Linoleum on suspended timber floor.
Walls	Masonry with painted plaster finish in reasonable condition. Damage at cill and general cracking.
Ceiling	Painted plaster in poor condition.
Windows	Metal casement in need of refurbishment.
Joinery	Timber painted panelled door, skirtings and architraves in serviceable condition.
Structure	C+T have identified the floor as needing structural reinforcement and repair.
Decorative order	Poor.
Room Ref. 612 [620] – Book Storage	
Floor	Linoleum on suspended timber floor.
Walls	Masonry with painted plaster finish in reasonable condition,
Ceiling	Painted plaster in reasonable condition.
Windows	Metal casement in need of refurbishment.
Joinery	Timber painted panelled door, skirtings and architraves in serviceable condition.
Structure	C+T have identified the floor as needing structural reinforcement and repair.
Decorative order	Poor.
Room Ref. 613 [620] – Cupboard	
Floor	Suspended timber floor.
Walls	Masonry with painted plaster finish in reasonable condition,
Ceiling	Painted plaster in reasonable condition.
Windows	-
Joinery	Timber painted panelled door, skirtings and architraves in serviceable condition.
Decorative order	Poor.

Staircase Ref. 6SN	
Floor	York stone in reasonable condition
Walls	Masonry with painted plastered finish. Keene's cement skirtings, edges and window reveal edges. Store room (former lavatory) at the half landing level in fair condition. Full height scar where pipework removed.
Ceiling	-
Windows	Galvanised steel casement in reasonable order.
Joinery	Timber handrail on metal balusters. In good condition.
Stairs	Cantilevered York stone. In serviceable condition.
Asbestos	Possible asbestos sheeting has been identified in the side panels to the fire door assembly leading to the internal corridor.
Decorative order	Fair. Redecoration is necessary.
Staircase Ref. 6SS	
Floor	York stone in reasonable condition
Walls	Masonry with painted plastered finish. Keene's cement skirtings, edges and window reveal edges. Severe damage to plasterwork at left hand due to water ingress. Cleaners room (former lavatory) off half landing in very poor condition due to water ingress.
Ceiling	-
Windows	Galvanised steel casement in reasonable order.
Joinery	Timber handrail on metal balusters. In good condition.
Stairs	Cantilevered York stone with linoleum nosings. In serviceable condition.
Asbestos	Possible asbestos sheeting has been identified in the side panels to the fire door assembly leading to the internal corridor.
Decorative order	Fair. Redecoration is necessary.

4.0 Summary of Findings

Level 07

Room Ref. 701 [724] – Flat – Living Room	
Floor	Suspended timber floor.
Walls	Masonry with painted plaster finish in reasonable condition.
Ceiling	Painted plaster in reasonable condition.
Windows	Timber sashes recently refurbished and in good condition.
Joinery	Timber painted panelled door, skirtings and architraves in good order.
Fireplace	Original retained and blocked off.
Structure	C+T have identified this area as one likely to need structural reinforcement and repair. A cased timber beam is likely to require fire protection.
Decorative order	Poor.
Room Ref. 702 [723] – Flat – Bedroom	
Floor	Suspended timber floor.
Walls	Masonry with painted plaster finish in reasonable condition.
Ceiling	Painted plaster in reasonable condition.
Windows	Timber sashes recently refurbished and in good condition.
Joinery	Timber painted panelled door, skirtings and architraves in good order.
Fireplace	Original retained and blocked off.
Structure	C+T have identified this area as one likely to need structural reinforcement and repair.
Decorative order	Poor.
Room Ref. 703 [722] – Office	
Floor	Linoleum on suspended timber floor.
Walls	Masonry with painted plaster finish in reasonable condition.
Ceiling	Painted plaster in reasonable condition.
Windows	Timber sashes recently refurbished and in good condition.
Joinery	Timber painted panelled door, skirtings and architraves in good order.
Fireplace	Original retained and blocked off.
Structure	C+T have identified this area as one likely to need structural reinforcement and repair. A cased timber beam is likely to require fire protection.
Decorative order	Poor.
Room Ref. 704 [701] – Book Storage	
Floor	Suspended timber floor in reasonable condition.
Walls	Masonry with painted plaster finish in poor condition.
Ceiling	Painted plaster in poor condition.
Windows	Timber sashes recently refurbished and in good condition.
Joinery	-
Stair	Match-boarded enclosure to spiral stair. No access possible. No evidence of timber infestation.
Structure	Fire protection needed to exposed structural beams.
Decorative order	Poor

Room Ref. 705 [752] – Book Storage	
Floor	Suspended timber floor.
Walls	Masonry with painted plaster finish in reasonable condition,
Ceiling	Painted plaster in reasonable condition.
Windows	Timber sashes recently refurbished and in good condition.
Joinery	Timber painted panelled door, skirtings and architraves in good order.
Fireplace	Original retained and blocked off.
Structure	C+T have identified the floor in this area likely to need structural reinforcement and repair.
Decorative order	Fair.
Room Ref. 706 [753 & 754] – Book Storage	
Floor	Suspended timber floor.
Walls	Masonry with painted plaster finish in reasonable condition,
Ceiling	Painted plaster in reasonable condition.
Windows	Metal casement in need of refurbishment.
Joinery	Timber painted panelled door, skirtings and architraves in good order.
Fireplace	Original retained and blocked off.
Structure	C+T have identified this area as one needing further structural examination to justify the floor structure.
Decorative order	Fair.
Room Ref. 707 [7CN] – Central Corridor	
Floor	York stone slabs with suspended timber flooring at party wall position
Walls	Masonry with painted plastered finish in reasonable condition.
Ceiling	Painted plaster in reasonable condition.
Windows	-
Joinery	Painted timber doors, architraves and skirtings in reasonable condition.
Decorative order	Fair.
Room Ref. 708 [756] – Lindsay Room	
Floor	Linoleum on suspended timber floor.
Walls	Masonry with painted plaster finish in reasonable condition,
Ceiling	Painted plaster in reasonable condition.
Windows	Metal casement in need of refurbishment.
Joinery	Timber painted panelled door, skirtings and architraves in good order.
Fireplace	Original retained and blocked off.
Structure	C+T have identified the floor in this area likely to need structural reinforcement and repair.
Decorative order	Fair.

4.0 Summary of Findings

Level 07 (cont)

Room Ref. 709 [755] – Book Storage	
Floor	Suspended timber floor.
Walls	Masonry with painted plaster finish in reasonable condition,
Ceiling	Painted plaster in reasonable condition.
Windows	Metal casement in need of refurbishment.
Joinery	Timber painted panelled door, skirtings and architraves in good order.
Structure	C+T have identified the floor in this area likely to need structural reinforcement and repair.
Decorative order	Fair.
Room Ref. 710 [702] – Book Storage	
Floor	Cast-iron grillage on supporting steelwork. In serviceable condition
Walls	Masonry with painted plaster finish in poor condition,
Ceiling	Ceiling and down stand beams - painted plaster in poor condition. The timber gas ventilation hood is not fire protected.
Windows	Metal casement in need of refurbishment.
Joinery	Timber painted panelled door in good order. Timber stair to book storage area below in serviceable condition
Structure	The exposed steelwork is likely to require fire protection.
Decorative order	Poor.
Room Ref. 711 – Central circulation to Flat	
Floor	Carpet on solid. Suspended timber at junction with party wall.
Walls	Masonry with painted plaster finish in reasonable condition.
Ceiling	Painted plaster in reasonable condition.
Windows	-
Joinery	Timber painted panelled doors, skirtings and architraves in good order.
Decorative order	Poor.
Room Ref. 712 [727B] - Flat bathroom	
Floor	Suspended timber. Poor condition
Walls	Masonry and stud partitioning with painted plaster finish and sundry ceramic tiling. In very poor condition.
Ceiling	Painted plaster in poor condition.
Windows	
Joinery	In reasonable order.
Plumbing	Bath, sink and lavatory not in use.
Structure	C+T have identified the floor this area as needing urgent structural reinforcement and repair.
Decorative order	Poor.

Room Ref.713 [727A] - Flat Kitchen	
Floor	Vinyl on suspended timber. Poor condition
Walls	Masonry with painted plaster finish in poor condition. Dividing stud wall between this rom and room 714 has failed.
Ceiling	Painted plaster in poor condition.
Windows	-
Joinery	In reasonable order.
Plumbing	Fitted kitchen with sink in poor condition and not operational.
Services	A self-contained gas fired hot boiler sited within the kitchen area with a balanced flue through the rear wall provides heating and hot water independently the main systems serving the building.
Structure	C+T have identified the floor this area as needing urgent structural reinforcement and repair.
Decorative order	Poor
Room Ref. 714 [726] – Flat bedroom	
Floor	Suspended timber. This has failed at the external wall junction.
Walls	Masonry with painted plaster finish in poor condition. Dividing stud wall between this rom and room 713 has failed.
Ceiling	Painted plaster in poor condition. Failure at wall ceiling junctions
Windows	Metal casements in reasonable condition.
Joinery	In serviceable order.
Fireplace	Boarded over.
Structure	C+T have identified the floor as needing urgent structural reinforcement and repair.
Decorative order	Very poor.
Staircase Ref. 75N [75N]	
Floor	York stone in reasonable condition
Walls	Masonry with painted plastered finish. Keene's cement skirtings, edges and window reveal edges. Store room (former lavatory) at the half landing level in poor condition with ceiling fallen. Damage to plasterwork beneath cill and at high level. Damage at external wall position due to water leakage
Ceiling	-
Windows	Galvanised steel casement in reasonable order.
Joinery	Timber handrail on metal balusters. In good condition.
Stair	Cantilevered York stone. In serviceable condition.
Asbestos	Possible asbestos sheeting has been identified in the side panels to the fire door assembly leading to the internal corridor.
Decorative order	Poor. Redecoration is necessary.

4.0 Summary of Findings

Level 07 (cont)

Staircase Ref. 75S [7S-S]	
Floor	York stone in reasonable condition
Walls	Masonry with painted plastered finish. Keene's cement skirtings, edges and window reveal edges. Severe damage to plasterwork at left hand wall position and beneath cill due to water ingress. Lavatory off half landing in very poor condition due to water ingress.
Ceiling	-
Windows	Galvanised steel casement in reasonable order.
Joinery	Timber handrail on metal balusters. In good condition.
Stair	Cantilevered York stone with linoleum nosings. In serviceable condition.
Asbestos	Possible asbestos sheeting has been identified in the side panels to the fire door assembly leading to the internal corridor.
Decorative order	Poor. Redecoration is necessary.

4.0 Summary of Findings

4.03 Roof Spaces

There are roof spaces above level 7 that extend across the whole of the building. These are compartmented into three main parts corresponding to the North and South wings and the central core. Access is by way of a trap and retractable ladder above the top landing in the South wing.

The construction is exposed structural roof timbers. The flooring is generally timber boarding. No active signs of timber infestation were observed. The roof spaces are entirely uninsulated.

Situated within the space above the South wing is the boiler installations.

Various cold-water storage tanks are installed within the roof spaces. All water storage of this nature represents a risk to the contents of the building. It is hoped that, as a result of a proposed comprehensive examination of the services installations, the tanks can be removed and all cold water can be supplied from mains pressure.

4.04 Services

Generally: a visual inspection only has been made of readily accessible services and no tests have been made. It is anticipated that a comprehensive review of the services will be undertaken when a mechanical and services consultant is appointed.

- Water – the building is served by mains water.
- Gas – the building is served by a gas supply.
- Electricity - the building is served by an electrical supply. It is recommended that when a mechanical services consultant is appointed and investigation should be made as to the capacity of the incoming main supply.
- Hot water and Heating Systems – space heating is supplied by way of gas boilers situated in the roof space that supply heat throughout the building by way of large bore pipework and hospital pattern radiators situated within the various parts. It is anticipated that an extensive overhaul of the existing systems will be necessary.

- Advantage should be taken to zone the main parts of the building should a large-scale redistribution of functions take place. Serving the Directors' and the Caretakers' flats, are independent gas fired heating systems of a domestic nature. No checks have been made of these.
- Communications and surveillance – telephone, internal and limited surveillance systems are in place. It is anticipated that fibre optic cabling to the respective parts will prove necessary in any large-scale redistribution of functions within the Library.

4.05 Special Environments

Two types of internal environment are important to the functioning of the Library. There is an environment appropriate to the general circulation and administrative parts of the building and the specialist environments appropriate to the storage of the important collections of books, manuscripts and maps.

The general environment is served by a centralised hot water space heating system with boilers situated within the roof space at its Northern end. Heating is distributed by way of large bore pipework to a network of cast iron radiators. The boilers and pipework appear to be comparatively recent. No significant problems have been reported with these installations. The removal of cold-water storage tanks within the building is strongly recommended.

In 2010 specialist strong rooms were completed to house certain of the most valuable items of the historic collections. Thermal inertia, drainage, lighting, security and safety issues were all seriously considered using BS 5454 (2000) as the governing standard. In consequence, the strong rooms are environmentally controlled using under-floor heating, isolated by membranes and monitored by moisture sensors installed in the ceilings.

The specialist environments are indicated on the drawings annexed to this report.

4.0 Summary of Findings

4.06 Outbuilding and Site

Site, Boundary Conditions, Outbuildings and Pavings

- Front Railings - the Library frontage to Gordon Square consists of cast iron railings and masonry pillars all of which were overhauled as part of the 2010 repair programme. One of the vertical railing members is broken. It remains in place and should be repaired. The decorative top sections of two of the masonry pillars are missing and a reinforcing bar is evident in one. These should be repaired
- Generally, the railings are in good physical and decorative condition. A subsidiary entrance serves the North wing that has a reinforced concrete bridge spanning between the back of the footpath and the front of the building. This is in sound condition if poorly detailed.
- Outbuildings below pavement - a continuous set of vaulted chambers with brick floors is located beneath the pavement to Gordon Square. These are constructed in load bearing brick and were former coal cellars. They are currently little utilised. The brick vaults are in reasonable condition with no signs of structural distress. These enclosures are generally damp and in poor decorative order. Minor attention is needed to the wooden access doors and security grilles. Certain of the wooden doors are original features.
- Stairs -the main entrance stairs to the building are in York stone and are in good order. Serving the Outbuildings' at level 1 are two further sets of stone stairs leading down from the Gordon Square pavement. These are in generally poor condition. That to the North side has lost part of the top riser and is temporarily supported on an Accro adjustable scaffold post. That to the South has been in-filled beneath in brickwork and has its handrail missing. This is on site laid along the ground. The condition of both stairs is a safety hazard.
- External pavings – within the wells at the rear of the outbuildings are York stone pavings. These are in good condition. Replacement grilles to the in-ground gullies in stainless steel are recommended.
- Rear area - to the rear of the building is a garden area divided from the part leased to UCL by a small metal fence. The fence is in good condition.

