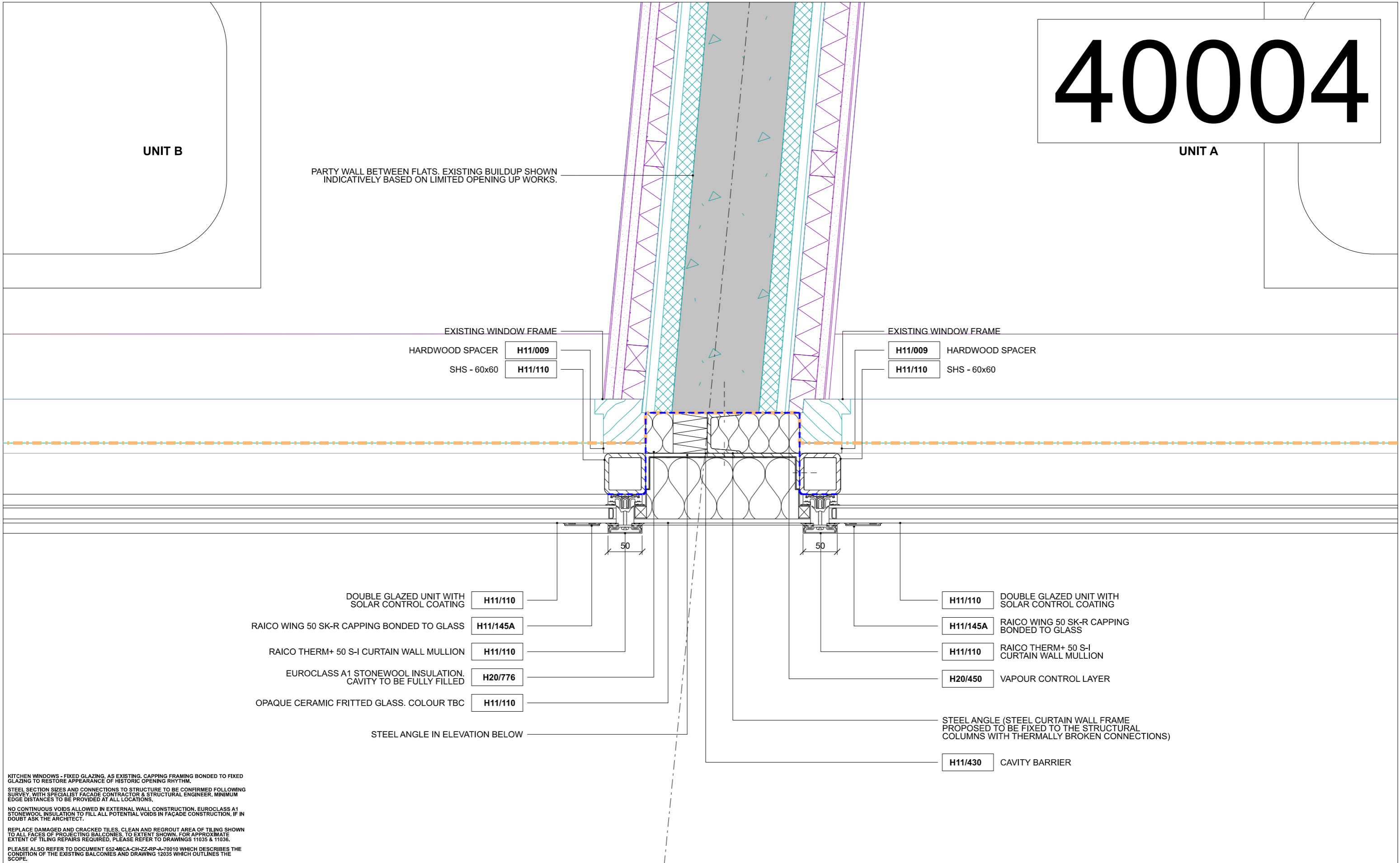


# 40004

UNIT A

UNIT B

PARTY WALL BETWEEN FLATS. EXISTING BUILDUP SHOWN INDICATIVELY BASED ON LIMITED OPENING UP WORKS.



