

# DESIGN AND ACCESS STATEMENT

In support of a Planning Application in respect of

Minor alterations to the existing roof including the installation of a glazed balustrade at roof level to provide communal roof garden external amenity space for the existing residential flats together with the extension of the existing side dormer and installation of glazed access rooflight to provide access to the new roof garden.

at

**8 FROGNAL LANE,  
LONDON, NW3 7DU**

November 2019

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## 8 FROGNAL LANE, LONDON NW3 7DU

### 1. Associated Documents

This Design and Access Statement should be read in conjunction with the following documents:

Existing Site Plans	7395 / 110
Existing Sections and Elevations	7395 / 111
Proposed Site Plans	7395 / 112
Proposed Sections and Elevations	7395 / 113

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## 2. Location

The property is located in Hampstead in the London Borough of Camden and is located in the Redington and Frognal Conservation Area. The residence is located in a predominantly residential road, characterised by four storey late Victorian styled semi-detached houses. The property is well served by most amenities including the underground, bus routes, parks and neighbourhood shopping, all of which are within convenient walking distance.



Photo A: North View



Photo B: East View



Photo C: South View



Photo D: West View

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### 2. Location (Contd)

Site Location Plan

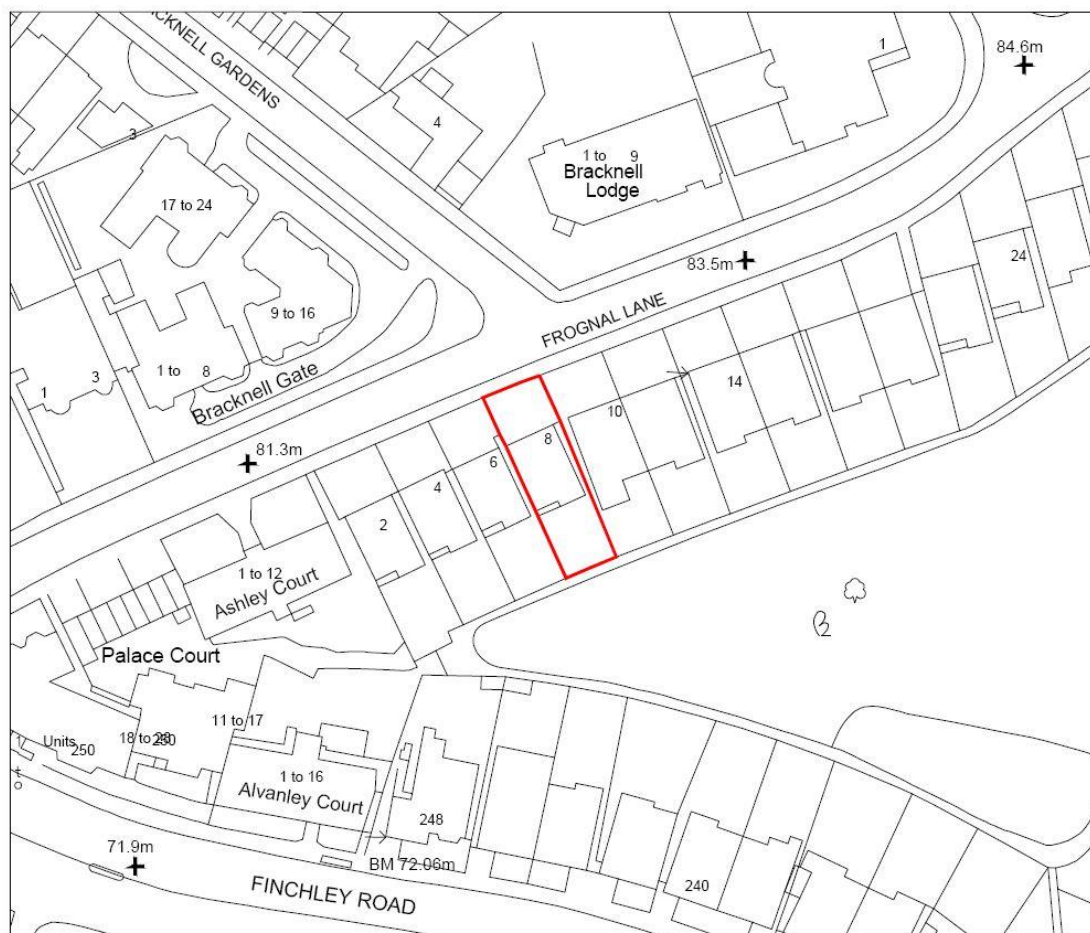


Figure 1 - Site Location Plan with application site circled in red (not to scale)

### 3. Use

The property is presently divided into four flats, one on each level of the building. Access to the lower ground floor flat is currently down a flight of steps and to the side of the property. The accommodation provided on ground, first and second floors levels are accessed of a common circulation access staircase.

There is no alteration proposed in respect of the use. The introduction of roof level garden will provide a much improved amenity to the occupiers of the existing residential units and will greatly improve the standard of the accommodation provided.. The flats that occupy the first and second floor of the building currently have no private external amenity area.

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### 4. Proposal

The proposals applied for under this application relate to alterations at roof level in order to create a communal roof garden amenity space for the use of the existing flats together with extending the existing side dormer and common access stair and the installation of a glazed access roof light to provide access to the new roof garden.

A simple glazed balustrade is proposed to form the necessary guard rail, which will be set back from the ridge line and line of the rear elevation in order to reduce the visibility of this element from street level and to preserve the privacy of the existing residents and surrounding properties.

There are no internal alterations proposed in relation to the existing flats.



Fig.2 Extract from drawing 7395/ 113 Proposed Front Elevation

### 5. Amount

The proposals and materials selected have been carefully considered in order to reduce the visual impact as far as possible. The balustrade will not be visible from street level owing to the set back and existing ridge height in relation to the proposed external finished floor level on the terrace.