4.07 Environmental Matters

No subsidence was observed. The capacity of the foul drainage is a matter that is discussed elsewhere and an analysis is recommended following the proposed camera survey.

Consideration should be given to removing the self-seeded holly tree at the junction of the South-West corner of the central core of the building.

A small walled in area serving the Cloisters at ground floor level to the rear Southern corner of the Library has been examined on three occasions. On all occasions this self-contained area was flooded to a depth of at least 50mm. Problems within this area may be contributory to dampness within the Library. It is recommended that enquiries are made of the adjoining owners and the problem is brought to their attention.

5.0 Remedial Work Priorities

5.01 General Condition of The Building

The general condition of the building apart from the important structural work identified by Corbett + Tasker appears to be sound. The general fabric is robust and suffers from no significant movement nor deterioration. Isolated parts of the fabric of the building are in a poor structural condition and general maintenance and refurbishment is needed to the majority of the Library.

The external condition is sound and the front elevation to Gordon Square was extensively overhauled in 2011. At this time, the masonry and fenestration were put into good order. The rear elevations were not restored at this time and are generally tired in appearance and a comprehensive scheme of repair, cleaning and maintenance is recommended. There is some deterioration to the external stone parapets and cills and these will need careful stabilisation and repair. The brickwork and pointing, while dirty, is nevertheless in good order. The steel galvanised casement windows, while often inoperative due to successive paint layers, are generally sound and require little re-glazing. Minor work is necessary to the leaded lights serving the Lecture Hall.

The roof structures appear sound with no pronounced dipping in the lines of the ridges. The covering is leaking in one place and this should be a comparatively easy matter to remedy. From the aerial photography undertaken, the general condition of flashings at abutments and roof intersections appears sound and to have been executed to a high standard. The large stack of chimneys at the boundary position with the adjacent UCL building has a pronounced lean as does one further set of stacks to the same roof range. These should be examined further and remedial works put into effect.

The rainwater disposal system is generally in good condition. Consideration should be given to increasing the number of outlets and down pipes in order to provide greater protection to the interior of the building in the event of a blockage.

The in-ground drainage has been investigated by specialists and this has revealed that a

complete overhaul of the combined foul and storm drainage systems is undertaken. When put into effect a review should be made, in particular, of the combined drainage capacity

There have been a number of internal changes to the property over the years with alterations to each floor of the building. The most extensive alteration was the conversion from University Hall with associated domestic accommodation into the present Library in 1890. More recently a significant alteration programme was undertaken in 2010, which included the provision of a lift shaft, external refurbishment of the main façade and internal reconfigurations to improve the environmental conditions for rare parts of the Library collection.

The condition of much of the interior is tired in appearance and, in concert with the extensive structural repairs needed, the opportunity exists for a thorough overhaul of the internal decorative order. The condition of the timber doors, architraves and skirting's are generally good.

The main services within the building have not been examined in any depth. It is anticipated that a comprehensive review of the services will be undertaken when a mechanical and services consultant is appointed. This is particularly relevant to the specialist services to maintain the environments necessary for the most rare and valuable parts of the Library collection.

The removal of cold-water storage tanks within the building is strongly recommended.

5.02 Structural Defects

Corbett + Tasker has reported and identified a number of floors that are overloaded and they have identified serious structural weakness in associated elements of structure. Meetings have taken place since submission of the structural engineering report and the floors that require either a new floor structure or the adaptation and strengthening of existing floors are indicated on the drawings annexed to this report.

5.0 Remedial Work Priorities

5.02 Structural Defects (con)

Since the publication of the Corbett + Tasker findings a programme of book removal from the affected rooms is underway. A summary of the Corbett +Tasker findings is as follows-

North Wing-

- Room 752 - Remove book stacks and undertake further examinations.
- Rooms 656 / 657 -Remove book stacks and install strengthening steelwork.
- Rooms 653 / 465 - Remove book stacks and install strengthening steelwork.
- Room 554 / 555 - Remove book stacks and install strengthening steelwork.
- Rooms 454 / 455 - Remove book stacks and install strengthening steelwork.
- Rooms 545 / 547 - Remove book stacks and install strengthening steelwork.
- Room 453 - Remove book stacks and install strengthening steelwork.
- Room 353 - Undertake further structural examination
- Rooms 253 / 256 - Undertake further structural examination.

South Wing-

- Rooms 723/724 - Remove book stacks and use for light domestic loading
- Rooms 726 / 727 - Use for light domestic loading.
- Rooms 623/ 624 - Use for light domestic loading.
- Room 620 - Remove book stacks and install strengthening steelwork.
- Rooms 523/ 524 - Remove book stacks and install strengthening steelwork.
- Rooms 525 / 526 - Remove book stacks and install strengthening steelwork.
- Room 426 / 427 - Install strengthening steelwork.

5.03 General Maintenance and Repair

Whilst regular maintenance is undertaken to address issues that are most noticeable to the public, there is a substantial backlog of maintenance work across the building as a whole. Contributory to problems across the building is the issue of water ingress as result of roof

defects and inadequately maintained rainwater goods. This has affected a number of windows surroundings externally.

Internally, plaster has failed and not been repaired in several areas of the building. Other examples of maintenance issues in the building include the windows of which many do not operate properly. These do not close or open as the respective mechanisms are damaged.

The building is very poorly insulated by all modern standards. There is, in virtue of its construction, no insulation in the external walls and the roof is entirely un-insulated. The most effective way to improve the thermal performance of the building would be to introduce insulation within either the roof construction or in the roof spaces. The main distribution pipework for the heating system within the interior is well lagged to modern standards.

An overarching maintenance plan is strongly recommended. For a building as large as the Library with many heritage assets it is important that regular maintenance is undertaken and annual deep-cleaning and repairs are carried out. This will become an important issue with the prospect of letting part of the building to third parties.

5.04 Prioritised Schedule of Works

Urgent Work

- Undertake structural works identified by Corbett + Tasker.
- Fire-proof existing exposed steel and ironwork.
- Remove remaining asbestos.
- Repair damaged roof tiles.
- Re-fix detached parapet coping to rear elevation.
- Address Cloisters low-level drainage issues.
- Remove self-seeded tree in rear courtyard.
- Overhaul existing in-ground drainage systems

5.0 Remedial Work Priorities

5.04 Prioritised Schedule of Works (con)

Required Within the Next Two Years-

- Resolve dampness problems at gable wall locations.
- Provide barriers at recommended balustrade heights to internal galleries.
- Provide safe barriers at external window positions on internal galleries.
- Repair damaged sections of front railing masonry pillars.
- Resolve dampness problems associated with external access stairs from pavement to level 1.
- Remove and rationalise cold water storage within the building.

Necessary Within the Next Four Years-

- Refurbishment of masonry to rear elevations complete.
- Refurbishment and overhaul of fenestration to rear elevations complete.
- General repairs to internal plaster finishes.
- General redecoration.

Necessary Within the Next Ten Years-

- Renew roof covering to the building complete.
- Insulate roof (in conjunction with re-covering).

Desirable Works-

- Rationalise shared drainage with UCL in connection with rear Annexe building.
- Provide additional rainwater outlets to serve the main roofs.
- Restoration of the Armitage murals.

6.0 Recommended Further Assessments

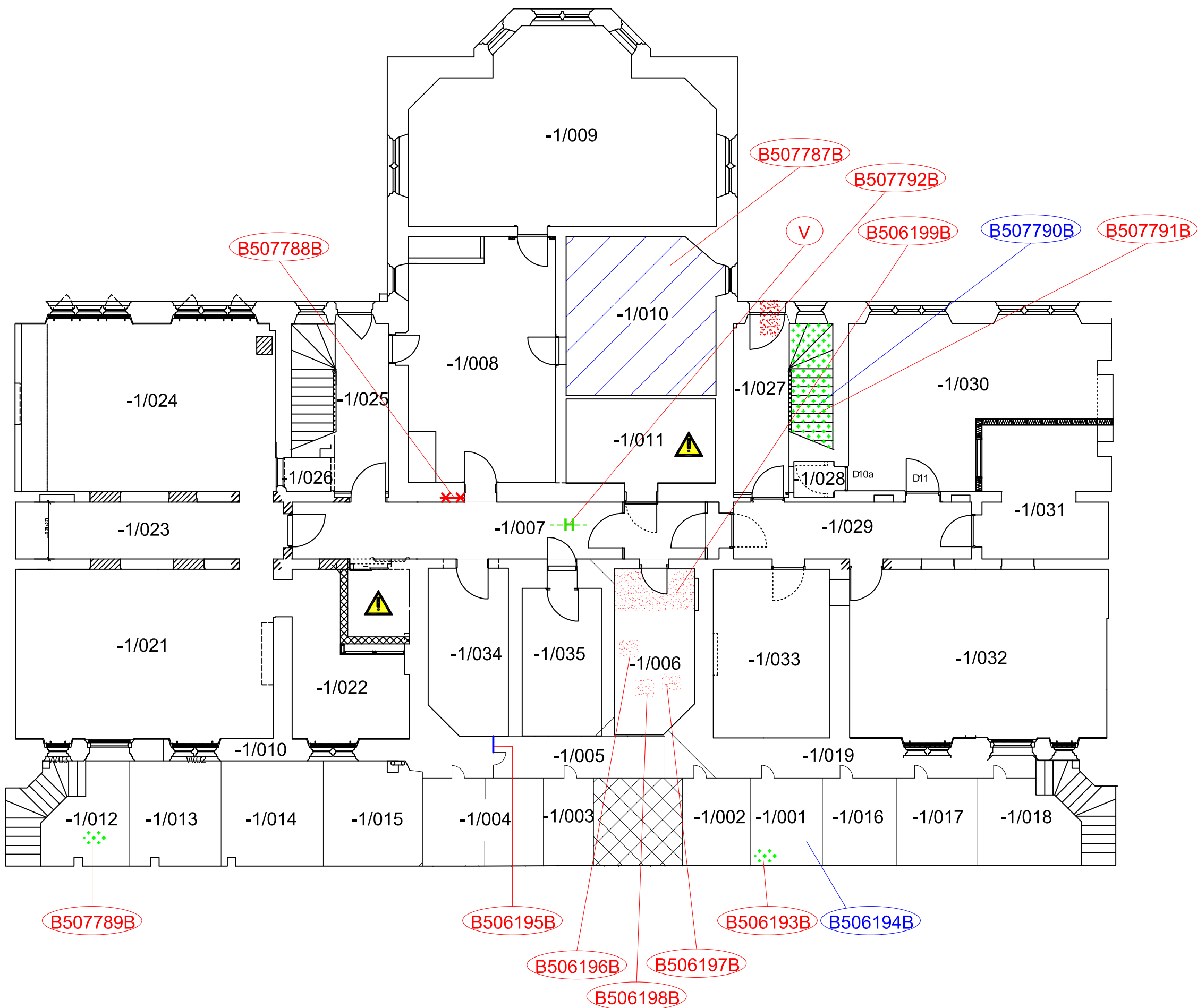
6.00 Summary

A number of items have been raised within in this document, it is recommended the below surveys are also considered;

- Examination of leaning chimney stacks.
- Examine extent of capping off chimney stacks and complete as necessary.
- Undertake camera survey of the condition of the existing drains.
- Undertake review of services generally

Appendix A – Asbestos Survey Plans

The full report can be supplied on request; HLAM50679/001R



INFORMATION RELATING TO
DETECTED ASBESTOS CONTAINING
MATERIALS IN THE BUILDING
(NB: This drawing provides a simple indication of ACM's
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Drawing Key

	Asbestos Cement Sheet (Horizontal)		Asbestos Cement Sheet (Vertical)
	Asbestos Cement Flue / Downpipe		Asbestos Cement Debris
	Asbestos Cement Guttering		AIB / Insulation Debris
	Asbestos Insulating Board (AIB) Horizontal		Asbestos Insulating Board (AIB) Vertical
	Insulation Products		Asbestos Spray Coating
	Textured Coating		Woven Products
	CAF Gaskets		Bonded Materials
	No Access / Further Information (See Register)		Paper Products

	Asbestos Sample / 'As' Sample Position		Non Asbestos Sample
	Room Number Room Description		Not in remit of survey

Not To Scale - For Guidance Only

For Sample Information See
Section 4 In The Report And The
Certificate of Analysis

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TYPE OF SURVEY: Management

CLIENT: Dr William's Library

SITE: Dr William's Library

LOCATION: Basement

SURVEY DATE: 17th-19th August 2015

RPS DOC NUMBER: HLAR37140 / 006D

DRAWING REV:

RPS SURVEYORS: AE / MH

DRAWN BY / DATE: RST / 24th August 2015

CHECKED BY: JS

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TYPE OF SURVEY: Management

CLIENT: Dr William's Library

SITE: Dr William's Library

LOCATION: Ground Floor

SURVEY DATE: 17th-19th August 2015

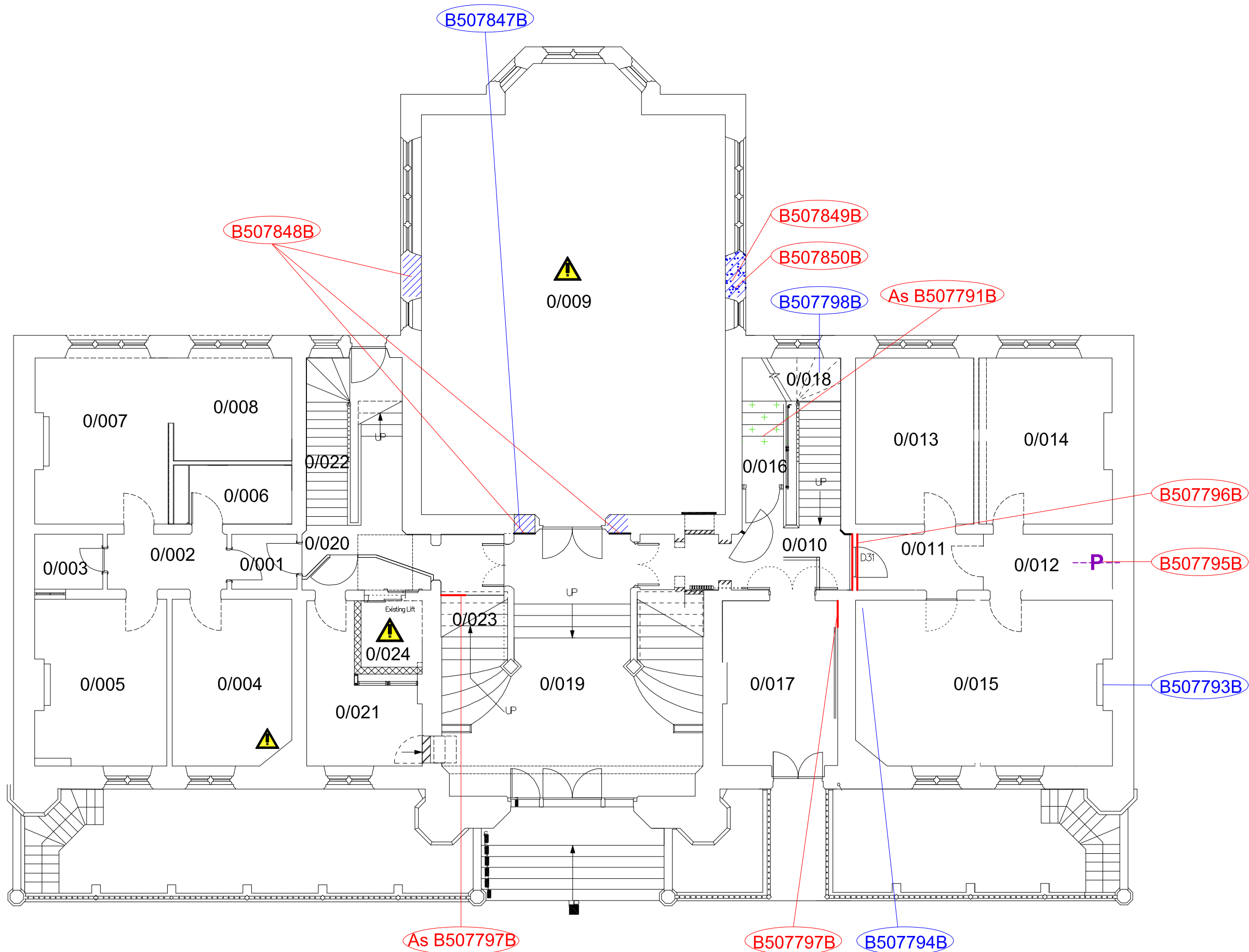
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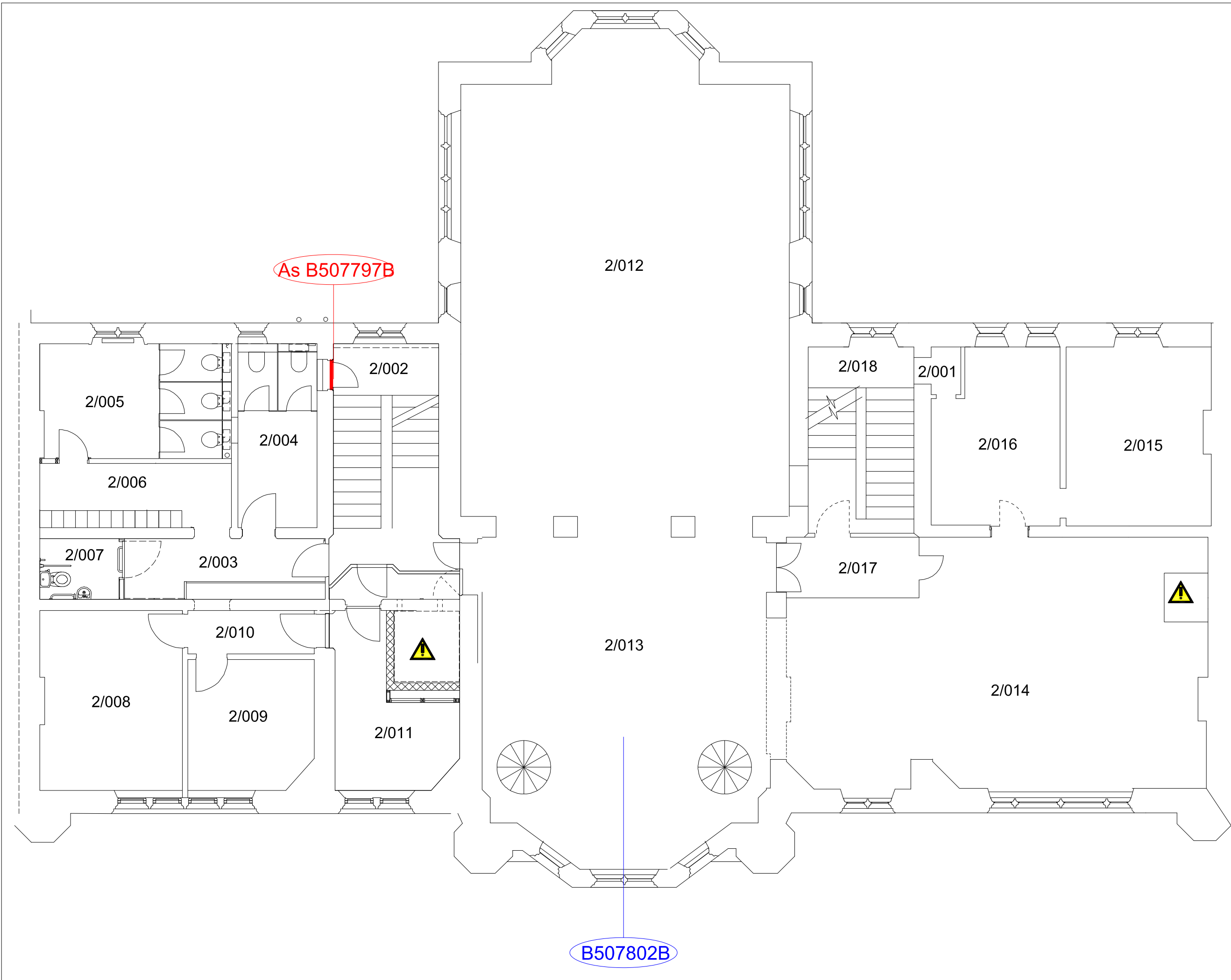
DRAWING REV:

RPS SURVEYORS: AE / MH

DRAWN BY / DATE: RST / 24th August 2015

CHECKED BY: JS





INFORMATION RELATING TO
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TYPE OF SURVEY: Management

CLIENT: Dr William's Library

SITE: Dr William's Library

LOCATION: Second Floor

SURVEY DATE: 17th-19th August 2015

RPS DOC NUMBER: HLAR37140 / 009D

DRAWING REV:

RPS SURVEYORS: AE / MH

DRAWN BY / DATE: RSt / 24th August 2015

CHECKED BY: JS

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	No Access / Further Information [See Register]		Paper Products

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TYPE OF SURVEY: Management

CLIENT: Dr William's Library

SITE: Dr William's Library

LOCATION: Third Floor

SURVEY DATE: 17th-19th August 2015

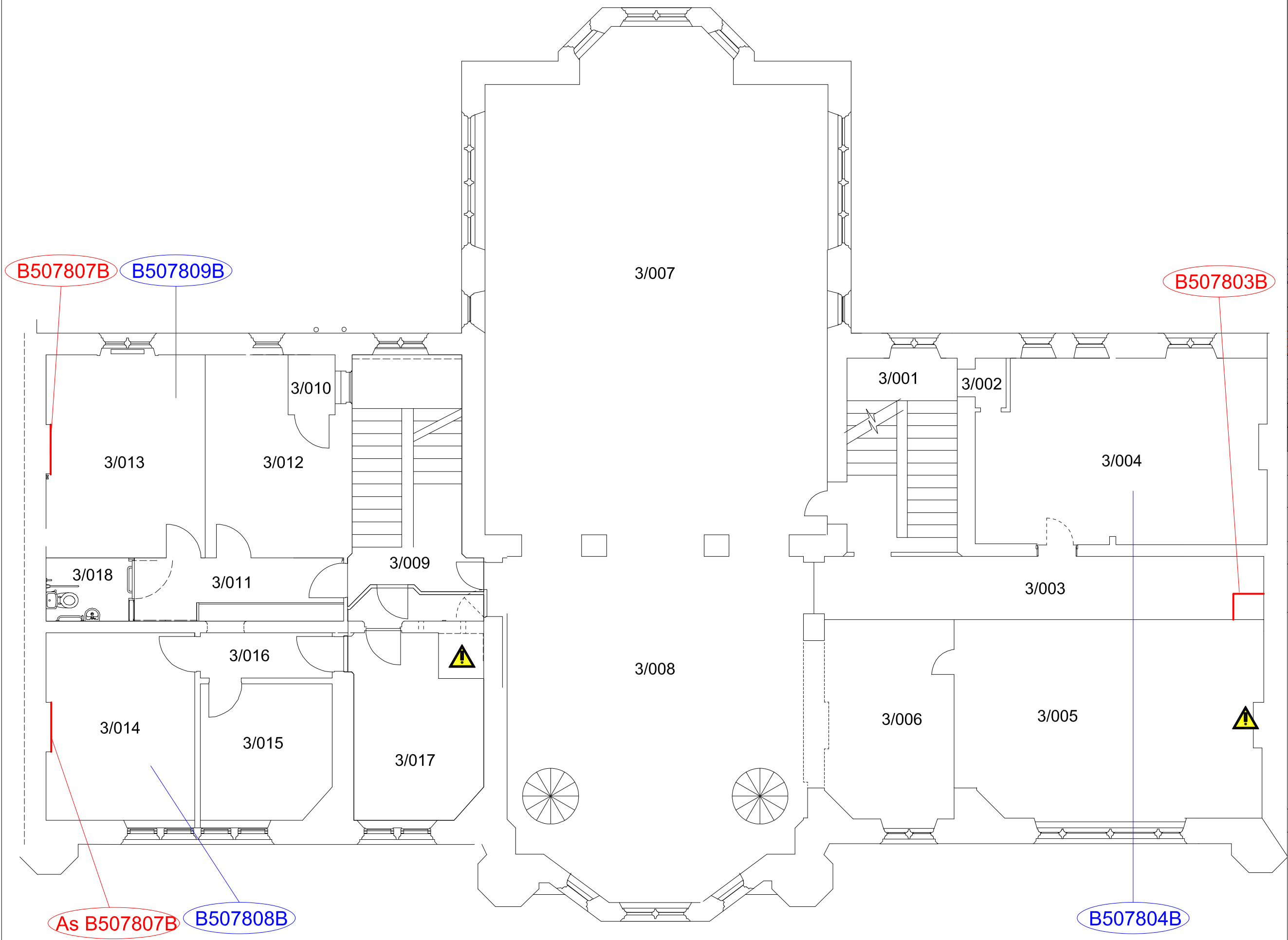
RPS DOC NUMBER: HLAR37140 / 010D

DRAWING REV:

RPS SURVEYORS: AE / MH

DRAWN BY / DATE: RST / 24th August 2015

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01/001 Office	Room Number Room Description		Not in remit of survey

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TYPE OF SURVEY: Management

CLIENT: Dr William's Library

SITE: Dr William's Library

LOCATION: Fourth Floor

SURVEY DATE: 17th-19th August 2015

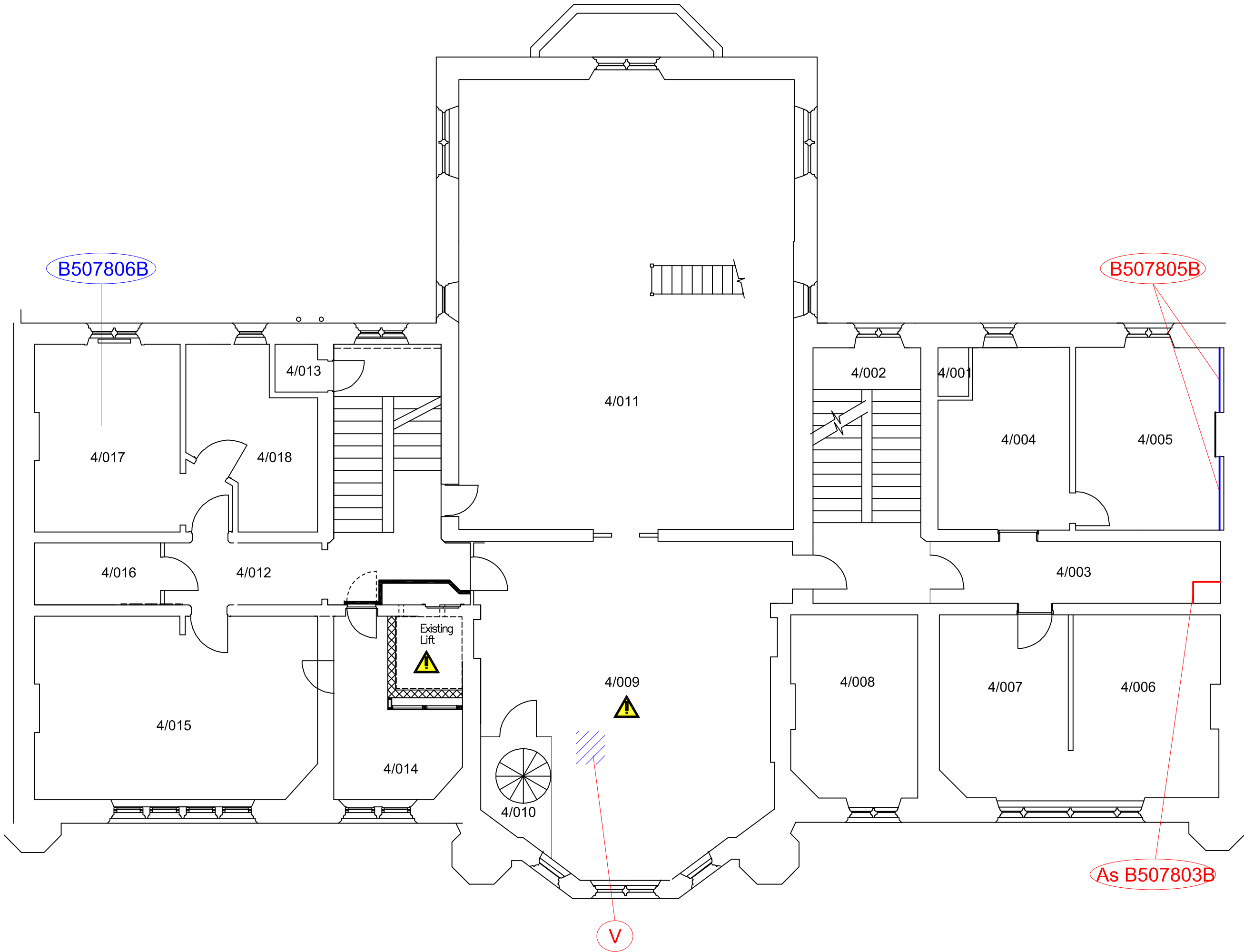
RPS DOC NUMBER: HLAR37140 / 011D

DRAWING REV:

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DRAWN BY / DATE: RST / 24th August 2015

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TYPE OF SURVEY: Management

CLIENT: Dr William's Library

SITE: Dr William's Library

LOCATION: Fifth Floor

SURVEY DATE: 17th-19th August 2015

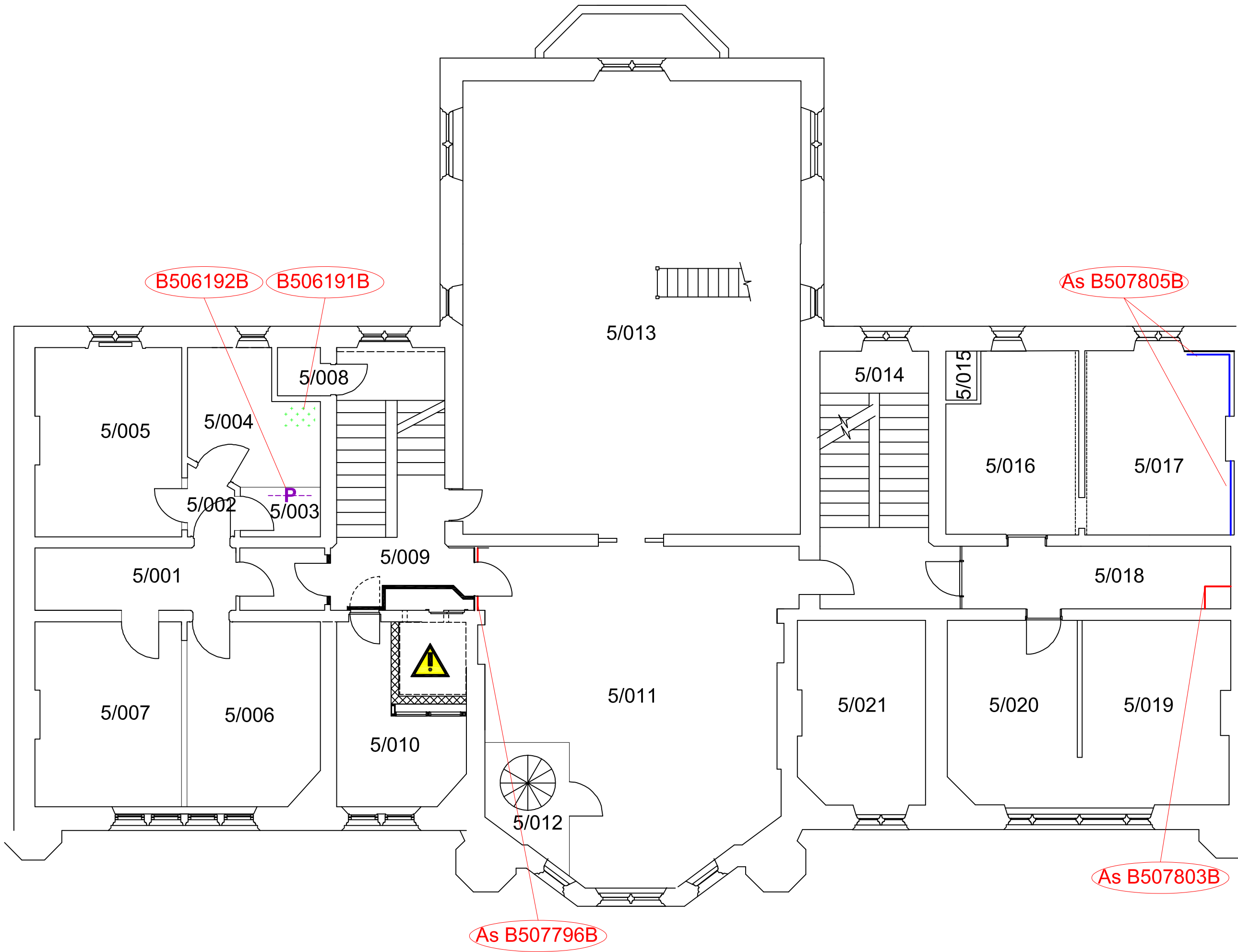
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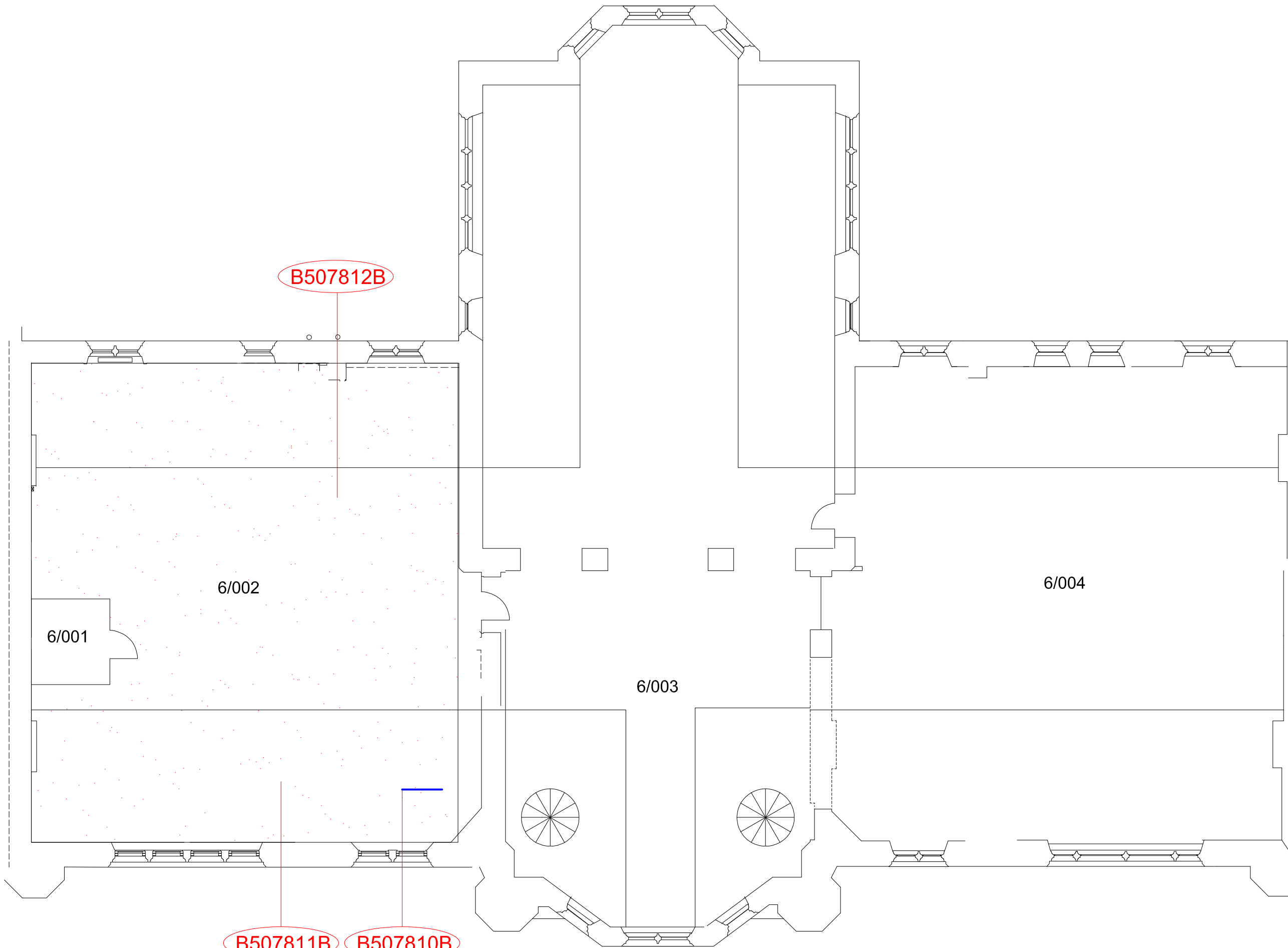
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RPS SURVEYORS: AE / MH

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01/001 Office	Room Number Room Description		Not in remit of survey

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TYPE OF SURVEY: Management

CLIENT: Dr William's Library

SITE: Dr William's Library

LOCATION: Loft

SURVEY DATE: 17th-19th August 2015

RPS DOC NUMBER: HLAR37140 / 013D

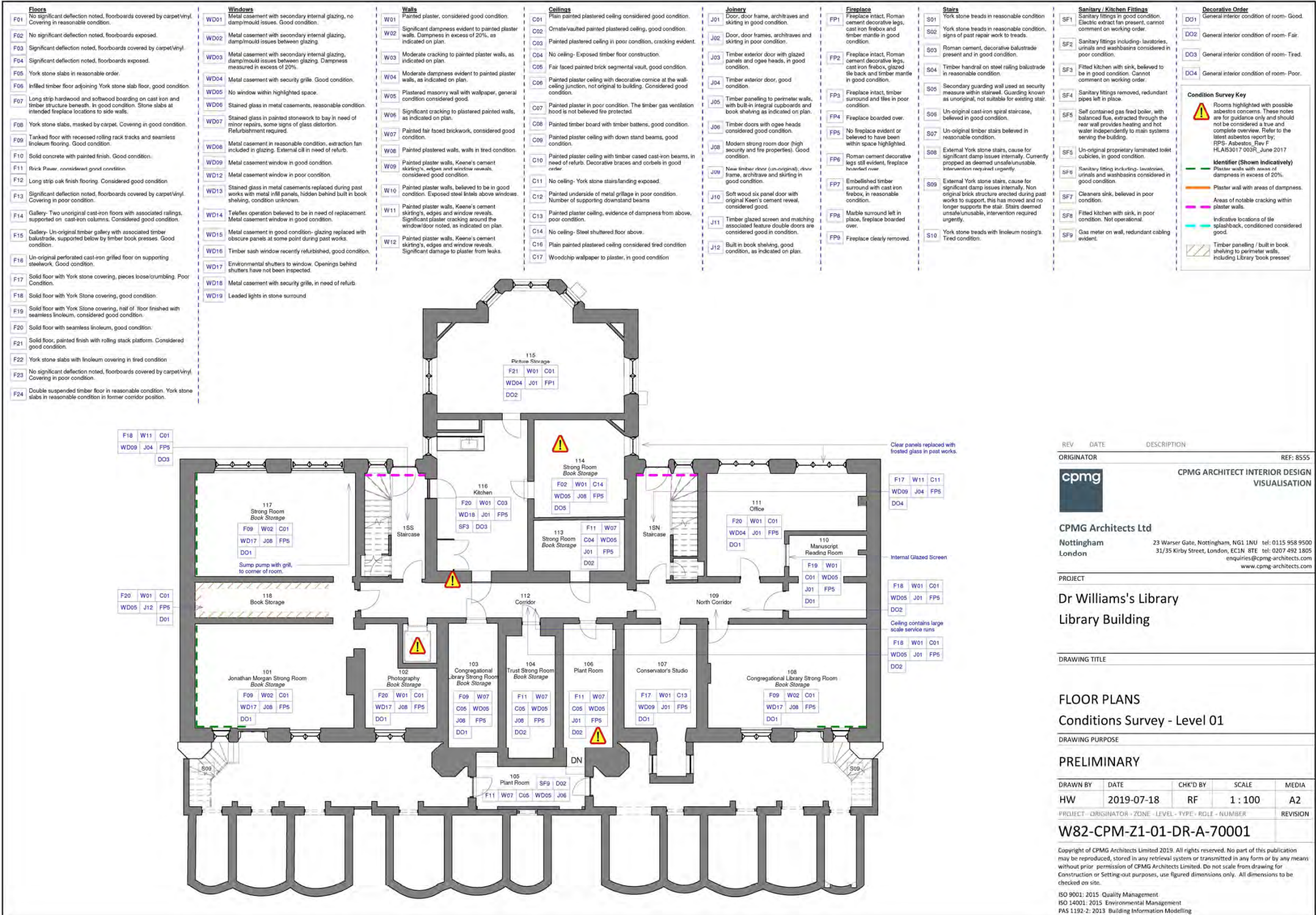
DRAWING REV:

RPS SURVEYORS: AE / MH

DRAWN BY / DATE: RSt / 24th August 2015

CHECKED BY: JS

Appendix B – Condition Survey Plans (Later Survey-June 2019)



F17 Solid floor with York stone covering, pieces loose/crumbling, poor condition.

F18 Solid floor with York Stone covering, good condition.

F19 Solid floor with York Stone covering, half of floor finished with seamless linoleum, considered good condition.

F20 Solid floor with seamless linoleum, good condition.

F21 Solid floor, painted finish with rolling stack platform. Considered good condition.

F22 York stone slabs with linoleum covering in tired condition

F23 No significant deflection noted, floorboards covered by carpet/vinyl. Covering in poor condition.

F24 Double suspended timber floor in reasonable condition. York stone slabs in reasonable condition in former corridor position.

