

DESIGN AND ACCESS STATEMENT

Roof extension to No.10 Ploughmans
Close, Camden, London, NW1 0XH

November 2019

1140 DAS (rev.A)

Studio DC Architects



INTRODUCTION

This Design and Access Statement is part of the revised Householder Application for Planning Permission submitted to the Camden Planning Service for a roof extension to a contemporary terraced house in Ploughmans Close, Camden, London.

It was prepared by Andrew de Carteret DIP Arch RIBA of Studio DC Architects who has 18 years of experience designing and teaching about contemporary alterations to existing buildings in accordance with Historic England / English Heritage / planning policy guidance.

agent: Studio DC Architects

contact: Andy de Carteret

tel 07906 387185

e-mail andy@studiodc.co.uk

1 The Setting

No. 10 Ploughmans Close is a 2 storey contemporary terraced house built as part of the 'Elm Village' housing development completed in 1980. Ploughmans Close is one of the quiet, inward facing cul de sacs which characterise the development and is located to the east of the Regents Canal and to the west of the Camley Street through road.

The urban design of the development creates a private domestic enclave which is hidden from the wider Camden street-scape and has very little foot traffic.

The terrace is made of a contemporary red brick throughout with dark painted (or metal) windows and timber details such as the entrance canopies. (see figure 2). The pitched roof finish is a dark red Marley concrete roof tile which are typical of the period. These materials are consistent throughout the development.

The modern nature of the housing development means that it is not included within one of the Camden Conservation Areas.

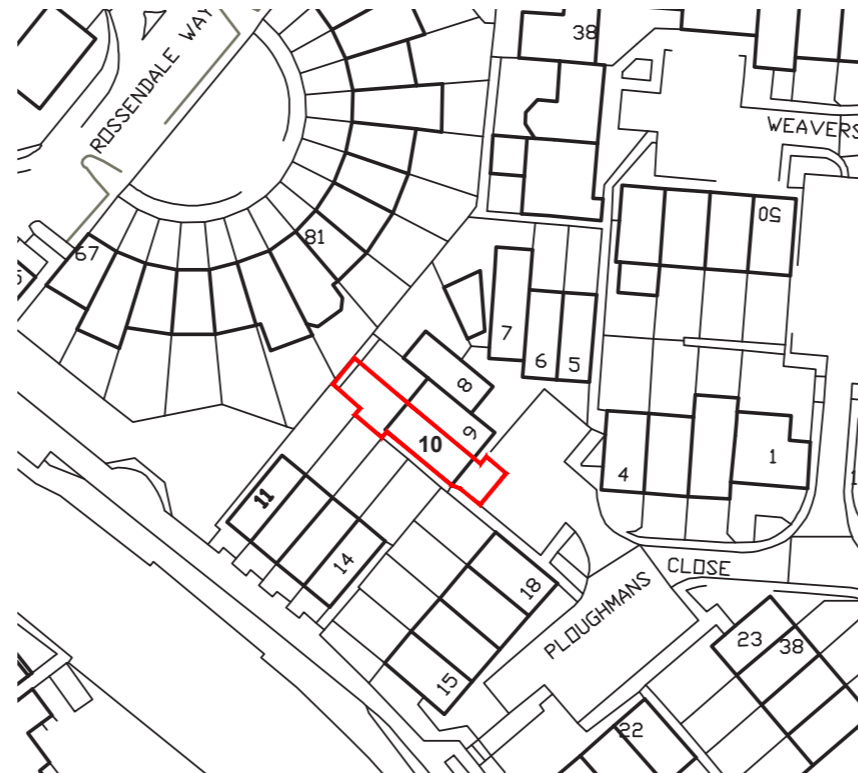


Fig.1 - Ordnance Survey location plan with application site outlined in red



Fig.2 - photograph of the terrace as viewed from Ploughmans Close

2 The Existing Dwelling

No.10 Ploughmans Close is a compact 2 bedroomed family house set over two floors. The house has a floor area of approximately 68 sqM which is below the current minimum standard for a 2 bedroom unit set over 2 floors (National technical housing standards). It is a freehold property owned by a young family with children.

