



Schedule of Condition



Project No. 406	Doc Type: SC	Doc No: 0660	Rev. B	Issue Date 29/10/2019
--------------------	-----------------	-----------------	-----------	--------------------------

Project 15 Great James Street

All new external and internal works and finishes and works of making good to the retained fabric, shall match the existing adjacent work with regard to the methods used and to material, texture and profile, unless shown otherwise on the drawings or other documentation. This is not a construction document, all details will be provided as part of the architectural documentation.

Full consideration is given in this document and supporting appendices to the special architectural and historic interest of the building, together with the Borough of Camden's planning policies relative to this application. The ethos of the design and method of works is to remain as unobtrusive as possible, maintaining and restoring the special features of the building whilst also providing an office environment appropriate for a central London site in the 21st Century.

Basement

B.01 - Meeting Room	Description	Condition	Photo	Proposed	Action required
Walls	Architectural and historic interest of the early Georgian part of the Grade II* listed house. Room not fully accessible. Walls marked. Holes made for pipe work. Additional timber stud erected within room. Where visible skirting board in tact.	Walls in ok condition.		Plaster finish with timber skirting in accordance with the BOH Georgian style, paint finish to walls in a heritage colour.	Make good previous chasing and break through works. Remove temporary timber stud partitions. Repair plaster and timber skirting where damaged - paint finish - colour TBA
Floor	No floor finish. Concrete/screed exposed	Floor structure exposed (concrete slab/screed). No finish.		Solacir Interiors Microscreed to comprise primer, fibreglass reinforcement and wax finish on DPM (allow 15mm overall. from top of screed), on 65mm screed, on DPM over existing slab.	Cut back and key existing screed, install topping screed.



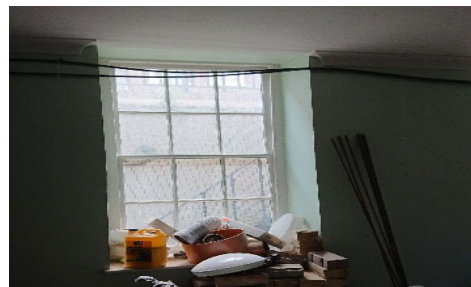


Project No. 406	Doc Type: SC	Doc No: 0660	Rev. B	Issue Date 29/10/2019
--------------------	-----------------	-----------------	-----------	--------------------------

Project 15 Great James Street

All new external and internal works and finishes and works of making good to the retained fabric, shall match the existing adjacent work with regard to the methods used and to material, texture and profile, unless shown otherwise on the drawings or other documentation. This is not a construction document, all details will be provided as part of the architectural documentation.

Full consideration is given in this document and supporting appendices to the special architectural and historic interest of the building, together with the Borough of Camden's planning policies relative to this application. The ethos of the design and method of works is to remain as unobtrusive as possible, maintaining and restoring the special features of the building whilst also providing an office environment appropriate for a central London site in the 21st Century.

Ceiling	Contemporary board ceiling, likely 1960's Marks and small holes to ceiling. Simple contemporary cornice in tact. Marks above external door, suggest possible damp issues (historic or current?).	Ceiling ok condition.		The original lath & plaster ceilings have been replaced with a mixture of cementitious grid and plasterboards, probably as part of the 1960's refurbishment. New ceiling to be installed.	Damp report with potential DPC works to be carried out. Replace all ceilings with new plasterboard in order to upgrade their acoustic performance. The installation is to be in a manner which does not interfere with the cornicing or any other associated decorative mouldings. Where existing ceilings can be made good, this will be the avenue that is taken.
Doors	Internal contemporary panelled door, likely 1960's External contemporary timber door, mid 20th century. External door overhead closer damaged. Timber frame 15 panel door with grid glass infill. Internal timber door, not panelled.	External door ok condition (closer damaged). Internal door good condition, however may not be original.		The existing internal door-sets are not original to the building. (see heritage statement) The majority of the existing doors were installed during a refurbishment period in circa 1965. Internal doors to be replaced. External door to be refurbished.	Replace internal doors with solid, individually crafted hardwood doors. The design and proportions of the replacement doors will follow those of the Georgian Period, fire requirements to be agreed and hardware installed. External door glass to be replaced with clear. New ironmongery in keeping with the Georgian style.
Windows	Contemporary timber windows, mid 20th century. White painted timber sash windows, 6 over 6 sashes. Wired glass to windows.	Window timber frame and glass in good condition.		The front of No 15 appears to have been completely rebuilt, probably in the mid-20th century, perhaps after war damage. (see heritage statement) All of No. 15's windows have been renewed during the process. Current window to be refurbished.	Replace existing sash windows with solid, individually crafted hardwood sash to match the rest of the terrace. 6/6 sashes to basement floor, straight window heads to match no.31 precedent. Wire glass to be replaced with clear. Box frames, shutters and ironmongery to be replaced in keeping with Georgian style. Paint finish - colour TBA

B.02 - Lobby	Description	Condition	Photo	Proposed	Action required
Walls	Architectural and historic interest of the early Georgian part of the Grade II* listed house. Lobby formed within original room B.03. Large holes and marks to walls. Skirting board still in tact.	Poor condition	Photo Not Available	Internal partitions to room B.03 to be removed. Plaster finish with timber skirting in accordance with the BOH Georgian style, paint finish to walls in a heritage colour.	Remove partitions. Repair plastered walls where damaged - paint finish - colour TBA




Project No. 406	Doc Type: SC	Doc No: 0660	Rev. B	Issue Date 29/10/2019
--------------------	-----------------	-----------------	-----------	--------------------------

Project 15 Great James Street

All new external and internal works and finishes and works of making good to the retained fabric, shall match the existing adjacent work with regard to the methods used and to material, texture and profile, unless shown otherwise on the drawings or other documentation. This is not a construction document, all details will be provided as part of the architectural documentation.

Full consideration is given in this document and supporting appendices to the special architectural and historic interest of the building, together with the Borough of Camden's planning policies relative to this application. The ethos of the design and method of works is to remain as unobtrusive as possible, maintaining and restoring the special features of the building whilst also providing an office environment appropriate for a central London site in the 21st Century.

Floor	No floor finish. Concrete/screed exposed	Floor structure exposed (concrete slab/screed). No finish.	Photo Not Available	Solacir Interiors Microscreed to comprise primer, fibreglass reinforcement and wax finish on DPM (allow 15mm overall. from top of screed), on 65mm screed, on DPM over existing slab.	Cut back and key existing screed, install topping screed.
Ceiling	Contemporary board ceiling, likely 1960's Marks to ceiling, small holes for lights. Large cut out to ceiling. No cornice.	Bad condition	Photo Not Available	The original lath & plaster ceilings have been replaced with a mixture of cementitious grid and plasterboards, probably as part of the 1960's refurbishment. New ceiling to be installed.	Replace all ceilings with new plasterboard in order to upgrade their acoustic performance. Where existing ceilings can be made good, this will be the avenue that is taken.
Doors	Contemporary panelled door, likely 1960's. 1x Timber door plus frame. 1x Timber frame door removed.	Good/Poor condition	Photo Not Available	Refit door D.B.02 and block shut.	Replace DB01 with new door to match in appearance but to comply with secure by design requirements; Refit door D.B.02 and block shut, in accordance with proposed layout reconfiguration.
Windows	N/A	N/A	N/A	N/A	N/A

B.03 - Boiler Room	Description	Condition	Photo	Proposed	Action required
Walls	Architectural and historic interest of the early Georgian part of the Grade II* listed house. Room inaccessible. Large holes and marks to walls. Skirting board undetermined.	Poor/Unknown		New partitions and partial demolition of fireplace to accommodate proposed internal layout. Plaster finish with timber skirting to existing walls in accordance with the BOH Georgian style, paint finish in a heritage colour.	Reinstate original features where missing (cornicing, skirting board etc.). Repair plaster and timber skirting where damaged paint finish - colour TBA
Floor	Not accessible	Unknown	Photo TBC - Not accessible	Solacir Interiors Microscreed to comprise primer, fibreglass reinforcement and wax finish on DPM (allow 15mm overall. from top of screed), on 65mm screed, on DPM over existing slab.	Cut back and key existing screed, install topping screed.




