

DESIGN AND ACCESS STATEMENT

In support of a Planning Application in respect of

Erection of a roof extension to create 1x2-bed
(3 person) flat with terrace at 3rd floor level
(Class C3) together with extending the existing
side dormer to provide access to the new
dwelling.

at

**8 FROGNAL LANE,
LONDON, NW3 7DU**

November 2019

8 FROGNAL LANE, LONDON NW3 7DU

The logo for MDC, consisting of the letters 'MDC' in white, bold, sans-serif font, centered within an orange square.

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1. Associated Documents

This Design and Access Statement should be read in conjunction with the following documents:

Existing Site Plans	7395 / 110
Existing Sections and Elevations	7395 / 111
Proposed Site Plans	7395 / 114
Proposed Sections and Elevations	7395 / 115

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2. Location

The property is located in Hampstead in the London Borough of Camden and is located in the Redington and Frognal Conservation Area. The residence is located in a predominantly residential road, characterised by four storey late Victorian styled semi-detached houses. The property is well served by most amenities including the underground, bus routes, parks and neighbourhood shopping, all of which are within convenient walking distance.



Photo A: North View



Photo B: East View

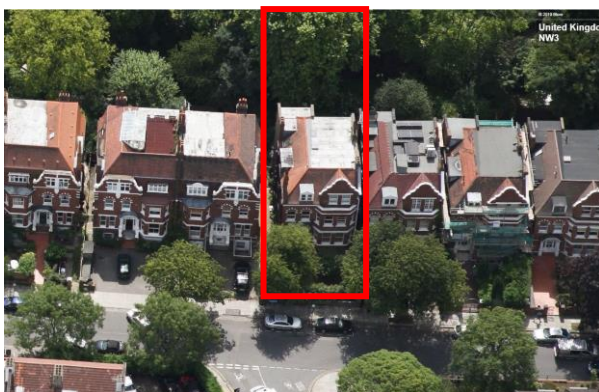


Photo C: South View



Photo D: West View

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2. Location (Contd)