The demands of a growing family and the need to work from home for part of the week have left the owners in desperate need of more space. Currently the home office area is incorporated into the bedroom and there is a lack of built-in accessible storage space.

The owners would like to make general improvements to the layout to more efficiently utilise the available space, provide good levels of accessible storage and a standalone office area / additional bedroom for the growing children.

To facilitate these improvements a roof extension is proposed to avoid encroaching into the valuable garden amenity space.



Fig. 3 - Aerial view of the application site as viewed from the west. (google maps 2019) No. 10 is outlined in red



Fig.4 - photograph of the rear of the terrace as viewed from the garden

3 The Proposed Design

No. 10 Ploughmans Close is a contemporary house which lends itself to a less traditional form of roof addition. The proposed extension is not treated as a dormer but instead the design responds specifically to the guidance given in section 4.10 of the Camden Planning Guidance - Altering and extending your home' SPD (March 2019) for contemporary buildings: 'other types of roof extension'. Consequently the revised design has been carefully considered and developed in relation to: The visual prominence, scale and bulk of the extension; quality of materials and details; impact on adjoining properties and the relationship between the existing and proposed built fabric:

Scale, bulk and massing

The proposed roof extension has been kept to the minimum floor area so that it is subordinate to the existing house and is situated at the rear of the property to have the least impact on the street scene and character of the surrounding context. Although it is proposed that the roof ridge is raised this is done in such a way that the proposed addition would barely be noticeable from the street and would not alter the perceived original form of the roof slope as the existing pitch is retained.

The shallow pitch of the existing roof is subtly extended to the rear and because of this shallow pitch and the large existing roof ridge ventilators along the terrace which already create variations in the ridge height it would be difficult to notice the addition at all from the street. The proposal would retain the original feel of the unbroken terrace of roofs. Please refer to the existing / proposed drawings in figures 5,6,7,9 and the photo-montage view of the proposed final appearance from Ploughmans Close in figure 10 on the following pages.

The proposed roof extension would provide an additional 17sqM of floor space bringing the overall GIA up to 85sqM allowing for a 10.8 sqM office space, 2 sqM of full height built in storage and some additional low level storage in the roof eaves. The modest addition will make the currently restricted house into a much more practical and future proofed family home.

Internally the height of the extension is restricted to the minimum height needed to meet the current head height requirements given in the National technical housing standards (2.3 metres).