EXISTING WINDOW FRAME  
HARDWOOD SPACER H11/009  
SHS - 60x60 H11/110

EXISTING WINDOW FRAME  
H11/009 HARDWOOD SPACER  
H11/110 SHS - 60x60

DOUBLE GLAZED UNIT WITH SOLAR CONTROL COATING H11/110  
RAICO WING 50 SK-R CAPPING BONDED TO GLASS H11/145A  
RAICO THERM+ 50 S-I CURTAIN WALL MULLION H11/110  
EUROCLASS A1 STONEWOOL INSULATION. CAVITY TO BE FULLY FILLED H20/776  
OPAQUE CERAMIC FRITTED GLASS. COLOUR TBC H11/110  
STEEL ANGLE IN ELEVATION BELOW

H11/110 DOUBLE GLAZED UNIT WITH SOLAR CONTROL COATING  
H11/145A RAICO WING 50 SK-R CAPPING BONDED TO GLASS  
H11/110 RAICO THERM+ 50 S-I CURTAIN WALL MULLION  
H20/450 VAPOUR CONTROL LAYER  
STEEL ANGLE (STEEL CURTAIN WALL FRAME PROPOSED TO BE FIXED TO THE STRUCTURAL COLUMNS WITH THERMALLY BROKEN CONNECTIONS)  
H11/430 CAVITY BARRIER

KITCHEN WINDOWS - FIXED GLAZING, AS EXISTING. CAPPING FRAMING BONDED TO FIXED GLAZING TO RESTORE APPEARANCE OF HISTORIC OPENING RHYTHM.  
STEEL SECTION SIZES AND CONNECTIONS TO STRUCTURE TO BE CONFIRMED FOLLOWING SURVEY WITH SPECIALIST FACADE CONTRACTOR & STRUCTURAL ENGINEER. MINIMUM EDGE DISTANCES TO BE PROVIDED AT ALL LOCATIONS.  
NO CONTINUOUS VOIDS ALLOWED IN EXTERNAL WALL CONSTRUCTION. EUROCLASS A1 STONEWOOL INSULATION TO FILL ALL POTENTIAL VOIDS IN FACADE CONSTRUCTION, IF IN DOUBT ASK THE ARCHITECT.  
REPLACE DAMAGED AND CRACKED TILES. CLEAN AND REGROUT AREA OF TILING SHOWN TO ALL FACES OF PROJECTING BALCONIES, TO EXTENT SHOWN. FOR APPROXIMATE EXTENT OF TILING REPAIRS REQUIRED, PLEASE REFER TO DRAWINGS 11035 & 11036.  
PLEASE ALSO REFER TO DOCUMENT 652-MICA-CH-ZZ-RP-A-70010 WHICH DESCRIBES THE CONDITION OF THE EXISTING BALCONIES AND DRAWING 12035 WHICH OUTLINES THE SCOPE.

DO NOT SCALE FROM THIS DRAWING. CONTRACTOR TO CHECK ALL DIMENSIONS ON SITE. ANY DISCREPANCIES TO BE REPORTED TO THE ARCHITECT IMMEDIATELY.

NOTES

- Existing Building (Original Parts - These Elements May Have Been Modified)
- Existing Building - Elements Added by Tenants (These Elements Are Likely to Vary in Each Flat)
- Extent of works to tiling (elevation). For description of work, refer to specification XX/XXX. Please note that pattern shown on the drawing is indicative.
- Extent of tiling works (plan and section)
- Tiling works required to internal walls of balconies if existing adjacent tiles are within this zone (4 tiles wide)

REV	DATE	DESCRIPTION
P1	15.05.19	PRELIMINARY
P2	13.06.19	DRAWING UPDATE
P3	09.07.19	SPEC REFS ADDED
P4	07.08.19	EOC COMMENTS INCORPORATED
P5	21.10.19	PLANNING CONDITION DISCHARGE
P6	23.10.19	CHANGES TO NOTES

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Centre Point  
Centre Point House Facade

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PRELIMINARY				
TITLE Proposed Detail - Plan				
CPH Curtain Walling/ Party Wall Construction				
DRG #	652-MICA-CH-ZZ-DR-A-40004			REV P6
CHECKED JK	DRAWN HB	SCALE 1:5	SIZE A3	REV/DATE 23.10.19