Project No. 406	Doc Type: SC	Doc No: 0660	Rev. B	Issue Date 29/10/2019
--------------------	-----------------	-----------------	-----------	--------------------------

Project 15 Great James Street

All new external and internal works and finishes and works of making good to the retained fabric, shall match the existing adjacent work with regard to the methods used and to material, texture and profile, unless shown otherwise on the drawings or other documentation. This is not a construction document, all details will be provided as part of the architectural documentation.

Full consideration is given in this document and supporting appendices to the special architectural and historic interest of the building, together with the Borough of Camden's planning policies relative to this application. The ethos of the design and method of works is to remain as unobtrusive as possible, maintaining and restoring the special features of the building whilst also providing an office environment appropriate for a central London site in the 21st Century.

Ceiling	Contemporary suspended ceiling, likely 1960's. Holes for lights and marks. No cornice.	Poor condition		The original lath & plaster ceilings have been replaced with a mixture of cementitious grid and plasterboards, probably as part of the 1960's refurbishment. New ceiling to be installed.	Replace all ceilings with new plasterboard in order to upgrade their acoustic performance. Where existing ceilings can be made good, this will be the avenue that is taken.
Doors	Contemporary panelled door DB03, likely 1960's. Timber door plus frame.	Good condition	Photo Not Available	Remove door D.B.03 to accommodate new layout	Demolish door D.B.03 and frame in accordance with proposed layout reconfiguration.
Windows	N/A	N/A	N/A	N/A	N/A

B.04 -	Description	Condition	Photo	Proposed	Action required
Walls	Architectural and historic interest of the early Georgian part of the Grade II* listed house. Room not fully accessible. Marks and holes to walls. Large cut out to timber stud wall. Skirting board condition not determined.	Bad condition		Demolition of internal walls and construction of internal walls to accommodate for new internal layout. Plaster finish with simple skirting and cornice profile. Contemporary treatment to reflect area of new intervention. Paint finish to walls TBC.	Remove partitions. Repair plastered walls where damaged - paint finish - colour TBA





Project No. 406	Doc Type: SC	Doc No: 0660	Rev. B	Issue Date 29/10/2019
--------------------	-----------------	-----------------	-----------	--------------------------

Project 15 Great James Street

All new external and internal works and finishes and works of making good to the retained fabric, shall match the existing adjacent work with regard to the methods used and to material, texture and profile, unless shown otherwise on the drawings or other documentation. This is not a construction document, all details will be provided as part of the architectural documentation.

Full consideration is given in this document and supporting appendices to the special architectural and historic interest of the building, together with the Borough of Camden's planning policies relative to this application. The ethos of the design and method of works is to remain as unobtrusive as possible, maintaining and restoring the special features of the building whilst also providing an office environment appropriate for a central London site in the 21st Century.

Floor	No floor finish. Concrete/screed exposed	Floor structure exposed (concrete slab/screed). No finish.		Solacir Interiors Microscreed to comprise primer, fibreglass reinforcement and wax finish on DPM (allow 15mm overall. from top of screed), on 65mm screed, on DPM	Cut back and key existing screed, install topping screed.
Ceiling	Contemporary suspended ceiling system, likely 1960's. Damaged suspended grid ceiling. Missing tiles.	Bad condition		MF casoline gypsum board suspended ceiling system to be installed. Review services passing through walls with fire consultant.	Suspended grid ceiling is a recent addition, this is to be removed. New suspended board ceiling system to be installed to B.04 and out into basement excavation area.
Doors	Contemporary panelled door DB04, likely 1960's. Timber panelled door and timber frame. Vent installed.	Door in good condition.	Photo Not Available	The existing internal door-set is not original to the building. (see heritage statement) The majority of the existing doors were installed during a refurbishment period in circa 1965.	Demolish partition, remove door D.B.04 to accommodate for basement excavation and new internal layout.
Windows	Vent installed to glass. Glass cracked. Timber frame intact.	Timber frame in good condition. Window glazing in poor condition.		The rear elevation of No 15 appears to have been completely rebuilt after the mid 1960's. (see heritage statement) All of No. 15's windows have been renewed during the process.	Demolish rear wall, remove window W.B.03 to accommodate for basement excavation and new internal layout.

B.06 -	Description	Condition	Photo	Proposed	Action required
--------	-------------	-----------	-------	----------	-----------------



Project No. 406	Doc Type: SC	Doc No: 0660	Rev. B	Issue Date 29/10/2019
--------------------	-----------------	-----------------	-----------	--------------------------

Project 15 Great James Street

All new external and internal works and finishes and works of making good to the retained fabric, shall match the existing adjacent work with regard to the methods used and to material, texture and profile, unless shown otherwise on the drawings or other documentation. This is not a construction document, all details will be provided as part of the architectural documentation.

Full consideration is given in this document and supporting appendices to the special architectural and historic interest of the building, together with the Borough of Camden's planning policies relative to this application. The ethos of the design and method of works is to remain as unobtrusive as possible, maintaining and restoring the special features of the building whilst also providing an office environment appropriate for a central London site in the 21st Century.

Walls	Entirely inaccessible - 20/05/19	Condition unknown	Photo Not Available	Demolition of walls and construction of internal partitions to accommodate for new subscription desk area within basement excavation. Plaster finish with simple skirting. Contemporary treatment to reflect area of new intervention. Paint finish to walls TBC.	Remove partitions/Construction new internal walls. Repair any retained plastered walls where damaged - paint finish - colour TBA
Floor		Condition unknown	Photo Not Available	Solacir Interiors Microscreed to comprise primer, fibreglass reinforcement and wax finish on DPM (allow 15mm overall. from top of screed), on 65mm screed, on DPM	Cut back and key existing screed, install topping screed.
Ceiling		Condition unknown	Photo Not Available	MF casoline gypsum board suspended ceiling system to be installed. Review services passing through walls with fire consultant.	Suspended board ceiling system to be installed to new basement excavation area.
Doors	No existing doorset fitted in this location	Condition unknown	Photo Not Available	B.06 does not currently have doors. Contemporary door D.B.11 to be installed.	Construction of new internal walls and contemporary internal door to provide access to new basement excavation area.
Windows	N/A	N/A	N/A	N/A	N/A

B.07 - Hallway	Description	Condition	Photo	Proposed	Action required
----------------	-------------	-----------	-------	----------	-----------------

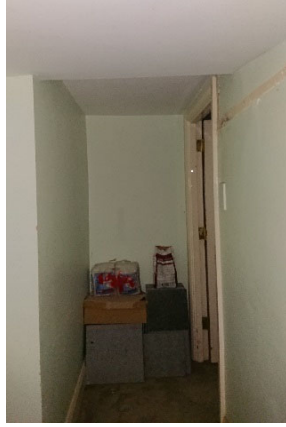
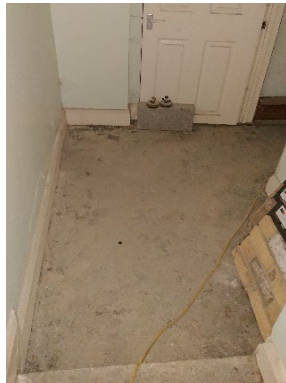



Project No. 406	Doc Type: SC	Doc No: 0660	Rev. B	Issue Date 29/10/2019
--------------------	-----------------	-----------------	-----------	--------------------------

Project 15 Great James Street

All new external and internal works and finishes and works of making good to the retained fabric, shall match the existing adjacent work with regard to the methods used and to material, texture and profile, unless shown otherwise on the drawings or other documentation. This is not a construction document, all details will be provided as part of the architectural documentation.