Site Location Plan

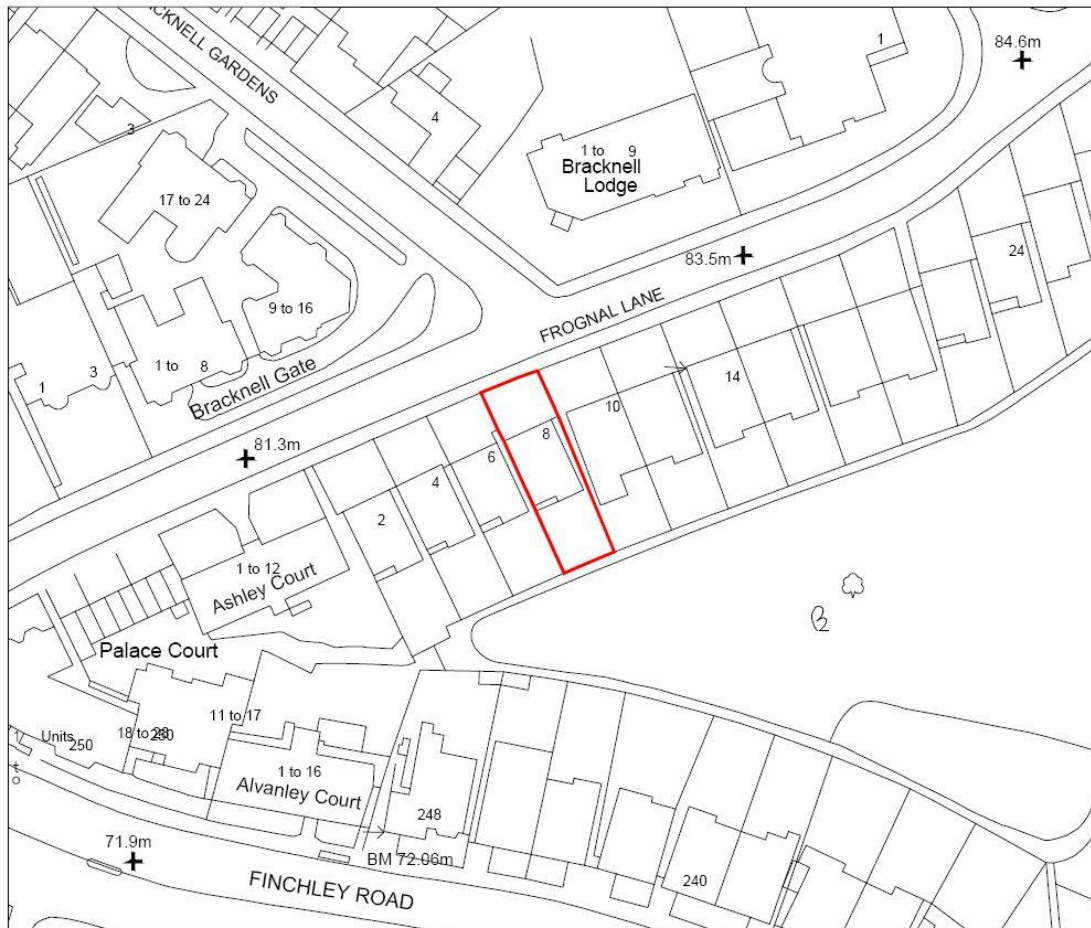


Figure 1 - Site Location Plan with application site circled in red (not to scale)

3. Use

The property is presently divided into four flats, one on each level of the building. Access to the lower ground floor flat is currently down a flight of steps and to the side of the property. The accommodation provided on ground, first and second floors levels are accessed of a common circulation access staircase.

The proposals applied for under this application relate to the erection of a roof extension to create one 2-bed (3 person) flat with terrace at third floor level (Class C3) together with extending the existing side dormer and common access stair to provide access to the new dwelling. There are no internal alterations proposed in relation to the existing flats.

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A small terrace is proposed on the rear elevation to provide private amenity space for the proposed new dwelling.

The surrounding area is predominantly residential therefore the residential use is already well established demonstrating that the type development is appropriate for this location.

4. Proposal

It is proposed to erect a roof extension at third floor level, imitating the double mansard roof at the adjacent property, no. 10 Frognal Lane, to provide a residential unit at third floor level accessed of the communal staircase that serves the existing flats.

That residential unit proposed will offer high quality living accommodation and is proposed as a two bedroom, three person unit with open plan kitchen, dining and living areas and full bathroom. Bi-fold doors are proposed out to a modest private external terrace on the rear elevation. The gross internal area of the proposed unit is 63.4 SQM in accordance with the draft new London Plan space standards. The proposed floor to ceiling height throughout the main body of the unit is 2.4m.

The alterations and extension proposed at the property would provide additional high quality living accommodation in accordance with national and local planning policies and local demand for this type of accommodation.



Fig.2 Extract from drawing 7395/ 115 Proposed Front Elevation

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5. Amount

The proposed heights of the development were determined by the existing structure of no. 8 Frognal Lane and relate to the neighbouring property at no. 10 Frognal Lane.

Whilst no. 8 Frognal Lane is one of four identical buildings, the neighbouring property, no. 10 Frognal Lane is significantly taller and the proposed roof form has been designed to reflect the massing of no.10 in order to create an elevation that is harmonious with the surrounding properties and in keeping with the character of the conservation area. The roof extension has been designed to be of a traditional style that is prominent in the area, where larger roof forms and this kind of massing are typical.

There are a number of similar developments in the immediate area that establish a precedent for roof extensions such as this. Development at nos. 7 and 9 Langland Gardens is of particular relevance as the two of the properties have been extended that were originally part of a set of four similar properties, very much like the development proposed under this application. Permission was granted under application reference 8400600.



Fig.3 - 3, 5 7 and 9 Langland Gardens.

The roofs at no. 12 and 16 Frognal Lane have also been developed with the front elevations being in a similar style to the proposals forwarded under this application. No windows are proposed on the front elevation and the additional accommodation provided will be hardly visible from street level.

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Fig.4 - Birds eye view illustrating roof level development at no. 12 and no. 16 Frognal Lane.