WD18 Metal casement with security grille, in need of repair

WD19 Leaded lights in stone surround

211 Lecture Hall

217 Living Room Caretakers Flat

218 Kitchen C.F.

215 Bathroom C.F.

218 Cupboard C.F.

214 Corridor Caretakers Flat

213 Lobby C.F.

201 Bedroom 1 Caretakers Flat

202 Bedroom 2 Caretakers Flat

203 Office

204 Main Entrance

205 Service Lobby

206 Book Storage

207 Cupboard

208 North Corridor

209 Congregational Library Book Storage

210 Congregational Library Book Storage

25S Staircase

25N Staircase

Broken glass panel

Glazed security screen attached to edge of stairs. Structural Engineer to review and ensure stairs are sufficient to support imposed loads.

CPMG ARCHITECT INTERIOR DESIGN
VISUALISATION

PROJECT _____

Dr Williams's Library
Library Building

DRAWING TITLE

FLOOR PLANS
Condition Survey - L02

DRAWING PURPOSE

PRELIMINARY

PROJECT - ORIGINATOR - ZONE - LEVEL - TYPE - ROLE - NUMBER	REVISION
--	----------

W82-CPM-Z1-02-DR-A-70002

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ISO 9001: 2015 Quality Management
ISO 14001: 2015 Environmental Management
PAS 1192-2: 2013 Building Information Modelling

Floors	Windows	Walls	Ceilings	Joinery	Fireplace	Stairs	Sanitary / Kitchen Fixings	Decorative Order
F01 No significant deflection noted, floorboards covered by carpet/vinyl. Covering in reasonable condition.	WD01 Metal casement with secondary internal glazing, no damp/mould issues. Good condition.	W01 Painted plaster, considered good condition.	C01 Plain painted plastered ceiling considered good condition.	J01 Door, door frame, architraves and skirting in good condition.	FP1 Fireplace intact. Roman cement decorative legs, cast iron firebox and timber mantle in good condition.	S01 York stone treads in reasonable condition.	SF1 Sanitary fittings in good condition. Electric extract fan present; cannot comment on working order.	DO1 General interior condition of room- Good.
F02 No significant deflection noted, floorboards exposed.	WD02 Metal casement with secondary internal glazing, damp/mould issues between glazing.	W02 Significant dampness evident to painted plaster walls. Dampness in excess of 20%, as indicated on plan.	C02 Ornate/vaulted painted plastered ceiling, good condition.	J02 Door, door frames, architraves and skirting in poor condition.	FP2 Fireplace intact. Roman cement decorative legs, cast iron firebox and timber mantle in good condition.	S02 York stone treads in reasonable condition, signs of past repair work to treads.	SF2 Sanitary fittings including: lavatories, urinals and washbasins considered in poor condition.	DO2 General interior condition of room- Fair.
F03 Significant deflection noted, floorboards covered by carpet/vinyl.	WD03 Metal casement with secondary internal glazing, damp/mould issues between glazing. Dampness measured in excess of 20%.	W03 Moderate cracking to painted plaster walls, as indicated on plan.	C03 Painted plastered ceiling in poor condition, cracking evident.	J03 Timber exterior door with glazed panels and ogee heads, in good condition.	FP3 Fireplace intact. Roman cement decorative legs still evident, fireplace boarded over.	S03 Roman cement, decorative balustrade present and in good condition.	SF3 Fitted kitchen with sink, believed to be in good condition. Cannot comment on working order.	DO3 General interior condition of room- Tired.
F04 Significant deflection noted, floorboards exposed.	WD04 Metal casement with security grille. Good condition.	W04 Moderate dampness evident to painted plaster walls, as indicated on plan.	C04 No ceiling- Exposed timber floor construction.	J04 Timber exterior door, good condition.	FP4 Fireplace boarded over.	S04 Timber handrail on steel railing balustrade in reasonable condition.	SF4 Sanitary fittings removed, redundant pipes left in place.	DO4 General interior condition of room- Poor.
F05 York stone slabs in reasonable order.	WD05 No window within highlighted space.	W05 Plastered masonry wall with wallpaper, general condition considered good.	C05 Fair faced painted brick segmental vault, good condition.	J05 Timber panelling to perimeter walls, with built-in integral cupboards and book shelving as indicated on plan.	FP5 No fireplace evident or believed to have been within space highlighted.	S05 Secondary guarding wall used as security measure within stairwell. Guarding known as unoriginal, not suitable for existing stair.	SF5 Self contained gas fired boiler, with balanced flue, extracted through the rear wall provides heating and hot water independently to main systems serving the building.	
F06 Infilled timber floor adjoining York stone slab floor, good condition.	WD06 Stained glass in metal casements, reasonable condition. Refurbishment required.	W06 Significant cracking to plastered painted walls, as indicated on plan.	C06 Painted plaster ceiling with decorative cornice at the wall-ceiling junction, not original to building. Considered good condition.	J06 Timber doors with ogee heads considered good condition.	FP6 Roman cement decorative legs still evident, fireplace boarded over.	S06 Un-original cast-iron spiral staircase, believed in good condition.	SF6 Un-original proprietary laminated toilet cubicles, in good condition.	
F07 Long strip hardwood and softwood boarding on cast iron and timber structure beneath. In good condition. Stone slabs at intended fireplace locations to side walls.	WD07 Metal casement in reasonable condition, extraction fan included in glazing. External oil in need of refurb.	W07 Painted fair faced brickwork, considered good condition.	C07 Painted plaster in poor condition. The timber gas ventilation hood is not believed fire protected.	J07 Modern strong room door (high security and fire properties). Good condition.	FP7 Embellished timber surround with cast iron firebox, in reasonable condition.	S07 Un-original timber stairs believed in reasonable condition.	SF7 Cleaners sink, believed in poor condition.	
F08 York stone slabs, masked by carpet. Covering in good condition.	WD08 Metal casement window in good condition.	W08 Painted plaster walls, walls in tired condition.	C08 Painted plaster ceiling with down stand beams, good condition.	J08 Soft wood six panel door with original Keen's cement reveal, considered good.	FP8 Marble surround left in place, fireplace boarded over.	S08 External York stone stairs, cause for significant damp issues internally. Non original brick structure erected during past works to support this, has moved and no longer supports the stair. Stairs deemed unsafe/unusable, intervention required urgently.	SF8 Fitted kitchen with sink, in poor condition. Not operational.	
F09 Tanked floor with recessed rolling rack tracks and seamless linoleum flooring. Good condition.	WD09 Metal casement window in good condition.	W09 Painted plaster walls, Keen's cement skirting's, edges and window reveals. Significant plaster cracking around the window/door noted, as indicated on plan.	C09 Painted plaster ceiling with down stand beams, good condition.	J09 New timber door (un-original), door frame, architrave and skirting in good condition.	FP9 Fireplace clearly removed.	S09 External York stone stairs, cause for significant damp issues internally. Non original brick structure erected during past works to support this, has moved and no longer supports the stair. Stairs deemed unsafe/unusable, intervention required urgently.	SF9 Gas meter on wall, redundant cabling evident.	
F10 Solid concrete with painted finish. Good condition.	WD10 Metal casement window in poor condition.	W10 Painted plaster walls, believed to be in good condition. Exposed steel lintels above windows.	C10 No ceiling- York stone stairs/landing exposed.	J10 Timber glazing screen and matching associated feature double doors are considered good in condition.		S10 York stone treads with linoleum nosings. Tired condition.		
F11 Brick Paver, considered good condition.	WD11 Metal casement window in good condition.	W11 Painted plaster walls, Keen's cement skirting's, edges and window reveals. Significant plaster cracking around the window/door noted, as indicated on plan.	C11 Painted underside of metal grillage in poor condition. Number of supporting downstand beams.	J11 Built in book shelving, good condition, as indicated on plan.				
F12 Long strip oak finish flooring. Considered good condition.	WD12 Metal casement window in good condition.	W12 Painted plaster walls, Keen's cement skirting's, edges and window reveals. Significant damage to plaster from leaks.	C12 Painted plaster ceiling, evidence of dampness from above, poor condition.					
F13 Significant deflection noted, floorboards covered by carpet/vinyl. Covering in poor condition.	WD13 Metal casement window in good condition.		C13 No ceiling- Steel shuttered floor above.					
F14 Gallery- Two unoriginal cast-iron floors with associated railings, supported on cast-iron columns. Considered good condition.	WD14 Metal casement window in good condition.		C14 Plain painted plastered ceiling considered tired condition.					
F15 Gallery- Un-original timber gallery with associated timber balustrade, supported below by timber book presses. Good condition.	WD15 Metal casement window in good condition.		C15 Woodchip wallpaper to plaster, in good condition.					
F16 Un-original perforated cast-iron gridded floor on supporting steelwork. Good condition.	WD16 Timber sash window recently refurbished, good condition.							
F17 Solid floor with York stone covering, pieces loose/crumbling. Poor Condition.	WD17 Environmental shutters to window. Openings behind shutters have not been inspected.							
F18 Solid floor with York Stone covering, good condition.	WD18 Metal casement with security grille, in need of refurb.							
F19 Solid floor with York Stone covering, half of floor finished with seamless linoleum, considered good condition.	WD19 Leaded lights in stone surround							
F20 Solid floor with seamless linoleum, good condition.								
F21 Solid floor, painted finish with rolling stack platform. Considered good condition.								
F22 York stone slabs with linoleum covering in tired condition.								
F23 No significant deflection noted, floorboards covered by carpet/vinyl. Covering in poor condition.								
F24 Double suspended timber floor in reasonable condition. York stone slabs in reasonable condition in former corridor position.								

Condition Survey Key

Rooms highlighted with possible asbestos concerns. These notes are for guidance only and should not be considered a true and complete overview. Refer to the latest asbestos report by RPS- Asbestos_Rev F HLAS3017 003R_June 2017

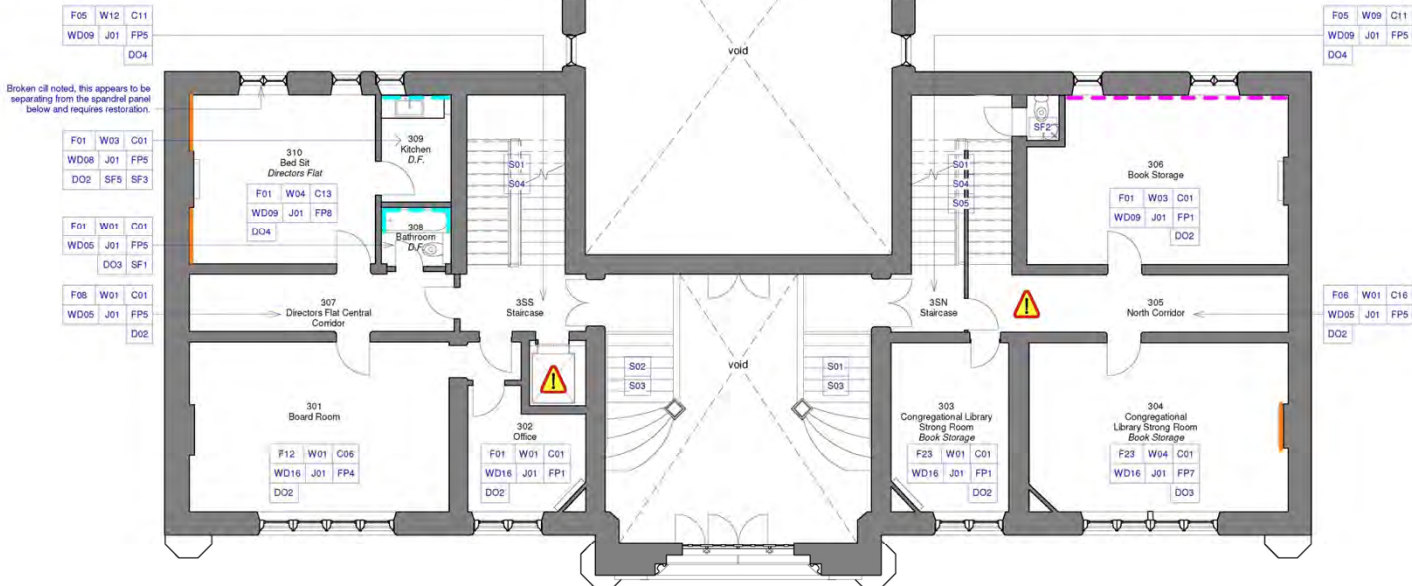
Identifier (Shown Indicatively)

Plaster walls with areas of dampness in excess of 20%.

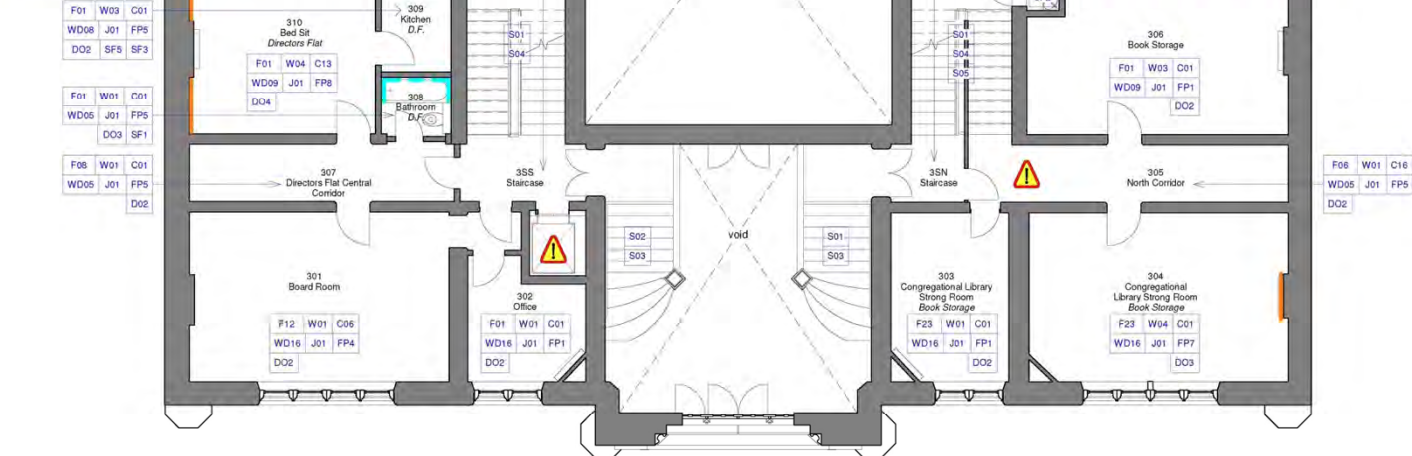
Areas of notable cracking within plaster walls.