Full consideration is given in this document and supporting appendices to the special architectural and historic interest of the building, together with the Borough of Camden's planning policies relative to this application. The ethos of the design and method of works is to remain as unobtrusive as possible, maintaining and restoring the special features of the building whilst also providing an office environment appropriate for a central London site in the 21st Century.

Walls	Holes and marks to walls. Skirting board fully intact.	Walls bad condition. Skirting board good condition.		Demolition of internal wall to B.06 to accommodate for new internal layout. Plaster finish with simple skirting and cornice profile. Contemporary treatment to reflect area of new intervention. Paint finish to walls TBC.	Remove partition to room B_06. Repair plastered walls where damaged - paint finish - colour TBA
Floor	No floor finish. Concrete/screed exposed	Floor structure exposed (concrete slab/screed). No finish.		No structural slab, Solacir Interiors Microscreed to comprise primer, fibreglass reinforcement and wax finish on DPM (allow 15mm overall from top of screed), on 65mm screed, on DPM	Proposed floor level is lower than current FFL, requires excavation to existing slab. New structural slab with topping screed.
Ceiling	Contemporary board ceiling, likely 1960's. Holes and marks to ceiling. No cornice.	Bad condition		MF casoline gypsum board suspended ceiling system to be installed. Review services passing through walls with fire consultant.	Demolition of current ceiling required as part of basement/ground floor extension. Suspended ceiling system to be installed to basement rooms B.07, B.08 and B.13.




Project No. 406	Doc Type: SC	Doc No: 0660	Rev. B	Issue Date 29/10/2019
--------------------	-----------------	-----------------	-----------	--------------------------

Project 15 Great James Street

All new external and internal works and finishes and works of making good to the retained fabric, shall match the existing adjacent work with regard to the methods used and to material, texture and profile, unless shown otherwise on the drawings or other documentation. This is not a construction document, all details will be provided as part of the architectural documentation.

Full consideration is given in this document and supporting appendices to the special architectural and historic interest of the building, together with the Borough of Camden's planning policies relative to this application. The ethos of the design and method of works is to remain as unobtrusive as possible, maintaining and restoring the special features of the building whilst also providing an office environment appropriate for a central London site in the 21st Century.

Doors	Contemporary panelled door DB05, likely 1960's. Timber panelled door and frame.	Good condition		The existing internal door-set is not original to the building. (see heritage statement) The majority of the existing doors were installed during a refurbishment period in circa 1965.	Demolish partition, remove door D.B.05 to accommodate for basement excavation and new internal layout.
Windows	N/A	N/A	N/A	N/A	N/A

B.08 - Hallway	Description	Condition	Photo	Proposed	Action required
Stairs	Architectural and historic interest of the early Georgian part of the Grade II* listed house. Timber stair treads exposed and worn. balustrade boxed out for protection.	Ok condition		Original stair to be restored in accordance with the Georgian style. The staircase has ornate balustrades with carved open strings, moulded nosing's, twisted barley-sugar balusters and hardwood frogs back handrails that spiral at the base of the stair. The stair soffits comprise raised and fielded panels to match the wall panelling.	Repair stair tread and balustrade where damaged, Panels are to be bead blasted to remove existing paint and lightly sanded. Small cracks are to be infilled with a suitable wood filler prior to decorating. Any missing panels are to be replaced with replica pieces by specialist joiner. Replace skirting - paint finish - colour TBA



Project No. 406	Doc Type: SC	Doc No: 0660	Rev. B	Issue Date 29/10/2019
--------------------	-----------------	-----------------	-----------	--------------------------

Project 15 Great James Street

All new external and internal works and finishes and works of making good to the retained fabric, shall match the existing adjacent work with regard to the methods used and to material, texture and profile, unless shown otherwise on the drawings or other documentation. This is not a construction document, all details will be provided as part of the architectural documentation.

Full consideration is given in this document and supporting appendices to the special architectural and historic interest of the building, together with the Borough of Camden's planning policies relative to this application. The ethos of the design and method of works is to remain as unobtrusive as possible, maintaining and restoring the special features of the building whilst also providing an office environment appropriate for a central London site in the 21st Century.

Walls	<p>Architectural and historic interest of the early Georgian part of the Grade II* listed house.</p> <p>Marks and holes to walls. Skirting boards fully intact. Recess in wall for previous door opening.</p>	Walls bad condition		<p>Demolition of internal partition to room B.07 to accommodate for new internal layout. Plaster finish with simple skirting and cornice profile. Contemporary treatment to reflect area of new intervention. Paint finish to walls TBC.</p>	Remove partition between existing rooms B.08 and B.07. Repair plastered walls where damaged - paint finish - colour TBA
Floor	No floor finish. Concrete/screed exposed	Floor structure exposed (concrete slab/screed). No finish.		<p>New structural slab, Solacir Interiors Microscreed to comprise primer, fibreglass reinforcement and wax finish on DPM (allow 15mm overall from top of screed), on 65mm screed, on DPM</p>	Proposed new floor ramps to lower level than current FFL, requires excavation to existing and construction of ramp. Cut back existing slab, install new structural slab, install topping screed.
Ceiling	<p>Contemporary board ceiling, likely 1960's.</p> <p>Marks and holes to ceiling. Cornicing missing in places.</p>	Poor condition		MF casoline gypsum board suspended ceiling system to be installed.	Suspended ceiling system to be installed to basement excavation area. Review services passing through walls with fire consultant.




Project No. 406	Doc Type: SC	Doc No: 0660	Rev. B	Issue Date 29/10/2019
--------------------	-----------------	-----------------	-----------	--------------------------

Project 15 Great James Street

All new external and internal works and finishes and works of making good to the retained fabric, shall match the existing adjacent work with regard to the methods used and to material, texture and profile, unless shown otherwise on the drawings or other documentation. This is not a construction document, all details will be provided as part of the architectural documentation.

Full consideration is given in this document and supporting appendices to the special architectural and historic interest of the building, together with the Borough of Camden's planning policies relative to this application. The ethos of the design and method of works is to remain as unobtrusive as possible, maintaining and restoring the special features of the building whilst also providing an office environment appropriate for a central London site in the 21st Century.

Doors	Contemporary panelled door DB05, likely 1960's. Timber door frame, no door.	Door frame good condition		New layout to accommodate proposed scheme. The existing internal door-set is not original to the building. (see heritage statement) The majority of the existing doors were installed during a refurbishment period in circa 1965.	Demolish partition, remove door D.B.05 to accommodate for basement excavation and new internal layout.
Windows	N/A	N/A	N/A	N/A	N/A

B.10 - External hallway	Description	Condition	Photo	Proposed	Action required
Walls	Architectural and historic interest of the early Georgian part of the Grade II* listed house. Partially inaccessible. Exposed brick wall to front façade, breeze block brick exposed to left wall and rendered finishes to remaining walls. Signs of weathering and marks to render.	Bad condition		Rendered finish to be maintained where possible, in keeping with existing. Exposed brick wall elements to be restored and maintained.	The area around the entrance to the lower ground floor is to be stripped of any redundant electrical items. A suitably qualified person is to carry out an inspection of the existing render and advise on the feasibility of repair and restoration works.




Project No. 406	Doc Type: SC	Doc No: 0660	Rev. B	Issue Date 29/10/2019
--------------------	-----------------	-----------------	-----------	--------------------------

Project 15 Great James Street

All new external and internal works and finishes and works of making good to the retained fabric, shall match the existing adjacent work with regard to the methods used and to material, texture and profile, unless shown otherwise on the drawings or other documentation. This is not a construction document, all details will be provided as part of the architectural documentation.

Full consideration is given in this document and supporting appendices to the special architectural and historic interest of the building, together with the Borough of Camden's planning policies relative to this application. The ethos of the design and method of works is to remain as unobtrusive as possible, maintaining and restoring the special features of the building whilst also providing an office environment appropriate for a central London site in the 21st Century.