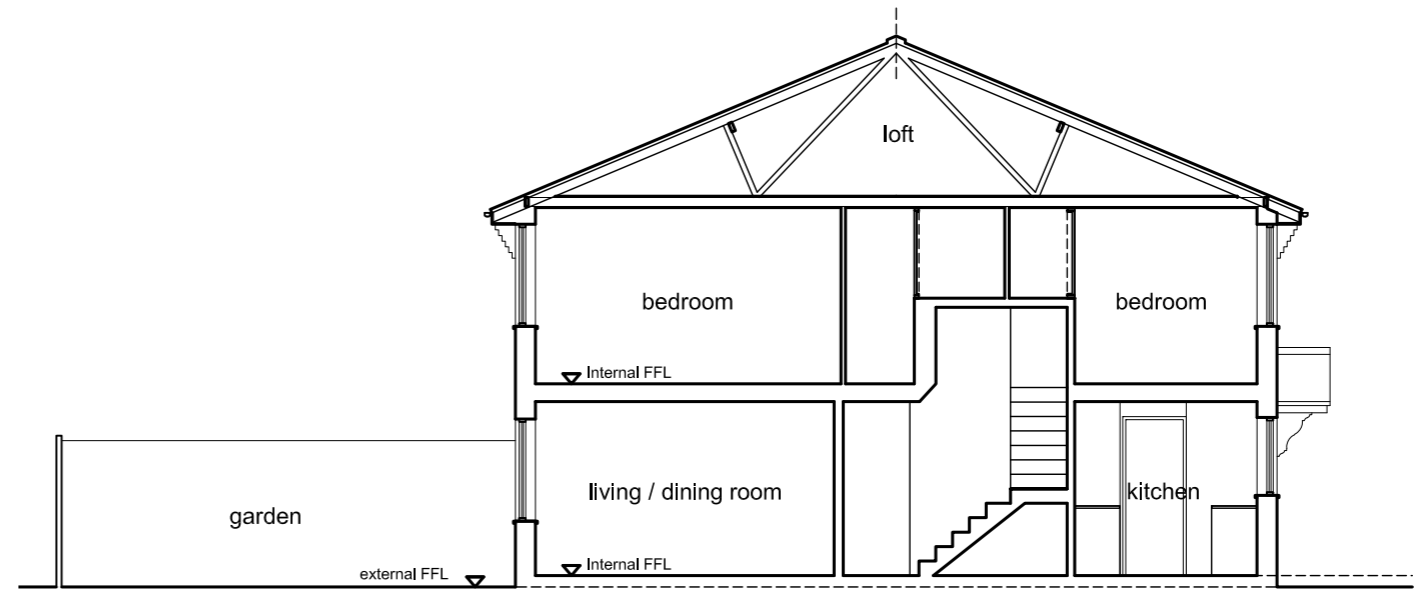


Fig. 5 - AS EXISTING SECTION

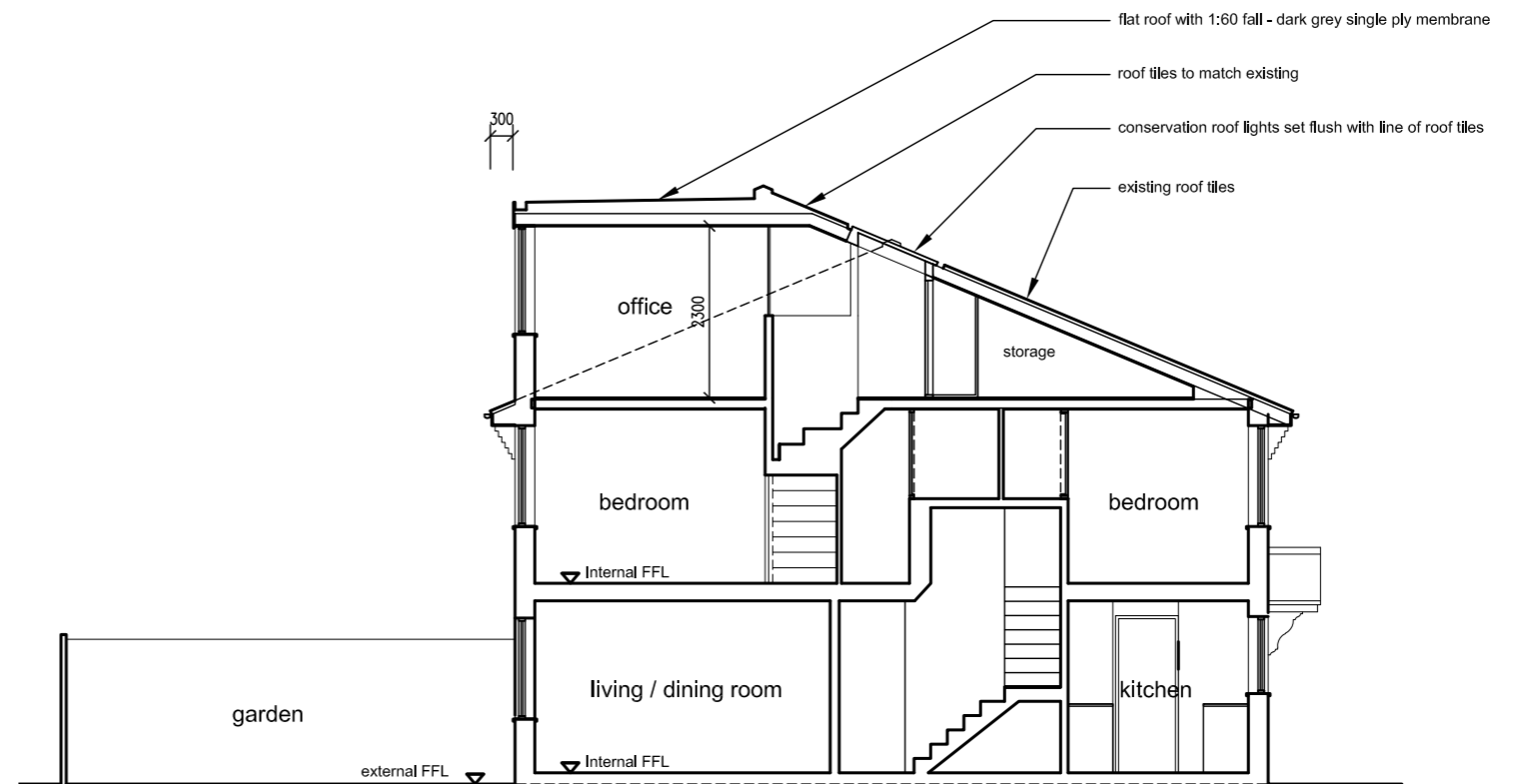


Fig. 6 - AS PROPOSED SECTION

Residential amenity of neighboring occupiers

The massing of the extension has been checked against the BRE guidance 'Site layout planning for day light and sun light – a guide to good practice' and guidance in the SPD to avoid impacting negatively on the daylight levels to the neighbouring properties.

Due to the distance from neighbouring properties and the set backs behind the eaves the extension does not encroach into any of the 45 degree lines of the neighbouring windows so will not create any loss of light issues.

The bulk of the extension is further reduced by the large glazed corner window and set backs from all of the roof edges. The additional massing is hidden to the rear of the house so it would not have any impact on the street scene.

Appearance and materials

The proposed roof addition is a high quality contemporary design using contrasting dark metal standing seam cladding which complements the existing red brickwork whilst receding into the background. (see figures 7,8, & 9 opposite).

All new windows and doors are high quality metal framed double glazed units with high standards of thermal insulation. The proportions and positioning of the proposed windows relate directly to those in the rear elevation of the existing house so as to unite the existing and new elements creating a balanced final composition. The proposed addition is a sympathetic contemporary response to the existing building

