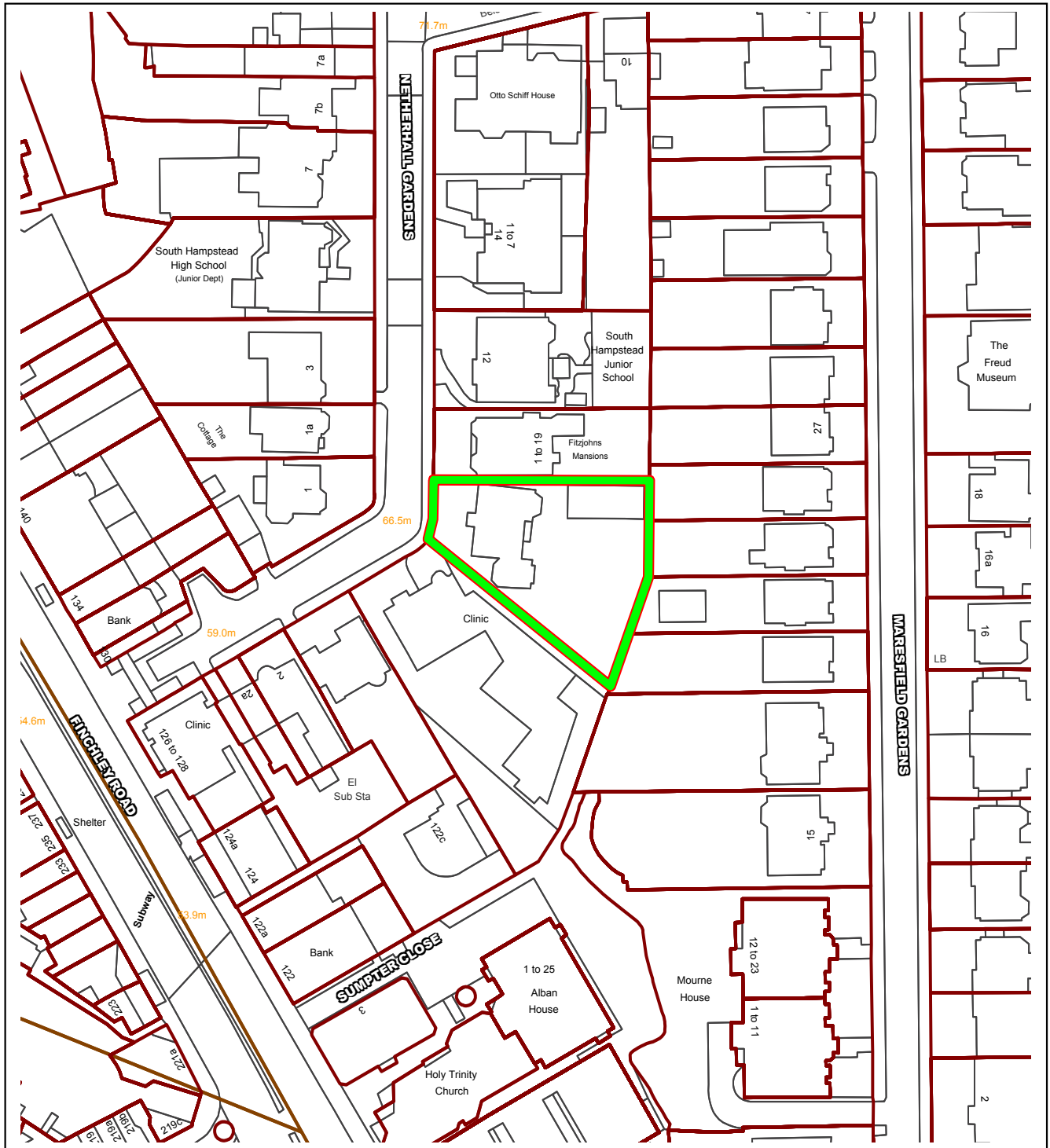


2019/4160/P - North Bridge House Pre Preparatory School, 8 Netherhall Gardens, NW3 5RR



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Site Photographs - 2019/4160/P - North Bridge House School, 8 Netherhall Gardens, NW3 5RR



1) Aerial image of site including playground and outbuilding



2) Existing outbuilding



3) Existing play equipment



4) Existing play equipment to boundary with no. 23 Maresfield Gardens

Delegated Report (Members Briefing)		Analysis sheet	Expiry Date:	08/10/2019
		N/A	Consultation Expiry Date:	07/10/2019
Officer			Application Number(s)	
Thomas Sild			2019/4160/P	
Application Address			Drawing Numbers	
North Bridge House School 8 Netherhall Gardens London NW3 5RR			See draft decision notice	
PO 3/4	Area Team Signature	C&UD	Authorised Officer Signature	
Proposal(s)				
Erection of canopy structure to school outbuilding; Replacement of existing playground and equipment.				
Recommendation(s):		Grant conditional planning permission		
Application Types:		Full Planning Permission		