Floor	Partially inaccessible due to storage and debris. Mixture of cement and paved floor finishes. Soil exposed in places.	Bad condition		Retain existing concrete finish	Remove any loose debris and make good any damages
Ceiling	N/A	N/A	N/A	N/A	N/A
Doors	N/A	N/A	N/A	N/A	N/A
Windows	N/A	N/A	N/A	N/A	N/A

B.11 - Vault	Description	Condition	Photo	Proposed	Action required
Walls	Locked - 20/06/19 Suspected to be in similar condition to room B.12.	Damp with deteriorated finish	Photo Not Available	Vaults to be weather proofed to provide suitable conditions for secure storage.	The vaults directly underneath Great James Street are to be tanked internally with a 'Type C' Newton waterproofing drain system, rendered and retained as storage. The door into the vault is to be replaced in line with the approved drawings
Floor	Exposed cement/concrete floor	Damp with deteriorated finish	Photo Not Available	Retain existing slab	New raised floor in order to accommodate new drainage system.
Ceiling	Exposed brick vaulted ceiling	Damp with deteriorated finish	Photo Not Available	Retain existing vault ceiling	Remove any loose debris and make good any damages




Project No. 406	Doc Type: SC	Doc No: 0660	Rev. B	Issue Date 29/10/2019
--------------------	-----------------	-----------------	-----------	--------------------------

Project 15 Great James Street

All new external and internal works and finishes and works of making good to the retained fabric, shall match the existing adjacent work with regard to the methods used and to material, texture and profile, unless shown otherwise on the drawings or other documentation. This is not a construction document, all details will be provided as part of the architectural documentation.

Full consideration is given in this document and supporting appendices to the special architectural and historic interest of the building, together with the Borough of Camden's planning policies relative to this application. The ethos of the design and method of works is to remain as unobtrusive as possible, maintaining and restoring the special features of the building whilst also providing an office environment appropriate for a central London site in the 21st Century.

Doors	Partially inaccessible. Small timber access door and frame. Signs of weathering.	Good condition		Existing door to be replaced with lacquered timber door set to ensure more secure storage spaces. Colour tbc.	Existing door and frame to be removed. Replacement door to be appropriately specified to meet all security requirements.
Windows	N/A	N/A	N/A	N/A	N/A

B.12 - Vault	Description	Condition	Photo	Proposed	Action required
Walls	Exposed brick walls.	Damp with deteriorated finish		Vaults to be weather proofed to provide suitable conditions for secure storage.	The vaults directly underneath Great James Street are to be tanked internally with a 'Type C' Newton waterproofing drain system, rendered and retained as storage. The door into the vault is to be replaced in line with the approved drawings
Floor	Exposed cement/concrete floor	Damp with deteriorated finish	Photo Not Available	Retain existing slab	New raised floor in order to accommodate new drainage system.




Project No. 406	Doc Type: SC	Doc No: 0660	Rev. B	Issue Date 29/10/2019
--------------------	-----------------	-----------------	-----------	--------------------------

Project 15 Great James Street

All new external and internal works and finishes and works of making good to the retained fabric, shall match the existing adjacent work with regard to the methods used and to material, texture and profile, unless shown otherwise on the drawings or other documentation. This is not a construction document, all details will be provided as part of the architectural documentation.

Full consideration is given in this document and supporting appendices to the special architectural and historic interest of the building, together with the Borough of Camden's planning policies relative to this application. The ethos of the design and method of works is to remain as unobtrusive as possible, maintaining and restoring the special features of the building whilst also providing an office environment appropriate for a central London site in the 21st Century.

Ceiling	Exposed brick vaulted ceiling	Damp with deteriorated finish	Photo Not Available	Retain existing vault ceiling	Remove any loose debris and make good any damages
Doors	Small timber access door and frame. Door completely broken.	Door in very bad condition. Frame potentially in tact, further checks required.		Existing door to be replaced with lacquered timber door set to ensure more secure storage spaces. Colour tbc.	Existing door and frame to be removed. Replacement door to be appropriately specified to meet all security requirements.
Windows	N/A	N/A	N/A	N/A	N/A



Schedule of Condition



Project No. 406	Doc Type: SC	Doc No: 0660	Rev. B	Issue Date 29/10/2019
--------------------	-----------------	-----------------	-----------	--------------------------

Project 15 Great James Street

All new external and internal works and finishes and works of making good to the retained fabric, shall match the existing adjacent work with regard to the methods used and to material, texture and profile, unless shown otherwise on the drawings or other documentation. This is not a construction document, all details will be provided as part of the architectural documentation.

Full consideration is given in this document and supporting appendices to the special architectural and historic interest of the building, together with the Borough of Camden's planning policies relative to this application. The ethos of the design and method of works is to remain as unobtrusive as possible, maintaining and restoring the special features of the building whilst also providing an office environment appropriate for a central London site in the 21st Century.

Ground Floor

G.01 - Entrance Hall	Description	Condition	Photo	Proposed & validation	Action required
Walls	<p>Architectural and historic interest of the early Georgian part of the Grade II* listed house.</p> <p>Pilaster mostly intact. Feature Doric capital to walls. Room not fully accessible, skirting board missing where visible.</p>	Good condition		<p>Traditional panelling with timber beading and skirting in accordance with the Georgian style, paint finish to walls in a heritage colour.</p> <p>The styles vary from floor to floor and some have become cracked and damaged.</p>	<p>Repair panelling and timber beading where damaged, Panels are to be bead blasted to remove existing paint and lightly sanded. Small cracks are to be infilled with a suitable wood filler prior to decorating. Any missing panels are to be replaced with replica pieces by specialist joiner. Replace skirting - paint finish - colour TBA</p>
Floor	<p>Architectural and historic interest of the early Georgian part of the Grade II* listed house.</p> <p>Some original timber floor boards. Room partly inaccessible. Areas of new boards and ply.</p> <p>The Heritage report confirms that a percentage of floorboards on ground floor are original and despite being in not the best of condition should be retained where possible whilst the floorboards on the upper floor are of less significance being part of the 70s refurbishment and could be replaced with new.</p>	Ok condition		<p>Timber floor boards with loose floor covering (rug).</p>	<p>Retain , clean, refurbish and fill as required the existing floor boards where possible and relay an upperfloor.</p> <p>Remove existing boards that are in acceptable condition to be fitted on an upper floor; fit new European hardwood floor on plywood substrate. Include 50mm PIR insulation between joists. Perimeter flanking strips to be utilised in order to maintain the acoustic performance of the floor.</p>





Project No. 406	Doc Type: SC	Doc No: 0660	Rev. B	Issue Date 29/10/2019
--------------------	-----------------	-----------------	-----------	--------------------------

Project 15 Great James Street

All new external and internal works and finishes and works of making good to the retained fabric, shall match the existing adjacent work with regard to the methods used and to material, texture and profile, unless shown otherwise on the drawings or other documentation. This is not a construction document, all details will be provided as part of the architectural documentation.

Full consideration is given in this document and supporting appendices to the special architectural and historic interest of the building, together with the Borough of Camden's planning policies relative to this application. The ethos of the design and method of works is to remain as unobtrusive as possible, maintaining and restoring the special features of the building whilst also providing an office environment appropriate for a central London site in the 21st Century.