Indicative locations of tile splashback, conditioned considered good.

Timber panelling / built in book shelving to perimeter walls, including library book presses.



Broken oil noted, this appears to be separating from the spandrel panel below and requires restoration.



W82-CPM-Z1-03-DR-A-70003



REV DATE DESCRIPTION

ORIGINATOR REF: 8555

CPMG ARCHITECT INTERIOR DESIGN VISUALISATION

CPMG Architects Ltd

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PROJECT

Dr Williams's Library

Library Building

DRAWING TITLE

FLOOR PLANS

Condition Survey - L04

DRAWING PURPOSE

PRELIMINARY

DRAWN BY DATE CHK'D BY SCALE MEDIA

HW 2019-07-25 RF 1 : 100 A2

PROJECT - ORIGINATOR - ZONE - LEVEL - TYPE - ROLE - NUMBER REVISION

W82-CPM-Z1-04-DR-A-70004

Floors	Windows	Walls	Ceilings	Joinery	Fireplace	Stairs	Sanitary / Kitchen Fixings	Decorative Order
F01 No significant deflection noted, floorboards covered by carpet/vinyl. Covering in reasonable condition.	WD01 Metal casement with secondary internal glazing, no damp/mould issues. Good condition.	W01 Painted plaster, considered good condition.	C01 Plain painted plastered ceiling considered good condition.	J01 Door, door frame, architraves and skirting in good condition.	FP1 Fireplace intact. Roman cement decorative legs, cast iron firebox and timber mantle in good condition.	S01 York stone treads in reasonable condition.	SF1 Sanitary fittings in good condition. Electric extract fan present; cannot comment on working order.	DO1 General interior condition of room- Good.
F02 No significant deflection noted, floorboards exposed.	WD02 Metal casement with secondary internal glazing, damp/mould issues between glazing.	W02 Significant dampness evident to painted plaster walls. Dampness in excess of 20%, as indicated on plan.	C02 Ornate/vaulted painted plastered ceiling, good condition.	J02 Door, door frames, architraves and skirting in poor condition.	FP2 Fireplace intact. Roman cement decorative legs, cast iron firebox, glazed tile back and timber mantle in good condition.	S02 York stone treads in reasonable condition, signs of past repair work to treads.	SF2 Sanitary fittings including: lavatories, urinals and washbasins considered in good condition.	DO2 General interior condition of room- Fair.
F03 Significant deflection noted, floorboards covered by carpet/vinyl.	WD03 Metal casement with secondary internal glazing, damp/mould issues between glazing. Dampness measured in excess of 20%.	W03 Moderate cracking to painted plaster walls, as indicated on plan.	C03 Painted plastered ceiling in poor condition, cracking evident.	J03 Timber exterior door with glazed panels and ogee heads, in good condition.	FP3 Fireplace intact. Roman cement decorative legs still evident, fireplace boarded over.	S03 Roman cement, decorative balustrade present and in good condition.	SF3 Fitted kitchen with sink, believed to be in good condition. Cannot comment on working order.	DO3 General interior condition of room- Tired.
F04 Significant deflection noted, floorboards exposed.	WD04 Metal casement with security grille. Good condition.	W04 Moderate dampness evident to painted plaster walls, as indicated on plan.	C04 No ceiling- Exposed timber floor construction.	J04 Timber exterior door, good condition.	FP4 Fireplace boarded over.	S04 Timber handrail on steel railing balustrade in reasonable condition.	SF4 Sanitary fittings removed, redundant pipes left in place.	DO4 General interior condition of room- Poor.
F05 York stone slabs in reasonable order.	WD05 No window within highlighted space.	W05 Plastered masonry wall with wallpaper, general condition considered good.	C05 Fair faced painted brick segmental vault, good condition.	J05 Timber panelling to perimeter walls, with built-in integral cupboards and book shelving as indicated on plan.	FP5 No fireplace evident or believed to have been within space highlighted.	S05 Secondary guarding wall used as security measure within stairwell. Guarding known as unoriginal, not suitable for existing stair.	SF5 Self contained gas fired boiler, with balanced flue, extracted through the rear wall provides heating and hot water independently to main systems serving the building.	
F06 Infilled timber floor adjoining York stone slab floor, good condition.	WD06 Stained glass in metal casements, reasonable condition. Refurbishment required.	W06 Significant cracking to plastered painted walls, as indicated on plan.	C06 Painted plaster ceiling with decorative cornice at the wall-ceiling junction, not original to building. Considered good condition.	J06 Timber doors with ogee heads considered good condition.	FP6 Roman cement decorative legs still evident, fireplace boarded over.	S06 Un-original cast-iron spiral staircase, believed in good condition.	SF6 Un-original proprietary laminated toilet cubicles, in good condition.	
F07 Long strip hardwood and softwood boarding on cast iron and timber structure beneath. In good condition. Stone slabs at intended fireplace locations to side walls.	WD07 Metal casement in reasonable condition, extraction fan included in glazing. External oil in need of refurb.	W07 Painted fair faced brickwork, considered good condition.	C07 Painted plaster in poor condition. The timber gas ventilation hood is not believed fire protected.	J07 Modern strong room door (high security and fire properties). Good condition.	FP7 Embellished timber surround with cast iron firebox, in reasonable condition.	S07 Un-original timber stairs believed in reasonable condition.	SF7 Cleaners sink, believed in poor condition.	
F08 York stone slabs, masked by carpet. Covering in good condition.	WD08 Metal casement window in good condition.	W08 Painted plastered walls, walls in tired condition.	C08 Painted plaster ceiling with down stand beams, good condition.	J08 Soft wood six panel door with original Keen's cement reveal, considered good.	FP8 Marble surround left in place, fireplace boarded over.	S08 External York stone stairs, cause for significant damp issues internally. Currently propped as deemed unsafe/unusable. Intervention required urgently.	SF8 Swivelay fitting including: lavatories, urinals and washbasins considered in good condition.	
F09 Tanked floor with recessed rolling rack tracks and seamless linoleum flooring. Good condition.	WD09 Metal casement window in good condition.	W09 Painted plaster walls, Keene's cement skirting's, edges and window reveals. Significant plaster cracking around the window/door noted, as indicated on plan.	C09 Painted plaster ceiling with timber cased cast-iron beams, in need of refurb. Decorative braces and corbels in good order.	J09 Timber glazed screen and matching associated feature double doors are considered good in condition.	FP9 Fireplace clearly removed.	S09 External York stone stairs, cause for significant damp issues internally. Non original brick structure erected during past works to support, this has moved and no longer supports the stair. Stairs deemed unsafe/unusable, intervention required urgently.	SF9 Fitted kitchen with sink, in poor condition. Not operational.	
F10 Solid concrete with painted finish. Good condition.	WD10 Metal casement window in poor condition.	W10 Painted plaster walls, believed to be in good condition. Exposed steel lintels above windows.	C10 No ceiling- York stone stairs/landing exposed.	J10 Built in book shelving, good condition, as indicated on plan.		S10 York stone treads with linoleum nosings. Tired condition.	SF10 Gas meter on wall, redundant cabling evident.	
F11 Brick Paver, considered good condition.	WD11 Metal casement window in good condition.	W11 Painted plaster walls, Keene's cement skirting's, edges and window reveals. Significant cracking around the window/door noted, as indicated on plan.	C11 Painted underside of metal grillage in poor condition. Number of supporting downstand beams.					
F12 Long strip oak finish flooring. Considered good condition.	WD12 Metal casement window in good condition.	W12 Painted plaster walls, Keene's cement skirting's, edges and window reveals. Significant damage to plaster from leaks.	C12 Painted plaster ceiling, evidence of dampness from above, poor condition.					
F13 Significant deflection noted, floorboards covered by carpet/vinyl. Covering in poor condition.	WD13 Metal casement window in good condition.		C13 No ceiling- Steel shuttered floor above.					
F14 Gallery- Two unoriginal cast-iron floors with associated railings, supported on cast-iron columns. Considered good condition.	WD14 Metal casement window in good condition.		C14 Plain painted plastered ceiling considered tired condition.					
F15 Gallery- Un-original timber gallery with associated timber balustrade, supported below by timber book presses. Good condition.	WD15 Timber sash window recently refurbished. Good condition.		C15 Woodchip wallpaper to plaster, in good condition.					
F16 Un-original perforated cast-iron gridded floor on supporting steelwork. Good condition.	WD16 Metal casement with security grille, in need of refurb.							
F17 Solid floor with York stone covering, pieces loose/crumbling. Poor Condition.	WD17 Leaded lights in stone surround.							
F18 Solid floor with York Stone covering, good condition.								
F19 Solid floor with York Stone covering, half of floor finished with seamless linoleum, considered good condition.								
F20 Solid floor with seamless linoleum, good condition.								
F21 Solid floor, painted finish with rolling stack platform. Considered good condition.								
F22 York stone slabs with linoleum covering in tired condition.								
F23 No significant deflection noted, floorboards covered by carpet/vinyl. Covering in poor condition.								
F24 Double suspended timber floor in reasonable condition. York stone slabs in reasonable condition in former corridor position.								

Condition Survey Key

Rooms highlighted with possible asbestos concerns. These notes are for guidance only and should not be considered a true and complete overview. Refer to the latest asbestos report by RPS- Asbestos_Rev F HLAS3017 003R_June 2017

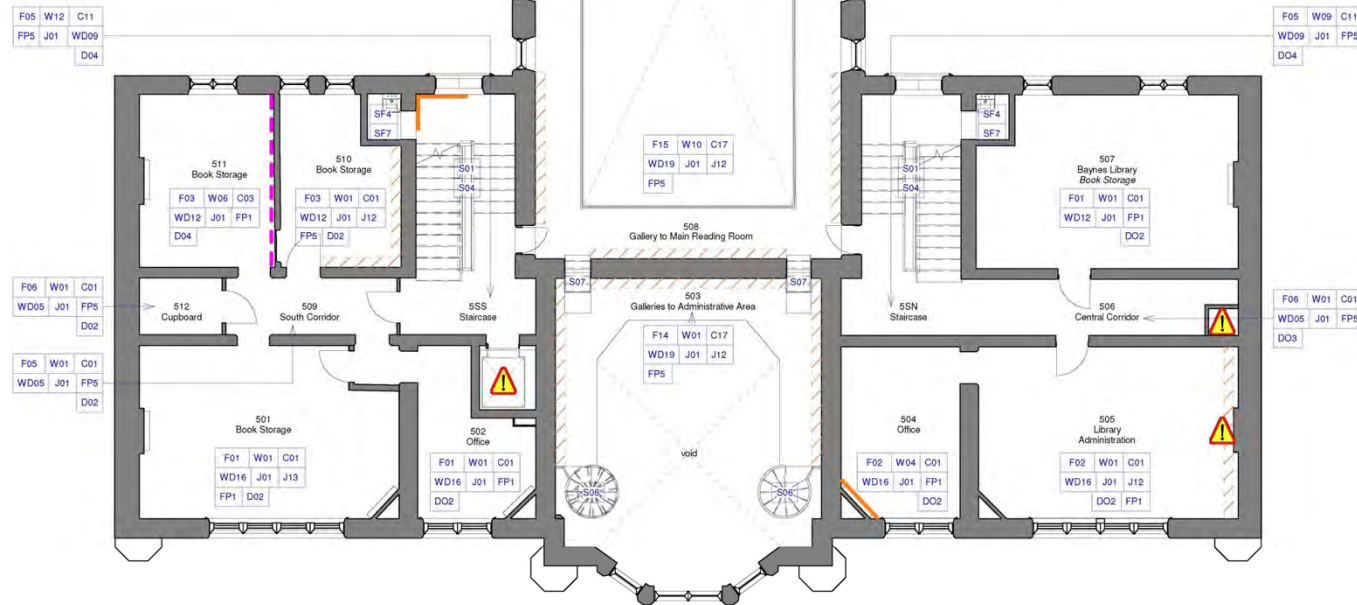
Identifier (Shown Indicatively)

Plaster wall with areas of dampness.

Areas of notable cracking within plaster walls.

Indicative locations of tile splashback, conditioned considered good.

Timber panelling / built in book shelving to perimeter walls, including Library book presses.



REV DATE DESCRIPTION

ORIGINATOR CPMG ARCHITECT INTERIOR DESIGN VISUALISATION

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PROJECT

Dr Williams's Library

Library Building

DRAWING TITLE

FLOOR PLANS

Condition Survey - L05

DRAWING PURPOSE

PRELIMINARY

DRAWN BY DATE CHK'D BY SCALE MEDIA

HW 2019-07-25 RF 1 : 100 A2

PROJECT - ORIGINATOR - ZONE - LEVEL - TYPE - ROLE - NUMBER REVISION

W82-CPM-Z1-05-DR-A-70005

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ISO 9001: 2015 Quality Management

ISO 14001: 2015 Environmental Management

PAS 1192-2: 2013 Building Information Modelling

Floors	Windows
F01 No significant deflection noted, floorboards covered by carpet/vinyl. Covering in reasonable condition.	WD01 Metal casement with secondary internal glazing, no damp/mould issues. Good condition.
F02 No significant deflection noted, floorboards exposed.	WD02 Metal casement with secondary internal glazing, damp/mould issues between glazing.
F03 Significant deflection noted, floorboards covered by carpet/vinyl.	WD03 Metal casement with secondary internal glazing, damp/mould issues between glazing. Dampness measured in excess of 20%.
F04 Significant deflection noted, floorboards exposed.	WD04 Metal casement with security grille. Good condition.
F05 York stone slabs in reasonable order.	WD05 No window within highlighted space.
F06 Infilled timber floor adjoining York stone slab floor, good condition.	WD06 Stained glass in metal casements, reasonable condition. Refurbishment required.
F07 Long strip hardwood and softwood boarding on cast iron and timber structure beneath. In good condition. Stone slabs at intended fireplace locations to side walls.	WD07 Metal casement in reasonable condition, extraction fan included in glazing. External oil in need of refurb.
F08 York stone slabs, masked by carpet. Covering in good condition.	WD08 Metal casement window in good condition.
F09 Tanked floor with recessed rolling rack tracks and seamless linoleum flooring. Good condition.	WD09 Metal casement window in poor condition.
F10 Solid concrete with painted finish. Good condition.	WD10 Metal casement window in poor condition.
F11 Brick Paver, considered good condition.	WD11 Metal casement window in poor condition.
F12 Long strip oak finish flooring. Considered good condition.	WD12 Metal casement window in poor condition.
F13 Significant deflection noted, floorboards covered by carpet/vinyl. Covering in poor condition.	WD13 Metal casement window in poor condition.
F14 Gallery. Two original cast-iron floors with associated railings, supported on cast-iron columns. Considered good condition.	WD14 Metal casement window in poor condition.
F15 Gallery. Un-original timber gallery with associated timber balustrade, supported below by timber book presses. Good condition.	WD15 Metal casement window in poor condition.
F16 Un-original perforated cast-iron gridded floor on supporting steelwork. Good condition.	WD16 Metal casement window in poor condition.
F17 Solid floor with York stone covering, pieces loose/crumbling. Poor Condition.	WD17 Metal casement window in poor condition.
F18 Solid floor with York Stone covering, good condition.	WD18 Metal casement window in poor condition.
F19 Solid floor with York Stone covering, half of floor finished with seamless linoleum, considered good condition.	WD19 Metal casement window in poor condition.
F20 Solid floor with seamless linoleum, good condition.	
F21 Solid floor, painted finish with rolling stack platform. Considered good condition.	
F22 York stone slabs with linoleum covering in tired condition.	
F23 No significant deflection noted, floorboards covered by carpet/vinyl. Covering in poor condition.	
F24 Double suspended timber floor in reasonable condition. York stone slabs in reasonable condition in former corridor position.	