Conditions or Reasons for Refusal:	Refer to Draft Decision Notice			
Informatives:				
Consultations				
Adjoining Occupiers:	No. of responses	0	No. of objections	1
Summary of consultation responses:	<p>Site notice displayed: 13/09/2019 (consultation expiry date 07/10/2019) Press notice printed: 12/09/2019 (consultation expiry date 06/10/2019)</p> <p>One objection was received (from an anonymous address) on the following grounds:</p> <ul style="list-style-type: none">Concerned that the play area is close to rear boundary of no. 21 Maresfield Gardens which could allow children to see or climb over. The play area should be repositioned. <p><u>Officer response:</u></p> <p><i>The proposed play equipment would be sited a minimum 3.6m away from the closet boundary (with no. 23 Maresfield Gardens), in a similar position to that existing. The distance to the closest residential occupants would remain circa 25m. As such, the replacement play equipment would not result in an unacceptable change to the existing situation in respect to overlooking.</i></p>			
Hampstead Conservation Area Advisory Committee (CAAC)	<p>The Hampstead CAAC submitted comments and objection in response to the original plans, as follows:</p> <ol style="list-style-type: none">1. Planning statement is of limited relevance2. Roof should be plain fire-rated Lexan polycarbonate framed as necessary not the cellular type often used for small roofs3. Sound system is a concern and should be controlled4. All non-soft landscaping should be permeable to rainwater5. Height of play installations should not appear obtrusive in the immediate local area <p><u>Officer response:</u></p> <p><i>The proposed roof would not be visible to the street, and the specific variety of polycarbonate roofing would not be easily discernible to the surroundings given its siting at some distance from neighbouring occupants. The existing outbuilding is of functional appearance and the proposed roof is considered in keeping with the existing appearance.</i></p> <p><i>The 'sound centre' indicated on the plans is children's play equipment and it is accepted that its use would be during school opening times. There is to be no increase to the existing area of playground hardstanding, and as such to change to water run off would result from these proposals.</i></p> <p><i>The play equipment would not be visible to the street, and the 0.5m maximum increase in height, compared to existing, would not significantly impact the character of the site nor surroundings.</i></p>			

Site Description

The proposal site consists of a main 4-storey 19th Century building with a modern single storey dining room outbuilding, developed circa 2009 to the rear, with surrounding playground space. The site is located within Fitzjohns Netherhall Conservation Area

Relevant History

2009/3562/P - Erection of single storey dining hall building within the grounds of the existing school (Class D1) (following demolition of existing classroom building) - **Granted 17/11/2009**.

Relevant policies

National Planning Policy Framework 2019

London Plan 2016

Camden Plan 2017

A1 Managing the impact of development

D1 Design

D2 Heritage

Other Planning Policies / Guidance

CPG Altering and extending your home (2019)

CPG Design (2019)

Fitzjohns/Netherhall Conservation Area statement (2001)

Assessment

1. Proposal

- 1.1. Planning permission is sought for the erection of a max 2.6m high timber framed canopy shelter along the south and west elevations of the dining room outbuilding. In addition proposals include the installation of replacement play equipment (max 3.5m high) and the replacement of the existing playground hardstanding.

2. Assessment

Design and heritage

- 2.1. Local Plan policy D1 seeks to achieve high quality design in all developments. Policy D1 requires development to be of the highest architectural and urban design quality, which improves the function, appearance and character of the area. Through Local Plan policy D2, the Council will seek to preserve and, where appropriate, enhance Camden's heritage assets and their settings, including conservation areas and listed buildings.
- 2.2. The canopy structure would be a maximum 2.6m high and attached to two sides of the modern dining room outbuilding, projecting 4m out into the playground and 1.5m to the side towards the main school building. The structure would not rise above the existing height of the outbuilding and would remain subordinate in scale and extent. The outbuilding is a flat roofed structure of functional appearance, and the addition of the canopy structure is considered appropriate in this context and would not result in harm to the outbuilding's character or appearance, nor that of the main school building.
- 2.3. The canopy would not be visible from the street, and would have only limited visibility to

surroundings at the rear from high levels.

- 2.4. The proposed play equipment would replace comparable structures and the replacement of the playground surface would not result in any significant change to the site's existing character nor appearance.
- 2.5. Special regard has been attached to the desirability of preserving or enhancing the conservation area, under s.72 of the Planning (Listed Buildings and Conservation Areas) Act 1990 as amended by the Enterprise and Regulatory Reform Act 2013.