Ceiling	Contemporary board ceiling, likely 1960's Ceiling has marks, light fittings have been removed. Cornice in place. Cracking between cornice and ceiling.	Good condition		The original lath & plaster ceilings have been replaced with a mixture of cementitious and plasterboards, probably as part of the 1960's refurbishment. Replace ceilings in accordance with the Georgian style.	Replace all the boarded ceilings with new plasterboard in order to upgrade their acoustic performance. The installation is to be in a manner which does not interfere with the cornicing or any other associated decorative mouldings. Where original ceilings can be made good, this will be the avenue that is taken. Mouldings are to be bead blasted to remove existing paint and lightly sanded. Small cracks are to be infilled with a suitable filler. More serious repairs will involve the cutting out of sections of moulding before filling the removed areas with replica fibrous plaster mouldings. Once the filler has dried out the moulding is to be sanded to the shape of the original prior to decorating.
Doors	Contemporary panelled door, likely 1960's. Fanlight likely to be from this period also. Panelled timber door, not original. Notches visible to timber frame.	Ok condition		No. 15 retains its decorative fanlight (see heritage statement). The existing internal door-sets are not original to the building. (see heritage statement) The majority of the existing doors were installed during a refurbishment period in circa 1965, the features of which do not accord with the rest of the building. Retain and restore external door set. Replace internal doors.	Retain and restore decorative fanlight and entrance door. Replace the existing internal doors with solid, individually crafted hardwood doors. The design and proportions of the replacement doors will follow those of the Georgian Period and as such will reinstate some of the character of the building. New ironmongery in keeping with the Georgian style, fire requirements to be agreed and hardware installed.
Windows	N/A	N/A	N/A	N/A	N/A

Project No.
406Doc Type:
SCDoc No:
0660Rev.
BIssue Date
29/10/2019

Project 15 Great James Street

All new external and internal works and finishes and works of making good to the retained fabric, shall match the existing adjacent work with regard to the methods used and to material, texture and profile, unless shown otherwise on the drawings or other documentation. This is not a construction document, all details will be provided as part of the architectural documentation.

Full consideration is given in this document and supporting appendices to the special architectural and historic interest of the building, together with the Borough of Camden's planning policies relative to this application. The ethos of the design and method of works is to remain as unobtrusive as possible, maintaining and restoring the special features of the building whilst also providing an office environment appropriate for a central London site in the 21st Century.

G.02	Description	Condition	Photo	Proposed & validation	Action required
Walls	<p>Architectural and historic interest of the early Georgian part of the Grade II* listed house.</p> <p>Panelling mostly intact. Room not fully accessible, skirting board missing where visible. Fireplace removed, brick work exposed.</p>	<p>Panelling good condition.</p> <p>Fireplace in poor condition.</p> <p>No skirting board</p>		<p>Construct partition between G.02 and G.03 to accommodate for new internal layout.</p> <p>Traditional panelling with timber beading and skirting in accordance with the Georgian style, paint finish to walls in a heritage colour.</p> <p>Fireplace surrounds previously in place were not original to the building, and were probably installed as part of the 1960's refurbishment. (see heritage statement) The styles vary from floor to floor and some have become cracked and damaged as part of previous refurbishment.</p>	<p>Repair panelling and timber beading where damaged, Panels are to be bead blasted to remove existing paint and lightly sanded. Small cracks are to be infilled with a suitable wood filler prior to decorating. Any missing panels are to be replaced with replica pieces by specialist joiner. Replace skirting - paint finish - colour TBA</p> <p>To install replacement fireplace surrounds in the Georgian style, with fluted jambs and bulls eye corners, together with new free standing dog grate inserts. This will introduce a more consistent aesthetic, the only operational fireplace will be located in the ground floor meeting room G.02.</p> <p>Fit new partition of solid timber panelling at low and high level and glazing inbetween to reinstate the original room proportion.</p>


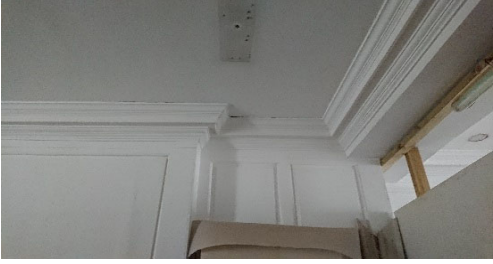


Project No. 406	Doc Type: SC	Doc No: 0660	Rev. B	Issue Date 29/10/2019
--------------------	-----------------	-----------------	-----------	--------------------------

Project 15 Great James Street

All new external and internal works and finishes and works of making good to the retained fabric, shall match the existing adjacent work with regard to the methods used and to material, texture and profile, unless shown otherwise on the drawings or other documentation. This is not a construction document, all details will be provided as part of the architectural documentation.

Full consideration is given in this document and supporting appendices to the special architectural and historic interest of the building, together with the Borough of Camden's planning policies relative to this application. The ethos of the design and method of works is to remain as unobtrusive as possible, maintaining and restoring the special features of the building whilst also providing an office environment appropriate for a central London site in the 21st Century.

<p>Floor</p>	<p>Architectural and historic interest of the early Georgian part of the Grade II* listed house.</p> <p>Some original timber floor boards. Room partly inaccessible. Areas of new boards and ply.</p> <p>The Heritage report confirms that a percentage of floorboards on ground floor are original and despite being in not the best of condition should be retained where possible whilst the floorboards on the upper floor are of less significance being part of the 70s refurbishment and could be replaced with new.</p>	<p>Ok condition</p>		<p>Existing timber floor boards with loose floor covering (rug).</p>	<p>Retain , clean, refurbish and fill as required the existing floor boards where possible and relay an upperfloor.</p> <p>Fit newEuropean hardwood floor on plywood substrate. Include 50mm PIR insulation between joists. Perimeter flanking strips to be utilised in order to maintain the acoustic performance of the floor.</p>
<p>Ceiling</p>	<p>Contemporary board ceiling, likely 1960's</p> <p>Ceiling has marks, lights have been removed. Cornice in place. Cracking between cornice and ceiling.</p>	<p>Ok condition</p>		<p>The original lath & plaster ceilings have been replaced with a mixture of cementitious and plasterboards, probably as part of the 1960's refurbishment.</p> <p>Replace ceilings in accordance with the Georgian style.</p>	<p>Replace all the boarded ceilings with new plasterboard in order to upgrade their acoustic performance. The installation is to be in a manner which does not interfere with the cornicing or any other associated decorative mouldings. Where original ceilings can be made good, this will be the avenue that is taken.</p> <p>Mouldings are to be bead blasted to remove existing paint and lightly sanded. Small cracks are to be infilled with a suitable filler. More serious repairs will involve the cutting out of sections of moulding before filling the removed areas with replica fibrous plaster mouldings. Once the filler has dried out the moulding is to be sanded to the shape of the original prior to decorating.</p>





Project No. 406	Doc Type: SC	Doc No: 0660	Rev. B	Issue Date 29/10/2019
--------------------	-----------------	-----------------	-----------	--------------------------

Project 15 Great James Street

All new external and internal works and finishes and works of making good to the retained fabric, shall match the existing adjacent work with regard to the methods used and to material, texture and profile, unless shown otherwise on the drawings or other documentation. This is not a construction document, all details will be provided as part of the architectural documentation.

Full consideration is given in this document and supporting appendices to the special architectural and historic interest of the building, together with the Borough of Camden's planning policies relative to this application. The ethos of the design and method of works is to remain as unobtrusive as possible, maintaining and restoring the special features of the building whilst also providing an office environment appropriate for a central London site in the 21st Century.

