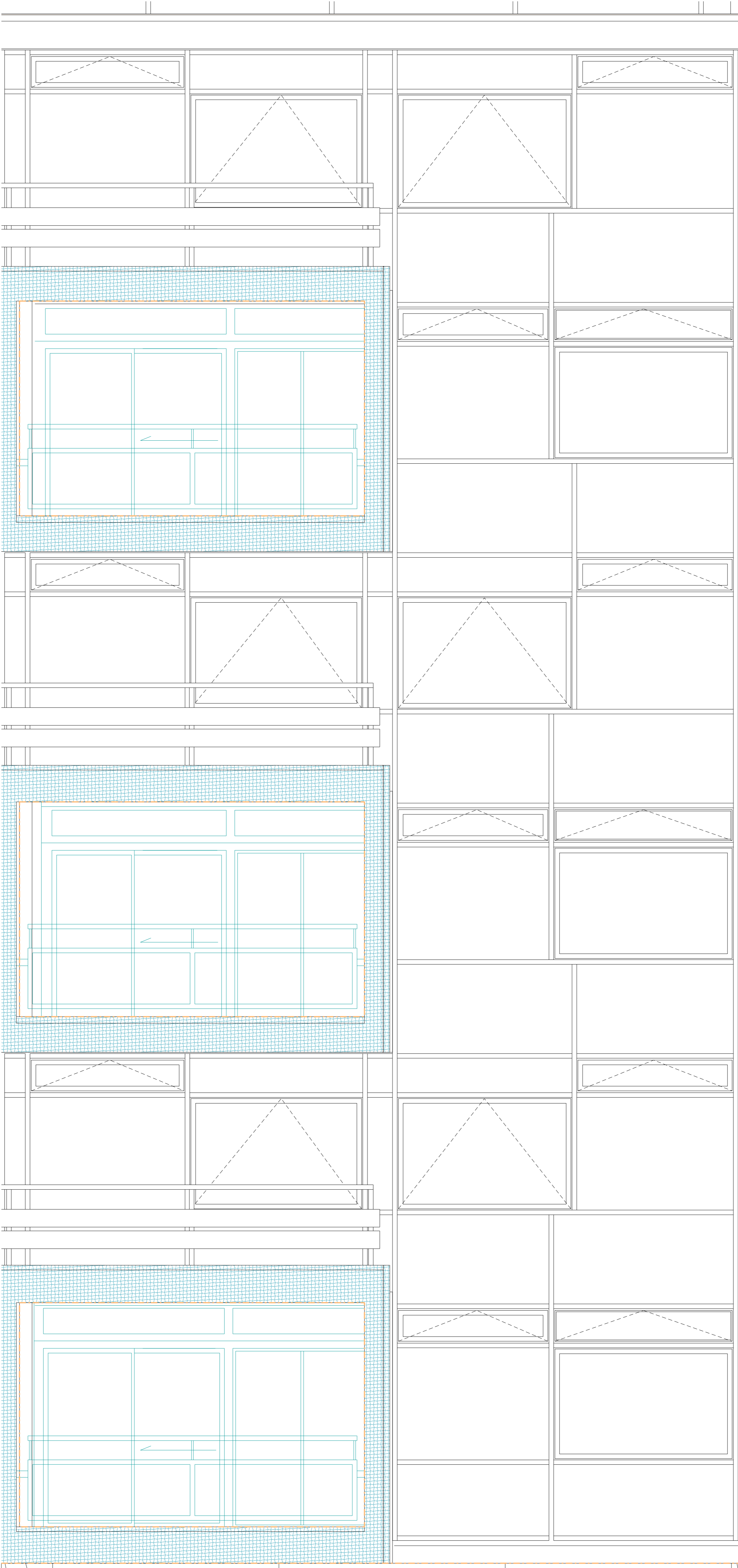


Section CC Facade / Balcony Detail
02 652-12030

Section CC Facade Detail
03 652-12030

East Elevation - Typical Bay
04 652-12030

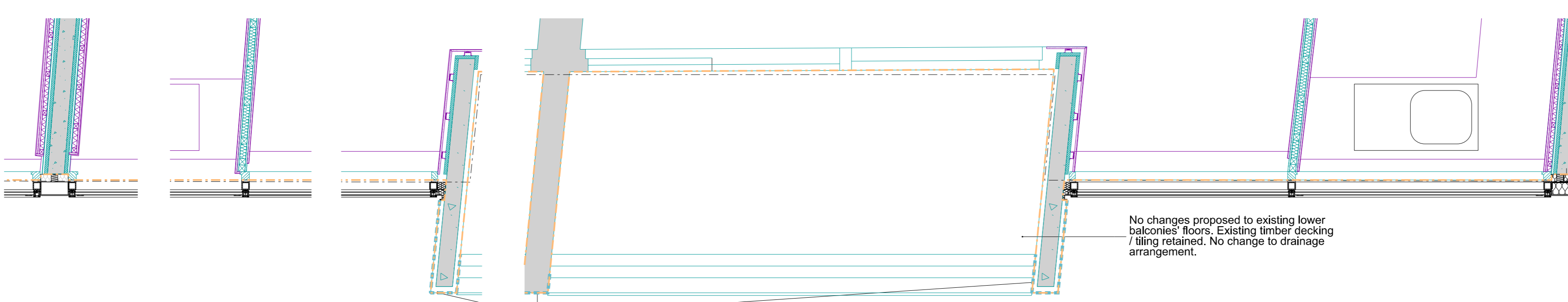


NOTES
DO NOT SCALE FROM THIS DRAWING. CONTRACTOR TO CHECK ALL DIMENSIONS ON SITE.
ANY DISCREPANCIES TO BE REPORTED TO THE ARCHITECT IMMEDIATELY.
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THE SURVEY INFORMATION CONTAINED IN THIS DRAWING WAS PROVIDED BY PLOWMAN CRAVEN LTD DECEMBER 2011. OCTOBER 2012. NOT ALL APARTMENT INTERIORS WERE SURVEYED AND THE INTERNAL LAYOUTS OF UNSURVEYED APARTMENTS ARE INDICATIVE ONLY, INFERRED FROM OTHER PLANS.
PLEASE REFER TO EXISTING PLANS WHICH SHOW EXTENT OF SURVEYED APARTMENTS. THE FIT OUT OF THE APARTMENTS MAY HAVE CHANGED SINCE THE SURVEY WAS COMPLETED AND THE CONTRACTOR SHOULD REVIEW THE ACCURACY OF THE SURVEY PRIOR TO UNDERTAKING WORK ON SITE.
KITCHEN WINDOWS - FIXED GLAZING, AS EXISTING. CAPPING FRAMING BONDED TO FIXED GLAZING TO RESTORE APPEARANCE OF HISTORIC OPENING RHYTHM.

KEY

- Existing Building (Original Parts - These Elements May Have Been Modified)
- Existing Building - Elements Added by Tenants (These Elements Are Likely To Vary In Each Flat)