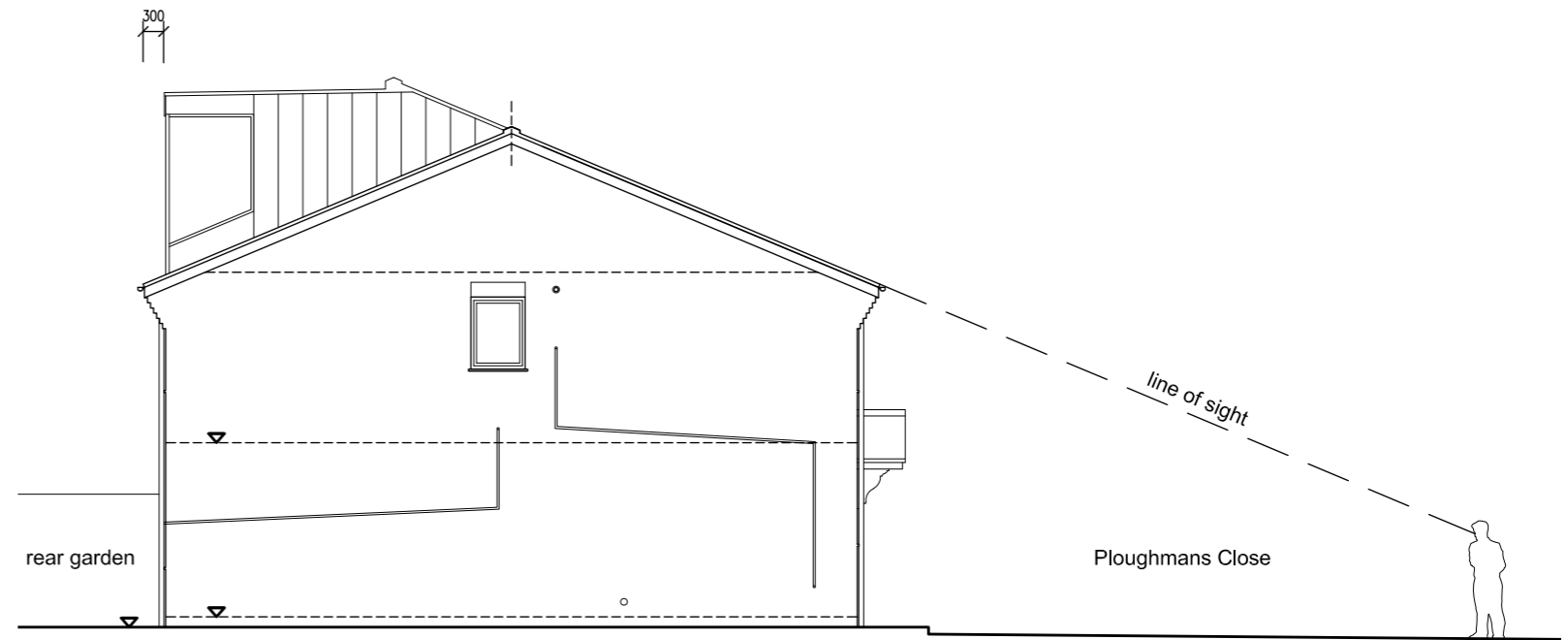


Fig. 7 - AS PROPOSED SIDE ELEVATION AND STREET SECTION DIAGRAM
Demonstrating how the roof extension will be practically concealed from view from Ploughmans Close



Fig.8 - An example of the type of dark metal standing seam cladding proposed to the walls and roof of the extension.



Fig.9 - The proposed perspective view from Ploughmans Close showing how the roof extension has negligible impact on the appearance of the house from the street and on the street scene in general. Due to the shallow pitch of the roofs and the large existing roof ridge ventilators remaining on No.s 8 and 9 it would be difficult to tell that the ridge of No. 10 had been raised at all.

5 Sustainability and Access

The proposed roof extension will have the following sustainable features which will vastly increase the level of amenity compared with the current situation

- Very high levels of roof and wall insulation to reduce heat loss and the demand on energy intensive heating.
- Hi-tech double glazed windows and roof lights with very high thermal and acoustic performance to achieve low u-values and exceed building regulations where possible.
- Low energy lighting
- Use of local building materials, suppliers and local builders
- All timber used to be sustainably sourced.

The new staircase and corridor will be designed to comply with all Part M Building Regulation requirements to ensure good accessibility arrangements.

6 Conclusion

The proposed roof extension is a high quality design which has been developed to respond to and enhance the existing site's characteristics following the guidance set out in the 'Camden Planning Guidance - Altering and extending your home' (March 2019) and the other relevant Camden Planning Guidance documents such as 'CPG - Design' (March 2019) and 'CPG -Amenity 'SPG' (March 2018)

The proposals will significantly improve the current layout, providing the additional requirements needed to function as a modern family home within the space available. The additional floor space will allow the current owners to continue living in their house and the community as their lives evolve.

The contemporary yet contextual design is sympathetic to the setting of this very modern terrace and the character, massing and materials of the surrounding context.

Due to the shallow pitch of the existing roof and the carefully designed concealed massing of the proposed extension it would

barely be noticeable from the street so will have negligible impact on the surrounding street-scape

The proposed extension would not have an adverse impact on the amenity of the neighbouring properties as the massing has been designed to avoid a negative additional impact on daylight / sunlight levels, sense of enclosure or overlooking.

'Upward extensions' are increasingly being viewed as a sustainable means of dealing with London's increasing housing needs for example with the GLA's 'Consultation on upward extensions in London' (Mayor of London 2016) - and we understand that this application will be assessed with this in mind.

I trust that this statement together with the full application drawings have given you all of the detailed information that you need to assess the application, however we would welcome a dialogue on any of the detailed issues should you require further information or clarification as part of the assessment process.