Doors	Contemporary panelled door, likely 1960's Panelled timber door, not original. Notches visible to timber frame.	Ok condition		The existing internal door-sets are not original to the building. (see heritage statement) The majority of the existing doors were installed during a refurbishment period in circa 1965, the features of which do not accord with the rest of the building.	Replace the existing doors with solid, individually crafted hardwood doors. The design and proportions of the replacement doors will follow those of the Georgian Period and as such will reinstate some of the character of the building. New ironmongery in keeping with the Georgian style, fire requirements to be agreed and hardware installed. Fit new double door DG12 with solid timber panelling at low level, glazing to high level to match new partition on either side, with wall panelling over.
Windows	Contemporary timber windows, mid 20th century. Partially inaccessible. Timber sash single glazed one over one box sash windows with folding timber shutters.	Ok condition		The front of No 15 appears to have been completely rebuilt, probably in the mid-20th century, perhaps after war damage. (see heritage statement) All of No. 15's windows to the front elevation have been renewed during the process.	Replace the existing frames and one over one sashes to the ground floor with solid, individually crafted hardwood curved frames and 6 over 6 sashes to match the rest of the terrace. The box frames, shutters and ironmongery to be repaired and refurbished. Paint finish - colour TBA

G.03	Description	Condition	Photo	Proposed	Action required
------	-------------	-----------	-------	----------	-----------------


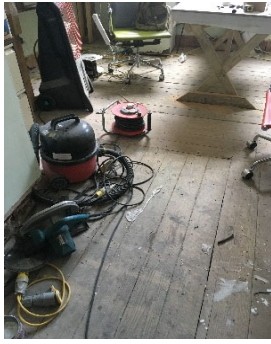


Project No. 406	Doc Type: SC	Doc No: 0660	Rev. B	Issue Date 29/10/2019
--------------------	-----------------	-----------------	-----------	--------------------------

Project 15 Great James Street

All new external and internal works and finishes and works of making good to the retained fabric, shall match the existing adjacent work with regard to the methods used and to material, texture and profile, unless shown otherwise on the drawings or other documentation. This is not a construction document, all details will be provided as part of the architectural documentation.

Full consideration is given in this document and supporting appendices to the special architectural and historic interest of the building, together with the Borough of Camden's planning policies relative to this application. The ethos of the design and method of works is to remain as unobtrusive as possible, maintaining and restoring the special features of the building whilst also providing an office environment appropriate for a central London site in the 21st Century.

<p>Walls</p>	<p>Architectural and historic interest of the early Georgian part of the Grade II* listed house.</p> <p>Panelling mostly good. Some scuff marks to walls. Skirting board missing. Fireplace infilled, brick work exposed.</p>	<p>Good condition</p>		<p>Construct internal partition between G.02, G.03 and G.04 to accommodate new internal layout.</p> <p>Traditional panelling with timber beading and skirting in accordance with the Georgian style, paint finish to walls in a heritage colour.</p> <p>Fireplace surrounds previously in place were not original to the building, and were probably installed as part of the 1960's refurbishment. (see heritage statement) The styles vary from floor to floor and some have become cracked and damaged during previous refurbishment.</p>	<p>Repair panelling and timber beading where damaged, Panels are to be bead blasted to remove existing paint and lightly sanded. Small cracks are to be infilled with a suitable wood filler prior to decorating. Any missing panels are to be replaced with replica pieces by specialist joiner. Replace skirting - paint finish - colour TBA</p> <p>Excavate fireplace infill and install replacement fireplace surrounds in the Georgian style, with fluted jambs and bulls eye corners, together with new free standing dog grate inserts. This will introduce a more consistent aesthetic, the fireplace to this room will not be operational.</p>
<p>Floor</p>	<p>Architectural and historic interest of the early Georgian part of the Grade II* listed house.</p> <p>Some original timber floor boards. Room partly inaccessible. Areas of new boards and ply.</p> <p>The Heritage report confirms that a percentage of floorboards on ground floor are original and despite being in not the best of condition should be retained where possible whilst the floorboards on the upper floor are of less significance being part of the 70s refurbishment and could be replaced with new.</p>	<p>Ok condition</p>		<p>Existing timber floor boards with loose floor covering (rug).</p>	<p>Retain , clean, refurbish and fill as required the existing floor boards where possible and relay an upperfloor.</p> <p>Fit new European hardwood floor on plywood substrate. Include 50mm PIR insulation between joists. Perimeter flanking strips to be utilised in order to maintain the acoustic performance of the floor.</p>





Project No. 406	Doc Type: SC	Doc No: 0660	Rev. B	Issue Date 29/10/2019
--------------------	-----------------	-----------------	-----------	--------------------------

Project 15 Great James Street

All new external and internal works and finishes and works of making good to the retained fabric, shall match the existing adjacent work with regard to the methods used and to material, texture and profile, unless shown otherwise on the drawings or other documentation. This is not a construction document, all details will be provided as part of the architectural documentation.

Full consideration is given in this document and supporting appendices to the special architectural and historic interest of the building, together with the Borough of Camden's planning policies relative to this application. The ethos of the design and method of works is to remain as unobtrusive as possible, maintaining and restoring the special features of the building whilst also providing an office environment appropriate for a central London site in the 21st Century.

Ceiling	Contemporary board ceiling, likely 1960's. Ceiling has holes, cuts and marks from previous light fittings. Cornice in place. Cracking between cornice and ceiling.	Good condition		The original lath & plaster ceilings have been replaced with a mixture of cementitious and plasterboards, probably as part of the 1960's refurbishment.	Replace all the boarded ceilings with new plasterboard in order to upgrade their acoustic performance. The installation is to be in a manner which does not interfere with the cornicing or any other associated decorative mouldings. Where original ceilings can be made good, this will be the avenue that is taken. Mouldings are to be bead blasted to remove existing paint and lightly sanded. Small cracks are to be infilled with a suitable filler. More serious repairs will involve the cutting out of sections of moulding before filling the removed areas with replica fibrous plaster mouldings. Once the filler has dried out the moulding is to be sanded to the shape of the original prior to decorating.
Doors	Contemporary panelled door, likely 1960's. Door removed. Timber door frame in place. Notches in door frame. Potentially not original.	Ok condition		The existing internal door-sets are not original to the building. (see heritage statement) The majority of the existing doors were installed during a refurbishment period in circa 1965, the features of which do not accord with the rest of the building.	Replace the existing doors with solid, individually crafted hardwood doors. The design and proportions of the replacement doors will follow those of the Georgian Period and as such will reinstate some of the character of the building. New ironmongery in keeping with the Georgian style, fire requirements to be agreed and hardware installed.
Windows	N/A	N/A	N/A	N/A	N/A






Project No. 406	Doc Type: SC	Doc No: 0660	Rev. B	Issue Date 29/10/2019
--------------------	-----------------	-----------------	-----------	--------------------------

Project 15 Great James Street

All new external and internal works and finishes and works of making good to the retained fabric, shall match the existing adjacent work with regard to the methods used and to material, texture and profile, unless shown otherwise on the drawings or other documentation. This is not a construction document, all details will be provided as part of the architectural documentation.

Full consideration is given in this document and supporting appendices to the special architectural and historic interest of the building, together with the Borough of Camden's planning policies relative to this application. The ethos of the design and method of works is to remain as unobtrusive as possible, maintaining and restoring the special features of the building whilst also providing an office environment appropriate for a central London site in the 21st Century.

G.04	Description	Condition	Photo	Proposed	Action required
Walls	<p>Architectural and historic interest of the early Georgian part of the Grade II* listed house.</p> <p>No wall panelling. Walls have holes and marks from removed boxing. No skirting board</p>	Poor condition		<p>Install internal partition between G.03 and G.04 to accommodate for new layout.</p> <p>Traditional panelling with timber beading and skirting in accordance with the Georgian style to be reinstated, paint finish to walls in a heritage colour.</p>	Make good existing walls. Replace skirting - paint finish - colour TBA
Floor	<p>Architectural and historic interest of the early Georgian part of the Grade II* listed house.</p> <p>Some original timber floor boards. Room partly inaccessible. Areas of new boards and ply.</p> <p>The Heritage report confirms that a percentage of floorboards on ground floor are original and despite being in not the best of condition should be retained where possible whilst the floorboards on the upper floor are of less significance being part of the 70s refurbishment and could be replaced with new.</p>	Ok condition		Existing timber floor boards with loose floor covering (rug) underfloor heating to be installed.	<p>Retain , clean, refurbish and fill as required the existing floor boards where possible and relay an upperfloor.</p> <p>Fit new European hardwood floor on plywood substrate. Include 50mm PIR insulation between joists. Perimeter flanking strips to be utilised in order to maintain the acoustic performance of the floor.</p>
Ceiling	No cornices. Ceiling has holes from previous light fittings. Lights have been removed	Poor condition		The original lath & plaster ceilings have been replaced with a mixture of cementitious and plasterboards, probably as part of the 1960's refurbishment.	Replace all the boarded ceilings with new plasterboard in order to upgrade their acoustic performance. Missing corning, appropriate to the early Georgian period, to be reinstated. Where original ceilings can be made good, this will be the avenue that is taken.
Doors	N/A	N/A	N/A	N/A	N/A





Project No. 406	Doc Type: SC	Doc No: 0660	Rev. B	Issue Date 29/10/2019
--------------------	-----------------	-----------------	-----------	--------------------------

Project 15 Great James Street

All new external and internal works and finishes and works of making good to the retained fabric, shall match the existing adjacent work with regard to the methods used and to material, texture and profile, unless shown otherwise on the drawings or other documentation. This is not a construction document, all details will be provided as part of the architectural documentation.