6. Layout

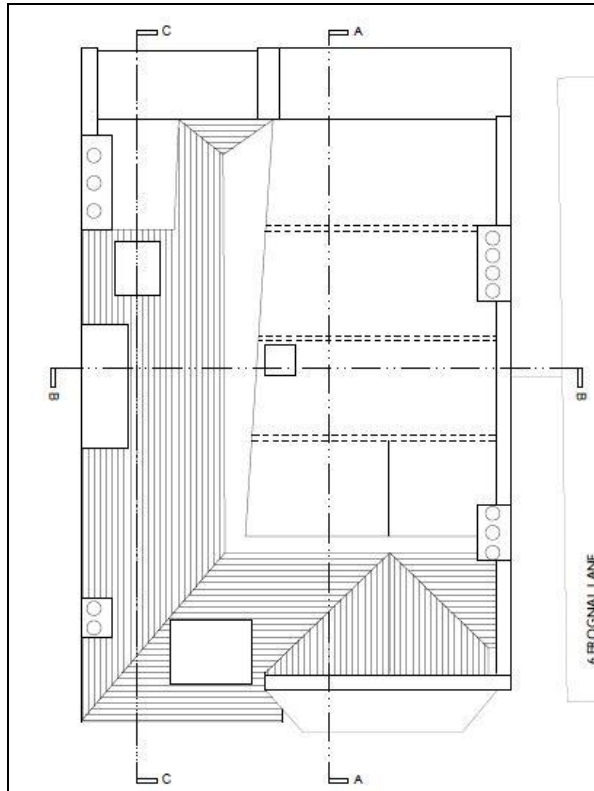


Fig.2 Extract from drawing 7395/ 110 Existing roof Plan

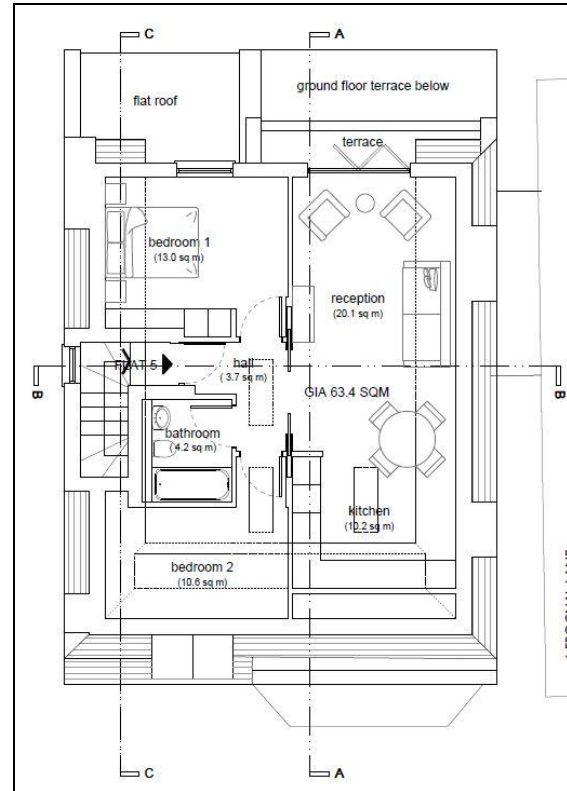


Fig.3. Extract from drawing 7395/ 114 Proposed third floor Plan

The existing access arrangements to the property will be retained and the common stairwell extended up to serve the new unit. The entrance door to the unit is at the top of the communal access stairwell and opens into a hall that is served by a flat rooflight to supply natural daylight to this space.

The bedroom will be positioned to the rear of the residence, to make use of the window on the rear elevation. The second single bedroom is biased towards the front of the property and will be served by a rooflight to provide natural daylight and ventilation in order that the front elevation is uninterrupted by windows.

The kitchen, dining and living areas are an open plan space accessed off the entrance hallway through a pair of pocket doors. Natural daylight and ventilation to this space will be provided by a rooflight in the kitchen space and a set of bifold glazed doors in the reception area that open onto a small private external terrace.

The proposed room sizes are all in accordance with the draft new London Plan space standards.

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7. Scale and Impact

As the site for the proposed development is in a conservation area, the alterations proposed that are visible on the front elevation have been designed to be in keeping with the architecture, massing and character of the surrounding properties and conservation area.

The rear elevation and external terrace are in keeping with other existing development in the conservation area and will not be visible from the street. The design has no detrimental impact of daylight and sunlight loss to surrounding properties.