Walls	Ceilings
W01 Painted plaster, considered good condition.	C01 Plain painted plastered ceiling considered good condition.
W02 Significant dampness evident to painted plaster walls. Dampness in excess of 20%, as indicated on plan.	C02 Ornate/vaulted painted plastered ceiling, good condition.
W03 Moderate cracking to painted plaster walls, as indicated on plan.	C03 Painted plastered ceiling in poor condition, cracking evident.
W04 Moderate dampness evident to painted plaster walls, as indicated on plan.	C04 No ceiling - Exposed timber floor construction.
W05 Plastered masonry wall with wallpaper, general condition considered good.	C05 Fair faced painted brick segmental vault, good condition.
W06 Significant cracking to plastered painted walls, as indicated on plan.	C06 Painted plaster ceiling with decorative cornice at the wall-ceiling junction, not original to building. Considered good condition.
W07 Painted fair faced brickwork, considered good condition.	C07 Painted plaster in poor condition. The timber gas ventilation hood is not believed fire protected.
W08 Painted plastered walls, walls in tired condition.	C08 Painted timber board with timber battens, good condition.
W09 Painted plaster walls, Keene's cement skirting's edges and window reveals. Significant plaster cracking around the window/door noted, as indicated on plan.	C09 Painted plaster ceiling with down stand beams, good condition.
W10 Painted plaster walls, Keene's cement skirting's edges and window reveals. Significant plaster cracking around the window/door noted, as indicated on plan.	C10 Painted plaster ceiling with timber cased cast-iron beams, in need of refurb. Decorative braces and corbels in good condition.
W11 Painted plaster walls, Keene's cement skirting's edges and window reveals. Significant plaster cracking around the window/door noted, as indicated on plan.	C11 No ceiling - York stone stairs/landing exposed.
W12 Painted plaster walls, Keene's cement skirting's edges and window reveals. Significant damage to plaster from leaks.	C12 Painted underside of metal grillage in poor condition. Number of supporting downstand beams.
	C13 Painted plaster ceiling, evidence of dampness from above, poor condition.
	C14 No ceiling - Steel shuttered floor above.
	C16 Plain painted plastered ceiling considered tired condition.
	C17 Woodchip wallpaper to plaster, in good condition.

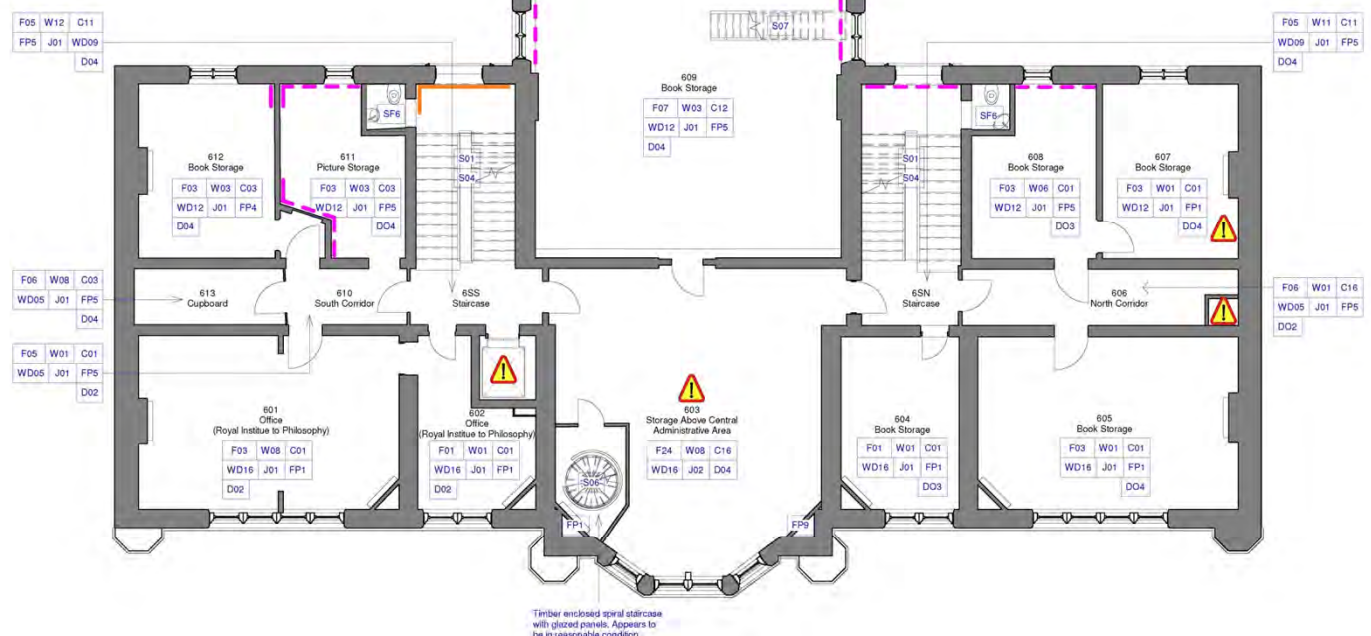
Joinery	Fireplace
J01 Door, door frame, architraves and skirting in good condition.	FP1 Fireplace intact. Roman cement decorative legs, cast iron firebox and timber mantle in good condition.
J02 Door, door frames, architraves and skirting in poor condition.	FP2 Fireplace intact. Roman cement decorative legs, cast iron firebox, glazed tile back and timber mantle in good condition.
J03 Timber exterior door with glazed panels and ogee heads, in good condition.	FP3 Fireplace intact, timber surround and tile in poor condition.
J04 Timber exterior door, good condition.	FP4 Fireplace boarded over.
J05 Timber panelling to perimeter walls, with built-in integral cupboards and book shelving as indicated on plan.	FP5 No fireplace evident or believed to have been within space highlighted.
J06 Timber doors with ogee heads considered good condition.	FP6 Roman cement decorative legs still evident, fireplace boarded over.
J08 Modern strong room door (high security and fire properties). Good condition.	FP7 Embellished timber surround with cast iron firebox, in reasonable condition.
J09 New timber door (un-original), door frame, architrave and skirting in good condition.	FP8 Marble surround left in place, fireplace boarded over.
J10 Soft wood six panel door with original Keene's cement reveal, considered good.	FP9 Fireplace clearly removed.
J11 Timber glazed screen and matching associated feature double doors are considered good in condition.	
J12 Built in book shelving, good condition, as indicated on plan.	

Stairs	Sanitary / Kitchen Fixings
S01 York stone treads in reasonable condition.	SF1 Sanitary fittings in good condition. Electric extract fan present; cannot comment on working order.
S02 York stone treads in reasonable condition, signs of past repair work to treads.	SF2 Sanitary fittings including: lavatories, urinals and washbasins considered in poor condition.
S03 Roman cement, decorative balustrade present and in good condition.	SF3 Fitted kitchen with sink, believed to be in good condition. Cannot comment on working order.
S04 Timber handrail on steel railing balustrade in reasonable condition.	SF4 Sanitary fittings removed, redundant pipes left in place.
S05 Secondary guarding wall used as security measure within stairwell. Guarding known as unoriginal, not suitable for existing stair.	SF5 Self contained gas fired boiler, with balanced flue, extracted through the rear wall provides heating and hot water independently to main systems serving the building.
S06 Un-original cast-iron spiral staircase, believed in good condition.	SF6 Un-original proprietary laminated toilet cubicles, in good condition.
S07 Un-original timber stairs believed in reasonable condition.	SF7 Swivelay fitting including: lavatories, urinals and washbasins considered in good condition.
S08 External York stone stairs, cause for significant damp issues internally. Non original brick structure erected during past works to support this, has moved and no longer supports the stair. Stairs deemed unsafe/unusable, intervention required urgently.	SF8 Cleaners sink, believed in poor condition.
S09 External York stone stairs, cause for significant damp issues internally. Non original brick structure erected during past works to support this, has moved and no longer supports the stair. Stairs deemed unsafe/unusable, intervention required urgently.	SF9 Fitted kitchen with sink, in poor condition. Not operational.
S10 York stone treads with linoleum nosing's. Tired condition.	SF10 Gas meter on wall, redundant cabling evident.

Decorative Order	Condition Survey Key
DO1 General interior condition of room- Good.	Rooms highlighted with possible asbestos concerns. These notes are for guidance only and should not be considered a true and complete overview. Refer to the latest asbestos report by RPS- Asbestos, Rev F HLAS3017 003R, June 2017
DO2 General interior condition of room- Fair.	Identifier (Shown Indicatively)
DO3 General interior condition of room- Tired.	Plaster walls with areas of dampness.
DO4 General interior condition of room- Poor.	Areas of notable cracking within plaster walls.
	Indicative locations of tile splashback, conditioned considered good.
	Timber panelling / built in book shelving to perimeter walls, including Library book presses.

Condition Survey Key
Rooms highlighted with possible asbestos concerns. These notes are for guidance only and should not be considered a true and complete overview. Refer to the latest asbestos report by RPS- Asbestos, Rev F HLAS3017 003R, June 2017
Identifier (Shown Indicatively)
Plaster walls with areas of dampness.
Areas of notable cracking within plaster walls.
Indicative locations of tile splashback, conditioned considered good.
Timber panelling / built in book shelving to perimeter walls, including Library book presses.

Condition Survey Key
Rooms highlighted with possible asbestos concerns. These notes are for guidance only and should not be considered a true and complete overview. Refer to the latest asbestos report by RPS- Asbestos, Rev F HLAS3017 003R, June 2017
Identifier (Shown Indicatively)
Plaster walls with areas of dampness.
Areas of notable cracking within plaster walls.
Indicative locations of tile splashback, conditioned considered good.
Timber panelling / built in book shelving to perimeter walls, including Library book presses.



REV	DATE	DESCRIPTION	REF: 8555
ORIGINATOR			
cpmg		CPMG ARCHITECT INTERIOR DESIGN VISUALISATION	
CPMG Architects Ltd			
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London		31/35 Kirby Street, London, EC1N 8TE tel: 0207 492 1805	
		enquiries@cpmg-architects.com	
		www.cpmg-architects.com	

PROJECT

Dr Williams's Library

Library Building

DRAWING TITLE

FLOOR PLANS

Condition Survey - L06

DRAWING PURPOSE

PRELIMINARY

DRAWN BY	DATE	CHK'D BY	SCALE	MEDIA
HW	2019-07-25	RF	1 : 100	A2
PROJECT - ORIGINATOR - ZONE - LEVEL - TYPE - ROLE - NUMBER	REVISION			

W82-CPM-Z1-06-DR-A-70006

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ISO 9001: 2015 Quality Management