Full consideration is given in this document and supporting appendices to the special architectural and historic interest of the building, together with the Borough of Camden's planning policies relative to this application. The ethos of the design and method of works is to remain as unobtrusive as possible, maintaining and restoring the special features of the building whilst also providing an office environment appropriate for a central London site in the 21st Century.

Windows	Contemporary timber windows, mid 20th century. Single glazed. Timber sash windows and timber frame.	Good condition		The rear elevation of No 15 appears to have been completely rebuilt after the mid 1960's. (see heritage statement) All of No. 15's windows have been renewed during the process. Windows W.G.03 & W.G.09 to be changed into contemporary style windows.	Rear wall to be rebuilt. W.G.03 & W.G.09 to become full height internal glazing panels. Replace existing one over one sashes with new contemporary door and full height fixed internal window.
---------	------------------------------------------------------------------------------------------------------------	----------------	--------------------------------------------------------------------------------------	----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------

G.05 - Kitchenette	Description	Condition	Photo	Proposed	Action required
Walls	Contemporary extension to property, post 1965. Marks and holes to walls. Splash back tiled, shelves and cupboards to walls	Ok condition		Plaster finish with simple detail to skirting and cornice. Contemporary treatment to reflect area of new intervention. Paint finish to walls TBC.	Demolish partitions to accommodate for new internal layout. Repair plastered walls where damaged - paint finish - colour TBA
Floor	Contemporary extension to property, post 1965. Lino tiles to floor.	Bad condition		New structural slab under Solacir Interiors Microscreed to comprise primer, fibreglass reinforcement and wax finish on DPM (allow 15mm overall. from top of screed), on 65mm screed, on DPM.	Existing floor and structure to be completely removed, demolished and replaced. New floor finish to be exposed screed with maintained level access from hallway.


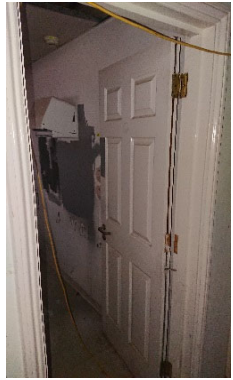



Project No. 406	Doc Type: SC	Doc No: 0660	Rev. B	Issue Date 29/10/2019
--------------------	-----------------	-----------------	-----------	--------------------------

Project 15 Great James Street

All new external and internal works and finishes and works of making good to the retained fabric, shall match the existing adjacent work with regard to the methods used and to material, texture and profile, unless shown otherwise on the drawings or other documentation. This is not a construction document, all details will be provided as part of the architectural documentation.

Full consideration is given in this document and supporting appendices to the special architectural and historic interest of the building, together with the Borough of Camden's planning policies relative to this application. The ethos of the design and method of works is to remain as unobtrusive as possible, maintaining and restoring the special features of the building whilst also providing an office environment appropriate for a central London site in the 21st Century.


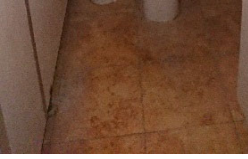

Ceiling	Contemporary extension to property, post 1965. Suspended grid ceiling, missing tiles	Bad condition		MF casoline gypsum board suspended ceiling system to be installed. Review services passing through walls with fire consultant.	Current ceiling/roof to rear extension to be completely demolished and reconstructed. Suspended grid ceiling a newer addition after 1960's, this is to be removed. New suspended ceiling system to be installed to ground floor extension at rear of the property.
Doors	Contemporary extension to property, post 1965. Panelled timber door and frame, some marks.	Good condition		The existing internal door-set is not original to the building. (see heritage statement) The majority of the existing doors were installed during a refurbishment period in circa 1965.	Demolish partition, remove door D.G.08 to accommodate for new internal layout.
Windows	Contemporary extension to property, post 1965. Small openable timber frame window with frosted glass infill.	Good condition		Windows in this area are not original, they form part of an extension to the property post 1965. (see heritage statement). Therefore their removal will not be detrimental to heritage/character.	Windows W.G.06 & W.G.07 to be removed to accommodate for new internal layout.

Project No.
406Doc Type:
SCDoc No:
0660Rev.
BIssue Date
29/10/2019

Project 15 Great James Street

All new external and internal works and finishes and works of making good to the retained fabric, shall match the existing adjacent work with regard to the methods used and to material, texture and profile, unless shown otherwise on the drawings or other documentation. This is not a construction document, all details will be provided as part of the architectural documentation.

Full consideration is given in this document and supporting appendices to the special architectural and historic interest of the building, together with the Borough of Camden's planning policies relative to this application. The ethos of the design and method of works is to remain as unobtrusive as possible, maintaining and restoring the special features of the building whilst also providing an office environment appropriate for a central London site in the 21st Century.

G.06 - WC	Description	Condition	Photo	Proposed	Action required
Walls	Contemporary extension to property, post 1965. Tiled walls	Good condition		Plaster finish with simple detail to skirting and cornice. Contemporary treatment to reflect area of new intervention. Paint finish to walls TBC.	Demolish partitions to accommodate for new internal layout. Remove tiles from retained walls. Skim plastered walls where damaged - paint finish - colour TBA
Floor	Contemporary extension to property, post 1965. Tiled floor, missing tiles in places.	Poor condition		New structural slab under Solacir Interiors Microscreed to comprise primer, fibreglass reinforcement and wax finish on DPM (allow 15mm overall. from top of screed), on 65mm screed on DPM.	Existing floor and structure to be completely removed, demolished and replaced. New floor finish to be exposed screed with maintained level access from hallway.
Ceiling	Contemporary extension to property, post 1965. Suspended grid ceiling. Grid structure still up, very few tiles in tact. Light fittings have not been removed.	Bad condition		MF casoline gypsum board suspended ceiling system to be installed. Review services passing through walls with fire consultant.	Current ceiling/roof to rear extension to be completely demolished and reconstructed. Suspended grid ceiling a newer addition after 1960's, this is to be removed. New suspended ceiling system to be installed to ground floor extension at rear of the property.



Project No. 406	Doc Type: SC	Doc No: 0660	Rev. B	Issue Date 29/10/2019
--------------------	-----------------	-----------------	-----------	--------------------------

Project 15 Great James Street

All new external and internal works and finishes and works of making good to the retained fabric, shall match the existing adjacent work with regard to the methods used and to material, texture and profile, unless shown otherwise on the drawings or other documentation. This is not a construction document, all details will be provided as part of the architectural documentation.

Full consideration is given in this document and supporting appendices to the special architectural and historic interest of the building, together with the Borough of Camden's planning policies relative to this application. The ethos of the design and method of works is to remain as unobtrusive as possible, maintaining and restoring the special features of the building whilst also providing an office environment appropriate for a central London site in the 21st Century.