The proposed construction works will be carried out within the following restricted times; weekdays 8am to 6pm, Saturdays 8am to 1pm and not at all on Sundays and Bank Holidays. The works will be carried out in accordance with the provisions of the current Building Regulations and in accordance with the requirements of the Construction (Design and Management) Regulations 2007 and Sections 60 and 61 of the Control of Pollution Act 1974.

The proposals are not sufficiently invasive to cause a flood risk, nor to impact on aviation, TV and radio reception, provide a microclimate or affect transport or air quality. In addition, there is no evidence of any bats, badgers, slowworms nor other endangered species on the existing site.

8. Landscaping

No alterations are proposed to the existing arrangements in terms of landscaping as this application relates to extension at roof level only.

9. Materials and Appearance

The materials have been selected to be reflective of the existing building and surrounding properties and to be sympathetic to the character and style of the conservation area.

External windows will be timber framed with clear glazing to maximise natural daylight within the property. The windows will match existing windows in style and detail.

The roof extension, wall on the rear elevation and extension to the side dormer will be clad in a red clay tile to match the existing building and other surrounding properties.

The proposed railings to the rear terrace will be painted metalwork with square section balusters and a flat metal handrail. All exposed steelwork will be painted black.

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10. Access

The lower ground floor flat is accessed down a flight of steps and to the side of the property. The ground, first and second floor flats are all accessed from a common access stair.

It is proposed that the existing common access stair and side dormer that houses it is extended and minor alterations made to the stair arrangement at second floor level to enable access to the proposed new unit from the same communal stair that serves the other properties.

There is no vehicular access.

11. Sustainability

The completed development will comply with current Building Regulations and will be constructed using responsibly sourced materials wherever feasible.

12. Lifetime Homes

In the context of the refurbishment and extension to these existing buildings, the guiding principles of the Lifetime Homes Standards have been incorporated where possible. However given the constraints of the existing buildings the Lifetime Homes Standards are not easily applicable.

The 16 design criteria in the Lifetime Homes Standards have been addressed as set out below:-

LIFETIME HOMES CRITERIA		KEY OBJECTIVES	DETAILED CRITERIA	HOW THE PROPOSAL ADDRESSES EACH POINT
1	Parking (width widening capability)	Provide, or enable by cost effective adaptation, parking that makes getting into and out of the vehicle as convenient as possible for the widest range of people (including those with reduced mobility and/or those with children).	<p>a) 'On plot' (non-communal) parking: Where a dwelling has car parking within its individual plot (or title) boundary, at least one parking space length should be capable of enlargement to achieve a minimum width of 3300mm.</p> <p>b) Communal or shared parking: Where parking is provided by communal or shared bays, spaces should be provided with a width of 3300mm, and in</p>	Existing access arrangements are to be retained. No alterations are proposed.

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			accordance with the specification given in Appendix 2 on page 65 or www.lifetimehomes.org.uk	
2	Approach to dwelling from parking (distance, gradients and widths)	Enable convenient movement between the vehicle and dwelling for the widest range of people, including those with reduced mobility and/or those carrying children or shopping.	The distance from the car parking space of Criterion 1 to the dwelling entrance (or relevant block entrance or lift core), should be kept to a minimum and be level or gently sloping. The distance from visitors parking to relevant entrances should be as short as practicable and be level or gently sloping.	Existing access arrangements are to be retained. No alterations are proposed.
3	Approach to all entrances	Enable, as far as practicable, convenient movement along other approach routes to dwellings (in addition to the principal approach from a vehicle required by Criterion 2) for the widest range of people.	The approach to all entrances should preferably be level or gently sloping, and in accordance with the specification given at www.lifetimehomes.org.uk	Existing access arrangements are to be retained. No alterations are proposed.
4	Entrances	Enable ease of use of all entrances for the widest range of people. Note: For the purpose of requirements d) and e) of this Criterion, main entrances are deemed to be: the front door to an individual dwelling, the main communal entrance door to a block of dwellings, plus any other entrance door associated with the approach route from parking required by Criterion 2.	All entrances should: a) Be illuminated b) Have level access over the threshold; and c) Have effective clear opening widths and nibs as specified given at www.lifetimehomes.org.uk In addition, main entrances should also: d) Have adequate weather protection* e) Have a level external landing.*	Existing access arrangements are to be retained. No alterations are proposed.
5	Communal stairs and lifts	Enable access to dwellings above the entrance level to as many people as	a) Principal access stairs should provide easy access in accordance with the specification below, regardless	a) No alterations proposed to existing arrangements.