ISO 14001: 2015 Environmental Management

PAS 1192-2: 2013 Building Information Modelling

Floors	Windows	Walls	Ceilings	Joinery	Fireplace	Stairs	Sanitary / Kitchen Fixings	Decorative Order
F01 No significant deflection noted, floorboards covered by carpet/vinyl. Covering in reasonable condition.	WD01 Metal casement with secondary internal glazing, no damp/mould issues. Good condition.	W01 Painted plaster, considered good condition.	C01 Plain painted plastered ceiling considered good condition.	J01 Door, door frame, architraves and skirting in good condition.	FP1 Fireplace intact. Roman cement decorative legs, cast iron firebox and timber mantle in good condition.	S01 York stone treads in reasonable condition.	SF1 Sanitary fittings in good condition. Electric extract fan present; cannot comment on working order.	DO1 General interior condition of room- Good.
F02 No significant deflection noted, floorboards exposed.	WD02 Metal casement with secondary internal glazing, damp/mould issues between glazing.	W02 Significant dampness evident to painted plaster walls. Dampness in excess of 20%, as indicated on plan.	C02 Ornate/vaulted painted plastered ceiling, good condition.	J02 Door, door frames, architraves and skirting in poor condition.	FP2 Fireplace intact. Roman cement decorative legs, cast iron firebox, glazed tile back and timber mantle in good condition.	S02 York stone treads in reasonable condition, signs of past repair work to treads.	SF2 Sanitary fittings including: lavatories, urinals and washbasins considered in poor condition.	DO2 General interior condition of room- Fair.
F03 Significant deflection noted, floorboards covered by carpet/vinyl.	WD03 Metal casement with secondary internal glazing, damp/mould issues between glazing. Dampness measured in excess of 20%.	W03 Moderate cracking to painted plaster walls, as indicated on plan.	C03 Painted plastered ceiling in poor condition, cracking evident.	J03 Timber exterior door with glazed panels and ogee heads, in good condition.	FP3 Fireplace intact. Timber surround and tile in poor condition.	S03 Roman cement, decorative balustrade present and in good condition.	SF3 Fitted kitchen with sink, believed to be in good condition. Cannot comment on working order.	DO3 General interior condition of room- Tired.
F04 Significant deflection noted, floorboards exposed.	WD04 Metal casement with security grille. Good condition.	W04 Moderate dampness evident to painted plaster walls, as indicated on plan.	C04 No ceiling- Exposed timber floor construction.	J04 Timber exterior door, good condition.	FP4 Fireplace boarded over.	S04 Timber handrail on steel railing balustrade in reasonable condition.	SF4 Sanitary fittings removed, redundant pipes left in place.	DO4 General interior condition of room- Poor.
F05 York stone slabs in reasonable order.	WD05 No window within highlighted space.	W05 Plastered masonry wall with wallpaper, general condition considered good.	C05 Fair faced painted brick segmental vault, good condition.	J05 Timber panelling to perimeter walls, with built-in integral cupboards and book shelving as indicated on plan.	FP5 No fireplace evident or believed to have been within space highlighted.	S05 Secondary guarding wall used as security measure within stairwell. Guarding known as unoriginal, not suitable for existing stair.	SF5 Self contained gas fired boiler, with balanced flue, extracted through the rear wall provides heating and hot water independently to main systems serving the building.	
F06 Infilled timber floor adjoining York stone slab floor, good condition.	WD06 Stained glass in metal casements, reasonable condition. Refurbishment required.	W06 Significant cracking to plastered painted walls, as indicated on plan.	C06 Painted plaster ceiling with decorative cornice at the wall-ceiling junction, not original to building. Considered good condition.	J06 Timber doors with ogee heads considered good condition.	FP6 Roman cement decorative legs still evident, fireplace boarded over.	S06 Un-original cast-iron spiral staircase, believed in good condition.	SF6 Un-original proprietary laminated toilet cubicles, in good condition.	
F07 Long strip hardwood and softwood boarding on cast iron and timber structure beneath. In good condition. Stone slabs at intended fireplace locations to side walls.	WD07 Metal casement window in poor condition.	W07 Painted fair faced brickwork, considered good condition.	C07 Painted plaster in poor condition. The timber gas ventilation hood is not believed fire protected.	J07 Modern strong room door (high security and fire properties). Good condition.	FP7 Embellished timber surround with cast iron firebox, in reasonable condition.	S07 Un-original timber stairs believed in reasonable condition.	SF7 Cleaners sink, believed in poor condition.	
F08 York stone slabs, masked by carpet. Covering in good condition.	WD08 Metal casement in reasonable condition, extraction fan included in glazing. External oil in need of refurb.	W08 Painted plaster walls, walls in tired condition.	C08 Painted plaster board with timber battens, good condition.	J08 Timber glazed screen and matching associated feature double doors are considered good in condition.	FP8 Marble surround left in place, fireplace boarded over.	S08 External York stone stairs, cause for significant damp issues internally. Non original brick structure erected during past works to support, this has moved and no longer supports the stair. Stairs deemed unsafe/unusable, intervention required urgently.	SF8 Fitted kitchen with sink, in poor condition. Not operational.	
F09 Tanked floor with recessed rolling rack tracks and seamless linoleum flooring. Good condition.	WD09 Metal casement window in good condition.	W09 Painted plaster walls, Keene's cement skirting's edges and window reveals, considered good condition.	C09 Painted plaster ceiling with down stand beams, good condition.	J09 New timber door (un-original), door frame, architrave and skirting in good condition.	FP9 Fireplace clearly removed.	S09 York stone treads with linoleum nosing's. Tired condition.	SF9 Gas meter on wall, redundant cabling evident.	
F10 Solid concrete with painted finish. Good condition.	WD10 Metal casement window in poor condition.	W10 Painted plaster walls, believed to be in good condition. Exposed steel lintels above windows.	C10 No ceiling- York stone stairs/landing exposed.	J10 Soft wood six panel door with original Keen's cement reveal, considered good.				
F11 Brick Paver, considered good condition.	WD11 Metal casement window in good condition.	W11 Painted plaster walls, Keene's cement skirting's edges and window reveals, considered good condition.	C11 Painted underside of metal grillage in poor condition. Number of supporting downstand beams	J11 Timber glazed screen and matching associated feature double doors are considered good in condition.				
F12 Long strip oak finish flooring. Considered good condition.	WD12 Metal casement window in poor condition.	W12 Painted plaster walls, Keene's cement skirting's edges and window reveals. Significant damage to plaster from leaks.	C12 Painted plaster ceiling, evidence of dampness from above, poor condition.	J12 Built in book shelving, good condition, as indicated on plan.				
F13 Significant deflection noted, floorboards covered by carpet/vinyl. Covering in poor condition.	WD13 Metal casement window in good condition.		C13 Plain painted plastered ceiling considered tired condition					
F14 Gallery- Two unoriginal cast-iron floors with associated railings, supported on cast-iron columns. Considered good condition.	WD14 Metal casement window in good condition.		C14 No ceiling- Steel shuttered floor above.					
F15 Gallery- Un-original timber gallery with associated timber balustrade, supported below by timber book presses. Good condition.	WD15 Metal casement in good condition- glazing replaced with obscure panels at some point during past works.		C16 Plain painted plastered ceiling considered tired condition					
F16 Un-original perforated cast-iron gridded floor on supporting steelwork. Good condition.	WD16 Timber sash window recently refurbished, good condition.		C17 Woodchip wallpaper to plaster, in good condition					
F17 Solid floor with York stone covering, pieces loose/crumbling. Poor Condition.	WD17 Environmental shutters to window. Openings behind shutters have not been inspected.							
F18 Solid floor with York Stone covering, good condition.	WD18 Metal casement with security grille, in need of refurb.							
F19 Solid floor with York Stone covering, half of floor finished with seamless linoleum, considered good condition.	WD19 Leaded lights in stone surround							
F20 Solid floor with seamless linoleum, good condition.								
F21 Solid floor, painted finish with rolling stack platform. Considered good condition.								
F22 York stone slabs with linoleum covering in tired condition								
F23 No significant deflection noted, floorboards covered by carpet/vinyl. Covering in poor condition.								
F24 Double suspended timber floor in reasonable condition. York stone slabs in reasonable condition in former corridor position.								

Condition Survey Key

Rooms highlighted with possible asbestos concerns. These notes are for guidance only and should not be considered a true and complete overview. Refer to the latest asbestos report by RPS- Asbestos_Rev F HLAS017 003R_June 2017

Identifier (Shown Indicatively)

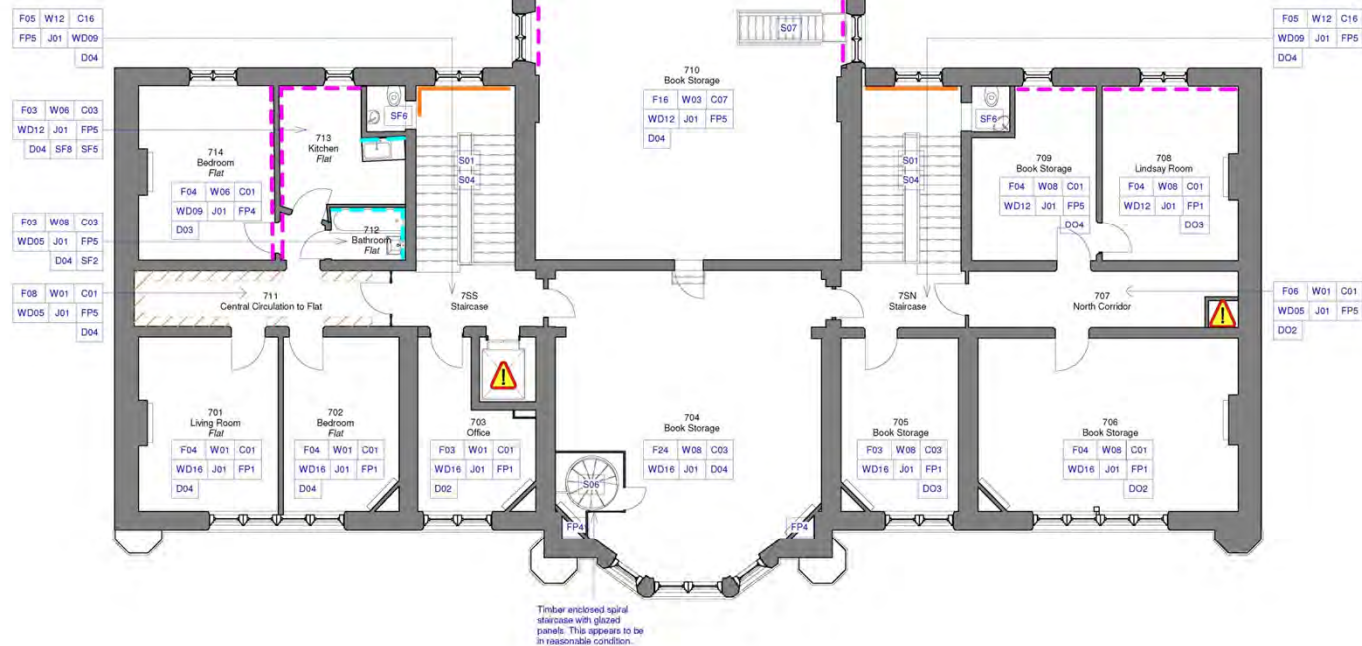
Plaster walls with areas of dampness in excess of 20%.

Plaster wall with areas of dampness.

Areas of notable cracking within plaster walls.

Indicative locations of tile splashback, conditioned considered good.

Timber panelling / built in book shelving to perimeter walls, including library book presses.



REV	DATE	DESCRIPTION	REF: 8555
ORIGINATOR			
CPMG ARCHITECT INTERIOR DESIGN VISUALISATION			
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enquiries@cpmg-architects.com			
www.cpmg-architects.com			

PROJECT

Dr Williams's Library

Library Building

DRAWING TITLE

FLOOR PLANS

Condition Survey - L07

DRAWING PURPOSE

PRELIMINARY

DRAWN BY	DATE	CHK'D BY	SCALE	MEDIA
HW	2019-07-25	RF	1 : 100	A2
PROJECT - ORIGINATOR - ZONE - LEVEL - TYPE - ROLE - NUMBER	REVISION			

W82-CPM-Z1-07-DR-A-70007

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ISO 9001: 2015 Quality Management
ISO 14001: 2015 Environmental Management
PAS 1192-2: 2013 Building Information Modelling

Condition Survey Key

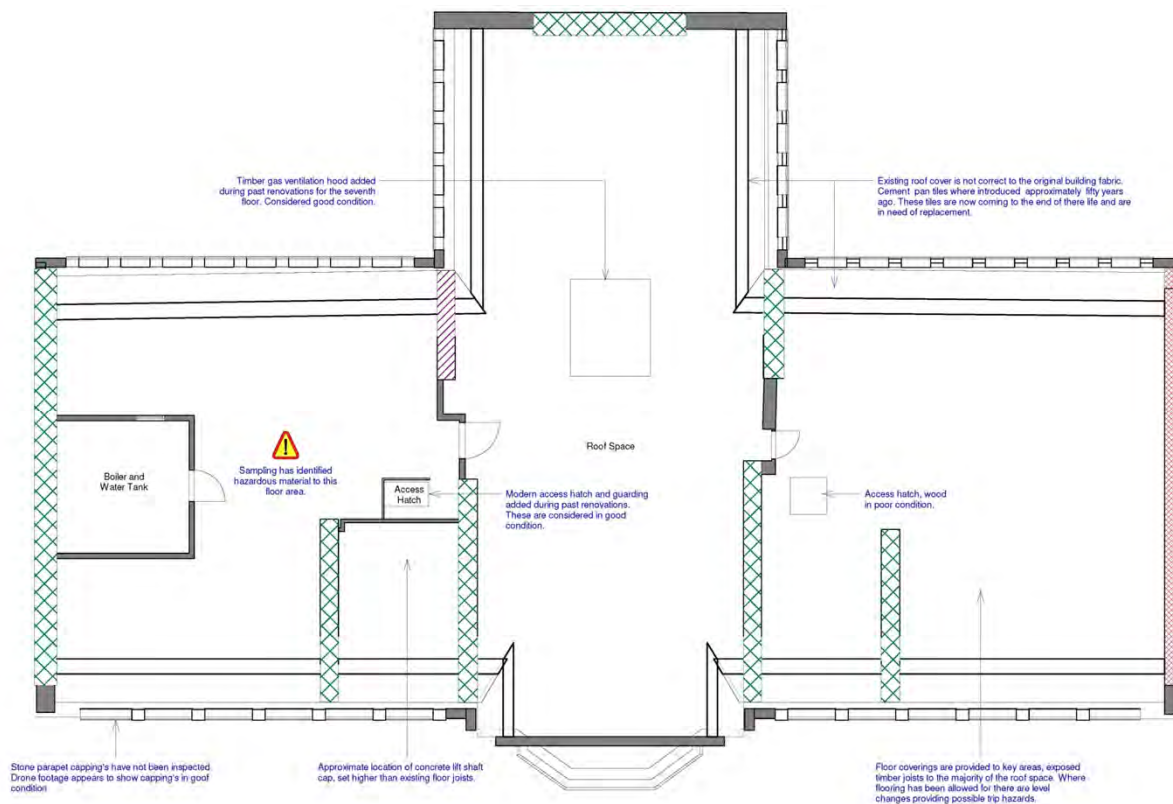


Rooms highlighted with possible asbestos concerns. These notes are for guidance only and should not be considered a true and complete overview. For Asbestos related queries refer to the latest asbestos report by: RPS: Asbestos, 02 HLAM50679/01R, May 2017

Identifier (Shown Indicatively)

-  Chimney Stack: In need of urgent works to stabilise the structure. Concerns over collapse.
-  Chimney Stack: In need of stabilisation, stack to be tied into a new diaphragm floor covering at level eight.
-  Chimney Stack: Reduced in height and closed off during previous works.

Refer to Structural Engineers drawings for further information.



REV	DATE	DESCRIPTION
ORIGINATOR		REF: 8555



CPMG ARCHITECT INTERIOR DESIGN
VISUALISATION

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PROJECT

Dr Williams's Library
Library Building

DRAWING TITLE

FLOOR PLANS

Condition Survey - L08

DRAWING PURPOSE

PRELIMINARY

DRAWN BY	DATE	CHK'D BY	SCALE	MEDIA
HW	2019-07-25	RF	1 : 100	A2
PROJECT - ORIGINATOR - ZONE - LEVEL - TYPE - ROLE - NUMBER				REVISION

W82-CPM-Z1-08-DR-A-70008

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