Neighbour amenity

- 2.6. Policy A1 seeks to protect the amenity of Camden's residents by ensuring the impact of development is fully considered. It seeks to ensure that development protects the quality of life of occupiers and neighbours by only granting permission for development that would not harm the amenity of neighbouring residents. This includes privacy, overlooking, outlook and implications on daylight and sunlight.
- 2.7. The closest residential properties to the proposed canopy are at 10 Netherhall Gardens. The proposed 2.6m structure would be separated by a distance of 2m to the boundary, and below the height of the existing school outbuilding. Properties on Maresfield Gardens are sited approx. 25m distant. Overall the scale and siting of the proposals would not result in impact to neighbour amenity by way loss of daylight or outlook.
- 2.8. The school playground has existing play equipment in situ. The replacement equipment would sit in a similar siting closest to the garden boundary with no. 23 Maresfield Gardens, but would retain a separation gap of 3.6m. The closest rear windows would sit approx. 25m distant and as such there is considered not to unacceptably impact on the privacy of this property or others in the vicinity.

3. Recommendation

Grant conditional planning permission

The decision to refer an application to Planning Committee lies with the Director of Regeneration and Planning. Following the Members Briefing panel on Monday 18th November 2019, nominated members will advise whether they consider this application should be reported to the Planning Committee. For further information, please go to www.camden.gov.uk and search for 'Members Briefing'.

Application ref: 2019/4160/P
Contact: Thomas Sild
Tel: 020 7974 3686
Date: 13 November 2019

Development Management
Regeneration and Planning
London Borough of Camden
Town Hall
Judd Street
London
WC1H 9JE

Phone: 020 7974 4444

planning@camden.gov.uk
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Macdonald Planning Consultancy
Kintail
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PH22 1QU
United Kingdom

DRAFT

Dear Sir/Madam

DECISION

Town and Country Planning Act 1990 (as amended)

Full Planning Permission Granted

Address:

North Bridge House Pre Preparatory School
8 Netherhall Gardens
London
NW3 5RR

DECISION

Proposal:

Erection of canopy structure to school outbuilding; Replacement of existing playground and equipment

Drawing Nos: Site Location Plan 8319-HBA-DR-A-LOC01; P01; P02; SK10

The Council has considered your application and decided to grant permission subject to the following condition(s):

Condition(s) and Reason(s):

- 1 The development hereby permitted must be begun not later than the end of three years from the date of this permission.

Reason: In order to comply with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended).

- 2 All new external work shall be carried out in materials that resemble, as closely as possible, in colour and texture those of the existing building, unless otherwise specified in the approved application.

Reason: To safeguard the appearance of the premises and the character of the immediate area in accordance with the requirements of policy D1 and D2 of the London Borough of Camden Local Plan 2017.

- 3 The development hereby permitted shall be carried out in accordance with the following approved plans: Site Location Plan 8319-HBA-DR-A-LOC01; P01; P02; SK10

Reason:

For the avoidance of doubt and in the interest of proper planning.

Informative(s):

- 1 Your proposals may be subject to control under the Building Regulations and/or the London Buildings Acts that cover aspects including fire and emergency escape, access and facilities for people with disabilities and sound insulation between dwellings. You are advised to consult the Council's Building Control Service, Camden Town Hall, Judd St, Kings Cross, London NW1 2QS (tel: 020-7974 6941).
- 2 All works should be conducted in accordance with the Camden Minimum Requirements - a copy is available on the Council's website at <https://beta.camden.gov.uk/documents/20142/1269042/Camden+Minimum+Requirements+%281%29.pdf/bb2cd0a2-88b1-aa6d-61f9-525ca0f71319> or contact the Council's Noise and Licensing Enforcement Team, 5 Pancras Square c/o Town Hall, Judd Street London WC1H 9JE (Tel. No. 020 7974 4444)

Noise from demolition and construction works is subject to control under the Control of Pollution Act 1974. You must carry out any building works that can be heard at the boundary of the site only between 08.00 and 18.00 hours Monday to Friday and 08.00 to 13.00 on Saturday and not at all on Sundays and Public Holidays. You must secure the approval of the Council's Noise and Licensing Enforcement Team prior to undertaking such activities outside these hours.

- 3 This approval does not authorise the use of the public highway. Any requirement to use the public highway, such as for hoardings, temporary road closures and suspension of parking bays, will be subject to approval of relevant licence from the Council's Streetworks Authorisations & Compliance Team London Borough of Camden 5 Pancras Square c/o Town Hall, Judd Street London WC1H 9JE (Tel. No 020 7974 4444) . Licences and authorisations need to be sought in advance of proposed works. Where development is subject to a Construction Management Plan (through a requirement in a S106 agreement), no licence or authorisation will be granted until the Construction Management Plan is approved by the Council.

In dealing with the application, the Council has sought to work with the applicant in a positive and proactive way in accordance with paragraph 38 of the National Planning Policy Framework 2019.

You can find advice about your rights of appeal at:

Yours faithfully

Director of Regeneration and Planning

DRAFT

DECISION