- Extent of works to tiling (elevation). For description of work, refer to specification XX/XXX. Please note that pattern shown on the drawing is indicative.
- Extent of tiling works (plan and section)
- Tiling works required to internal walls of balconies if existing adjacent tiles are within this zone (4 tiles wide)
- Scope Line
- Proposed

REVISIONS	NO.	DATE	DESCRIPTION
P5	23.10.19	CHANGES TO NOTES	
P4	21.10.19	PLANNING CONDITION DISCHARGE	
P3	07.08.19	DRAWING UPDATE	
P2	09.07.19	DRAWING UPDATE	
P1	29.05.19	PRELIMINARY	
REV	DATE	DESCRIPTION	



Typical Plan
01 652-12030

Repair and replace tiling to front face of balconies, and return 4 tiles depth to interior vertical faces.
If adjacent existing tiles are close (within 2 tiles width) extend repair to meet existing.

No changes proposed to existing lower balconies' floors. Existing timber decking / tiling retained. No change to drainage arrangement.

STATUS: PRELIMINARY

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JOB: Centre Point
Centre Point House
Facade

TITLE: CPH EXTERNAL WALL COMPONENTS
REPLACEMENT FACADE OVERVIEW

DSG #: 652-MICA-CH-ZZ-DR-A-12030 P5

DESIGNED	DRAWN	SCALE	SIZE	REV/DATE
JK	HB	1:100	A1	REV/23.10.19