Extension practically concealed from the street

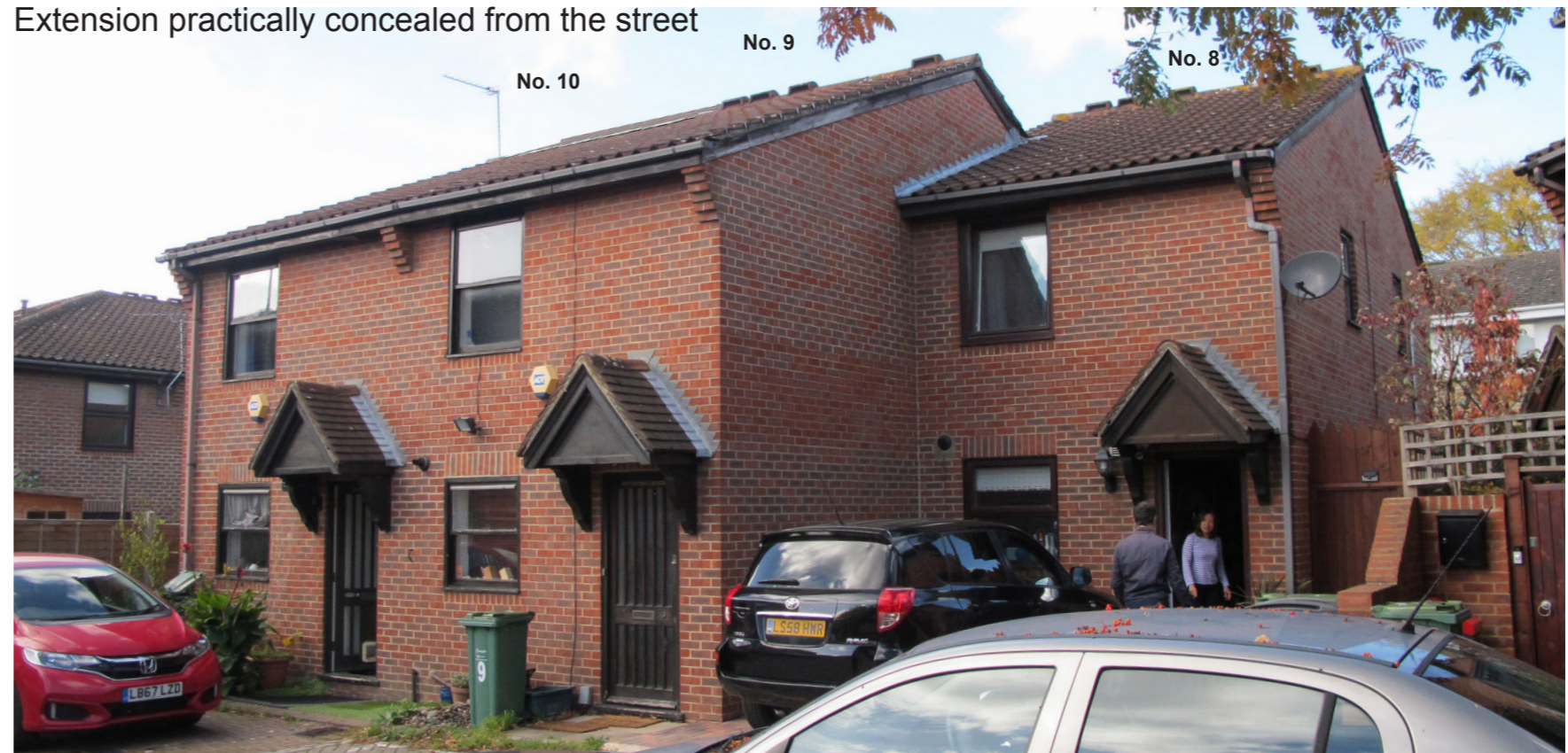


Fig.10 - Photomontage of the proposed roof extension as viewed from Ploughmans Close which demonstrates how the massing of the extension is practically concealed from view so would have negligible impact on the appearance of the existing terrace and the street scene in general. No. 10 Ploughmans Close is the house furthest to the left in the terrace of 3.