

07.11.2019

Please see below the response prepared on behalf of the applicant to comments received for application 2019/3818/L on 27/10/2019, 12:49:29.

External appearance:

"The proposed bronze roof and windows are considerably less appropriate than the previously consented slate roof and timber framed windows"

The applicant worked carefully with the Local Authority at pre-application stage to create a design that was more sympathetic to the character of the mews. The use of slate and timber was considered but it was agreed that they were less appropriate to the historical-industrial setting than the chosen materials.

Overlooking:

"The proposed amendments... will severely overlook both the internal room and external amenity spaces of 2 Fitzroy Square at very short distances and from above."

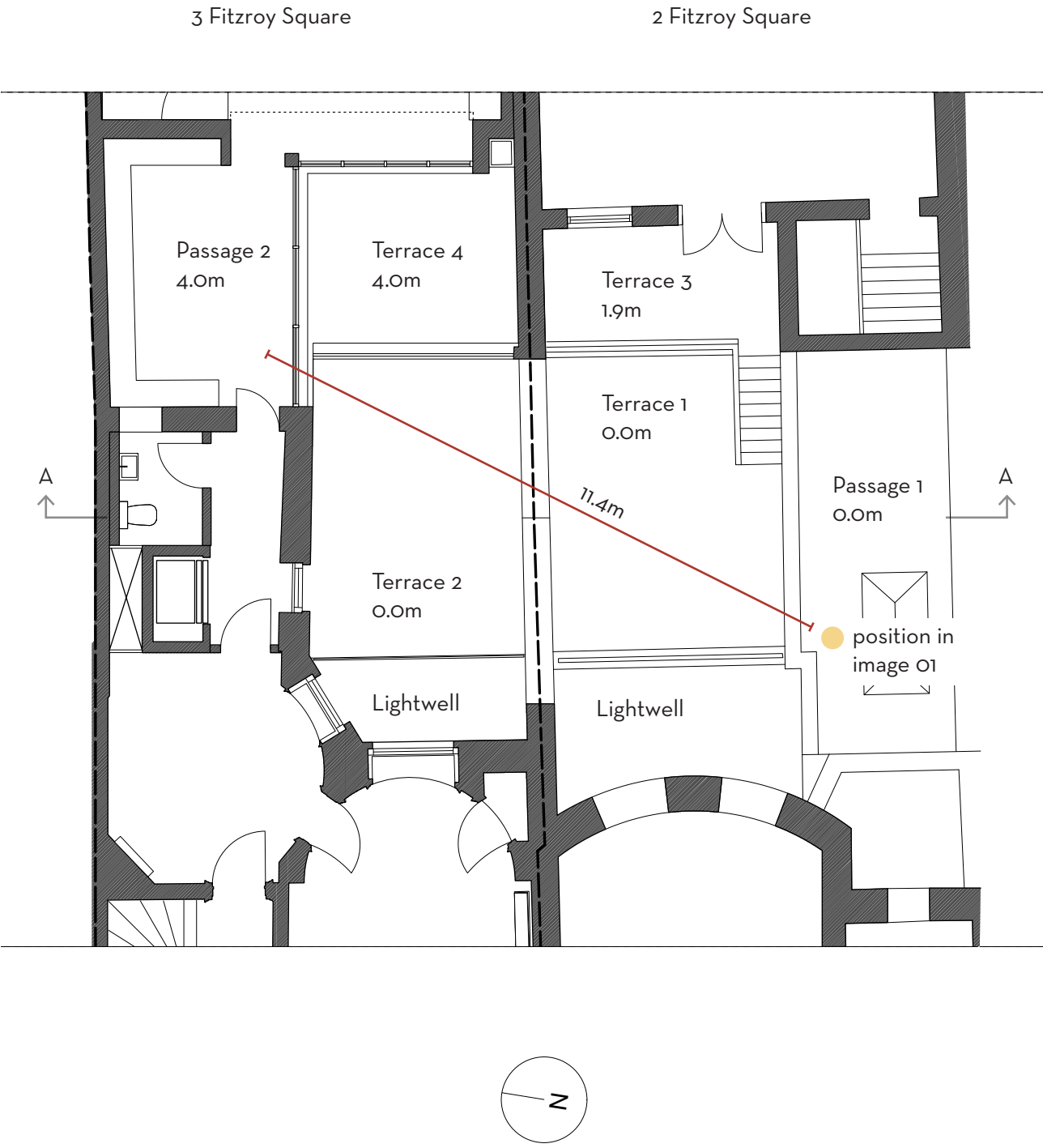
The proposed walkway is 11.4m from the viewer's position in image 01, the viewer's position is within a corridor space, the proposed walkway will also primarily be used as a circulation space and the proposed walkway does not directly face any of the neighbouring windows to habitable rooms (see plan 01 below).

The distance between windows is almost equivalent to the width of Grafton Mews and was therefore not considered to be a short distance. The spaces are both primarily circulation spaces. The windows are not directly facing and are not on the same level which means there is no obvious relationship between them.

Due to the relatively constricted character of the terrace, some overlooking into circulation spaces at tolerable distances and oblique angles occur regularly along Fitzroy Square. A local precedent is the new glazed kitchen wing at number 33 (currently under construction) overlooking the glazed walkways of number 34-35 (cited on page 27 on the Heritage, Design and Access Statement).

"...this newly proposed extension significantly increases the overlooking of our property and blocks virtually all of the sky that can be seen in the right-hand picture."

The proposed walkway will not have any impact on the visible sky from the position indicated (in image 01). Parapet 1 behind is significantly higher than the proposed walkway and will remain the primary obstruction to the visible sky from this position.



Plan 01
First floor detail of no. 2 and 3 Fitzroy Square



Parapet 1
The proposed walkway
will sit beneath this
parapet level

Image O1
View from ground floor of no.2
Fitzroy Square



Image O2
View of terrace 3 from the ground
floor window of 3 Fitzroy Square

Daylight:

"The scale and bulk of the proposed scheme and amendments will impact the availability of daylight to several rooms..."

3 Fitzroy Square lies due North of number 2 Fitzroy Square and as such the walkway will not impact the neighbouring property's available sunlight.

The proposed walkway will not have any impact on the visible sky from the position indicated (in image 01). Parapet 1 behind is significantly higher than the proposed walkway and will remain the primary obstruction to the visible sky from this position.

Use of Living Spaces:

"...in the plans for no. 3 consented in 2012, the kitchen was in the ground floor of the mews building, with direct access onto the garden terrace and to a dining area at the side.... The decision to change the layout and to put the kitchen/diner in the first floor of the mews is what has caused the 'problem'"

The consented scheme was closely discussed with the local authority and the proposal was considered to be the best balance between conservation of the original house and relationship with the existing spaces.

The consented kitchen position required a portion of the historic building to be removed and was partially positioned within the historic house which was deemed to have an avoidable impact on the historic fabric. The revised position ensures the heavily serviced areas are kept out of the historic house completely and helps to create a better relationship with the existing building.

"In no 2 Fitzroy Square we have the kitchen in the upper floor of the mews house and find it easy to get from the first floor mews kitchen to the piano nobile by going via the ground floor link..."

The kitchen/dining room of number 2 Fitzroy Square is larger and lower than the proposal at no. 3 Fitzroy square. The distance to the Piano Nobile is shorter and the generous size reduces the requirement for a living space within easy reach of the kitchen.

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