The side dormer will be extended up to the height of the external terrace floor level, but the height of the dormer has been restricted as far as possible by utilising a glazed access rooflight which opens to form the enclosure. Whilst the adjacent building (no. 6 Frognal Lane) has not been developed at



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roof level, it should be noted that there are some substantial plant located on the roof which is clearly visible from street level. The proposals forwarded under this application will not be as intrusive on the street scene as the installations at the adjacent property. In addition, no. 10 Frognal Lane is substantially higher than the application building. No. 8 will remain substantially lower than the existing ridge line of no. 10.

There are a number of similar developments in the immediate area that establish a precedent for improvements such as this.

The roofs at no. 12 and 16 Frognal Lane have been developed to provide additional accommodation.



Fig.4 - Birds eye view illustrating roof level development at no. 12 and no. 16 Frognal Lane.

6. Layout

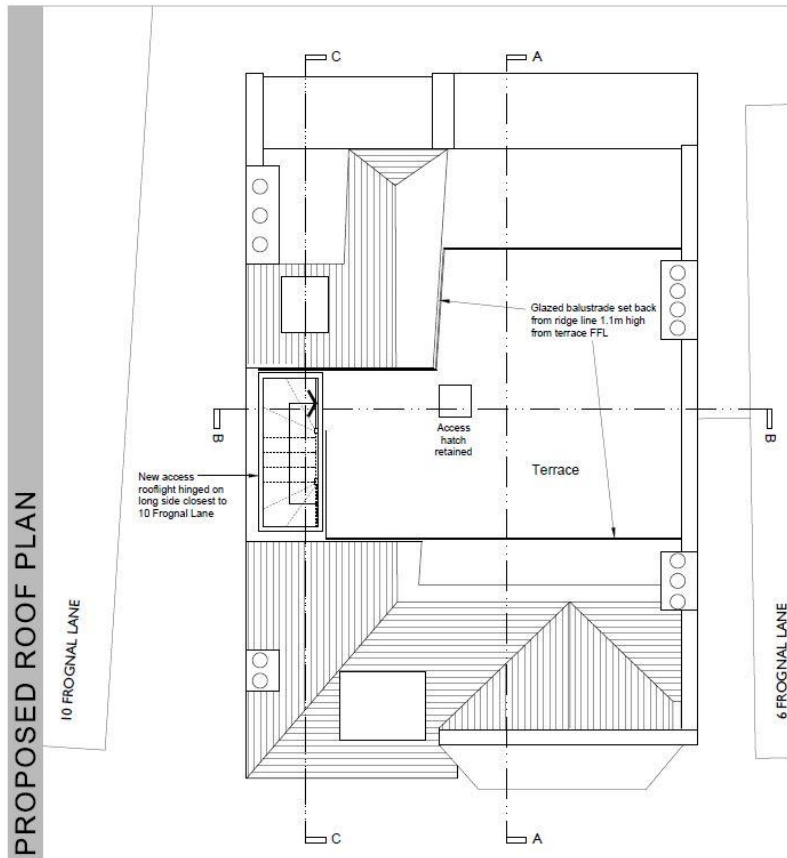


Fig.3. Extract from drawing 7395/ 114 Proposed third floor Plan

The existing access arrangements to the property will be retained and the common stairwell extended up to serve the new garden area. The glazed access rooflight will open on the long side adjacent to no. 10 Frognal Lane to provide the guardrail around the stair when its in the open position.

The proposals will create 35.6 sqm of communal external amenity space at roof level for the enjoyment of the existing residential units.

7. Scale and Impact

As the site for the proposed development is in a conservation area, the alterations proposed that are visible on the front elevation have been designed to be as minimal as possible and inkeeping with the character of the surrounding properties and conservation area.

The rear elevation and roof garden are in keeping with other existing development in the conservation area and will not be visible from the street. The design has no detrimental impact of daylight and sunlight loss to surrounding properties.



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The proposed construction works will be carried out within the following restricted times; weekdays 8am to 6pm, Saturdays 8am to 1pm and not at all on Sundays and Bank Holidays. The works will be carried out in accordance with the provisions of the current Building Regulations and in accordance with the requirements of the Construction (Design and Management) Regulations 2007 and Sections 60 and 61 of the Control of Pollution Act 1974.

The proposals are not sufficiently invasive to cause a flood risk, nor to impact on aviation, TV and radio reception, provide a microclimate or affect transport or air quality. In addition, there is no evidence of any bats, badgers, slowworms nor other endangered species on the existing site.

### 8. Landscaping

No alterations are proposed to the existing arrangements in terms of landscaping as this application relates to the creation of a garden amenity space at roof level only.

### 9. Materials and Appearance

The materials have been selected to be reflective of the existing building and surrounding properties and to be sympathetic to the character and style of the conservation area.

The side dormer will be formed of red brickwork to match the existing building and other surrounding properties.

The proposed balustrade and guardrail enclosing the roof garden will be toughened and clear glazed in order to reduce visibility from street level.

### 10. Access

The lower ground floor flat is accessed down a flight of steps and to the side of the property. The ground, first and second floor flats are all accessed from a common access stair.

It is proposed that the existing common access stair and side dormer that houses it is extended and minor alterations made to the stair arrangement at second floor level to enable access to the proposed new garden area at roof level via a glazed access rooflight from the same communal stair that serves the other properties.

There is no vehicular access.

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The logo for MDC, consisting of the letters 'MDC' in white, bold, sans-serif font, centered within a solid orange square.

### 11. Sustainability

The completed development will comply with current Building Regulations and will be constructed using responsibly sourced materials wherever feasible.