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		possible.	of whether or not a lift is provided. b) Where a dwelling is reached by a lift, it should be fully accessible in accordance with the specification below.	b) There is no lift proposed.
6	Internal doorways and hallways	Enable convenient movement in hallways and through doorways.	Movement in hallways and through doorways should be as convenient to the widest range of people, including those using mobility aids or wheelchairs, and those moving furniture or other objects. As a general principle, narrower hallways and landings will need wider doorways in their side walls. The width of doorways and hallways should conform to the specification given at www.lifetimehomes.org.uk .	This will be achieved.
7	Circulation Space	Enable convenient movement in rooms for as many people as possible.	There should be space for turning a wheelchair in dining areas and living rooms and basic circulation space for wheelchair users elsewhere.	This will be achieved.
8	Entrance level living space	Provide accessible socialising space for visitors less able to use stairs.	A living room /living space should be provided on the entrance level of every dwelling (see Appendix 1 on page 65 or www.lifetimehomes.org.uk for definition of 'entrance level'). Note: Entrance level generally means the storey containing the entrance door to the individual dwelling. It may refer to the first storey that contains a room (habitable or non-habitable) if the entrance door leads directly to an 'easy-going' stair.	This will be achieved.
9	Potential for entrance level bed-space	Provide space for a member of the household to sleep on the entrance level if they are temporarily unable to use stairs	In dwellings with two or more storey's, with no permanent bedroom on the entrance level, there should be space on the entrance level that could be used as a convenient temporary bed-space (see Appendix 1 on page 65 or www.lifetimehomes.org.uk for	This will be achieved.

			definition of 'entrance level').	
10	Entrance level toilet and shower drainage	Provide an accessible toilet and potential showering facilities for: a) any member of the household using the temporary entrance level bed space of Criterion 9, and: b) visitors unable to use stairs.	Where an accessible bathroom, in accordance with Criterion 14, is not provided on the entrance level of a dwelling, the entrance level should have an accessible toilet compartment, with potential for a shower to be installed- as detailed in the specification given at www.lifetimehomes.org.uk	This will be achieved.
11	Toilet and bathroom walls	Ensure future provision of grab rails is possible, to assist with independent use of toilet and bathroom facilities.	Walls in all bathrooms and toilet compartments should be capable of firm fixing and support for adaptations such as grab rails.	This will be achieved.
12	Stairs and potential through-floor lift in dwelling	Enable access to storey's above the entrance level for the widest range of households.	The design within a dwelling of two or more storey's should incorporate both: a) Potential for stair lift installation; b) A suitable identified space for a through-the-floor lift from the entrance level to a storey containing a main bedroom and a bathroom satisfying Criterion 14.	N/A
13	Potential for fitting of hoists and bedroom/bathroom relationship	Assist with independent living by enabling convenient movement between bedroom and bathroom facilities for a wide range of people.	Structure above a main bedroom and bathroom ceilings should be capable of supporting ceiling hoists and the design should provide a reasonable route between this bedroom and the bathroom	This will be achieved.
14	Bathrooms	Provide an accessible bathroom that has ease of access to its facilities from the outset and potential for simple adaptation to provide for different needs in the future.	An accessible bathroom, providing ease of access in accordance with the specification given at www.lifetimehomes.org.uk should be provided in every dwelling on the same storey as a main bedroom.	This will be achieved.

15	Glazing and window handle heights	Enable people to have a reasonable line of sight from a seated position in the living room and to use at least one window for ventilation in each room.	Windows in the principal living space (typically the living room), should allow people to see out when seated. In addition, at least one opening light in each habitable room should be approachable and usable by a wide range of people - including those with restricted movement and reach.	Windows, handles and sill heights will comply.
16	Location of service controls	Locate regularly used service controls, or those needed in an emergency, so that they are usable by a wide range of household members.	Service controls should be within a height band of 450mm to 1200mm from the floor and at least 300mm away from any internal room corner.	Any service control needed to be operated or read on a frequent basis, or in an emergency, will be included within a height band of 450mm – 1200mm from the floor and at least 300mm away from an internal corner.