Doors	Contemporary extension to property, post 1965. Panelled timber door and frame, some marks.	Good condition		The existing internal door-set is not original to the building. (see heritage statement) The majority of the existing doors were installed during a refurbishment period in circa 1965.	Demolish partitions, remove doors D.G.04, D.G.05 and D.G.07 to accommodate for new internal layout.
Windows	Contemporary extension to property, post 1965. 2 x Small timber frame windows with frosted glass infill. 1 with Extractor fan installed to glazing. Not original, a modern addition.	Good condition		Windows in this area are not original, they form part of an extension to the property post 1965. (see heritage statement). Therefore their removal will not be detrimental to heritage/character.	Windows W.G.04 & W.G.05 to be removed to accommodate for new internal layout.






Project No. 406	Doc Type: SC	Doc No: 0660	Rev. B	Issue Date 29/10/2019
--------------------	-----------------	-----------------	-----------	--------------------------

Project 15 Great James Street

All new external and internal works and finishes and works of making good to the retained fabric, shall match the existing adjacent work with regard to the methods used and to material, texture and profile, unless shown otherwise on the drawings or other documentation. This is not a construction document, all details will be provided as part of the architectural documentation.

Full consideration is given in this document and supporting appendices to the special architectural and historic interest of the building, together with the Borough of Camden's planning policies relative to this application. The ethos of the design and method of works is to remain as unobtrusive as possible, maintaining and restoring the special features of the building whilst also providing an office environment appropriate for a central London site in the 21st Century.

G.07 -	Description	Condition	Photo	Proposed	Action required
Walls	Contemporary extension to property, post 1965. Room not fully accessible. Panelling to walls mostly intact. Door opening to right wall partially infilled with breeze block. Skirting board missing in places.	Bad condition.		Plaster finish with simple detail to skirting and cornice. Contemporary treatment to reflect area of new intervention. Paint finish to walls TBC.	Demolish/construct partitions to accommodate for new internal layout. Remove wall panelling, a contemporary 1965+ addition, it's removal will not impact the heritage/character of the main house listing status. Skim plastered walls where damaged - paint finish - colour TBA
Floor	Contemporary extension to property, post 1965. Damaged wooden parquet floor.	Ok condition		New structural slab under Solacir Interiors Microscreed to comprise primer, fibreglass reinforcement and wax finish on DPM (allow 15mm overall. from top of screed), on 65mm screed on DPM.	Existing floor and structure to be completely removed, demolished and replaced. New floor finish to be exposed screed with maintained level access from hallway.
Ceiling	Contemporary extension to property, post 1965. Beams and rafters exposed. Plaster board has been removed. Cornicing has been removed.	Bad condition.		MF casoline gypsum board suspended ceiling system to be installed. Review services passing through walls with fire consultant.	Current ceiling/roof to rear extension to be completely demolished and reconstructed. Current ceiling a newer addition after 1960's. New suspended ceiling system to be installed.



Project No. 406	Doc Type: SC	Doc No: 0660	Rev. B	Issue Date 29/10/2019
--------------------	-----------------	-----------------	-----------	--------------------------

Project 15 Great James Street

All new external and internal works and finishes and works of making good to the retained fabric, shall match the existing adjacent work with regard to the methods used and to material, texture and profile, unless shown otherwise on the drawings or other documentation. This is not a construction document, all details will be provided as part of the architectural documentation.

Full consideration is given in this document and supporting appendices to the special architectural and historic interest of the building, together with the Borough of Camden's planning policies relative to this application. The ethos of the design and method of works is to remain as unobtrusive as possible, maintaining and restoring the special features of the building whilst also providing an office environment appropriate for a central London site in the 21st Century.




Doors	Contemporary extension to property, post 1965. Timber door frame, with marks notches. Door has been removed.	Door frame in good condition		The existing internal door-set is not original to the building. (see heritage statement) The majority of the existing doors were installed during a refurbishment period in circa 1965.	Remove door D.G.06 to accommodate for new internal layout.
Windows	Contemporary extension to property, post 1965. 2 x Acrylic bubble skylights, timber frame skylights to roof.	Ok condition		Windows in this area are not original, they form part of an extension to the property post 1965. (see heritage statement). Therefore their removal will not be detrimental to heritage/character.	Current skylights to be removed. New contemporary walk-on skylights to be fitted to ground floor roof/1st floor terrace. The first close to the existing rear elevation, the second at the end of the 1st floor terrace along the rear boundary line.

Project No.
406Doc Type:
SCDoc No:
0660Rev.
BIssue Date
29/10/2019

Project 15 Great James Street

All new external and internal works and finishes and works of making good to the retained fabric, shall match the existing adjacent work with regard to the methods used and to material, texture and profile, unless shown otherwise on the drawings or other documentation. This is not a construction document, all details will be provided as part of the architectural documentation.

Full consideration is given in this document and supporting appendices to the special architectural and historic interest of the building, together with the Borough of Camden's planning policies relative to this application. The ethos of the design and method of works is to remain as unobtrusive as possible, maintaining and restoring the special features of the building whilst also providing an office environment appropriate for a central London site in the 21st Century.

G.08 - Hallway	Description	Condition	Photo	Proposed	Action required
Walls	Contemporary extension to property, post 1965. Holes and marks to wall. Skirting board missing in places.	Bad condition		Plaster finish with simple detail to skirting and cornice (potentially emphasized through void like no.14). Contemporary treatment to reflect area of new intervention. Paint finish to walls TBC.	Hallway a contemporary addition to the original house. This is to be completely demolished and a new extension constructed to accommodate the new internal layout.
Floor	Contemporary extension to property, post 1965. No floor finish. Concrete/screed exposed	Floor incomplete		New structural slab under Solacir Interiors Microscreed to comprise primer, fibreglass reinforcement and wax finish on DPM (allow 15mm overall from top of screed), on 65mm screed on DPM.	Existing floor and structure to be completely removed, demolished and replaced. New floor finish to be exposed screed with maintained level access from hallway.
Ceiling	Contemporary extension to property, post 1965. No cornice. Cut out made in plasterboard. Additional marks and holes to plaster.	Bad condition		MF casoline gypsum board suspended ceiling system to be installed. Review services passing through walls with fire consultant.	Current ceiling/roof to rear extension a newer addition after 1960's. Ceiling/roof to be completely demolished and reconstructed. New suspended ceiling system to be installed to ground floor extension at rear of the property.



Project No. 406	Doc Type: SC	Doc No: 0660	Rev. B	Issue Date 29/10/2019
--------------------	-----------------	-----------------	-----------	--------------------------

Project 15 Great James Street

All new external and internal works and finishes and works of making good to the retained fabric, shall match the existing adjacent work with regard to the methods used and to material, texture and profile, unless shown otherwise on the drawings or other documentation. This is not a construction document, all details will be provided as part of the architectural documentation.

Full consideration is given in this document and supporting appendices to the special architectural and historic interest of the building, together with the Borough of Camden's planning policies relative to this application. The ethos of the design and method of works is to remain as unobtrusive as possible, maintaining and restoring the special features of the building whilst also providing an office environment appropriate for a central London site in the 21st Century.

Doors	Contemporary extension to property, post 1965. Panelled timber door and frame, some marks.	Good condition		The existing internal door-set is not original to the building. (see heritage statement) The majority of the existing doors were installed during a refurbishment period in circa 1965.	Demolish partitions, remove doors D.G.06, D.G.07 and D.G.08 to accommodate for new internal layout.
Windows	Contemporary extension to property, post 1965. Small timber frame window with fritted glass infill, fixed shut.	Good condition		Windows in this area are not original, they form part of an extension to the property post 1965. (see heritage statement). Therefore their removal will not be detrimental to heritage/character.	Window W.G.08 to be removed to accommodate for new internal layout.



Project No. 406	Doc Type: SC	Doc No: 0660	Rev. B	Issue Date 29/10/2019
--------------------	-----------------	-----------------	-----------	--------------------------

Project 15 Great James Street

All new external and internal works and finishes and works of making good to the retained fabric, shall match the existing adjacent work with regard to the methods used and to material, texture and profile, unless shown otherwise on the drawings or other documentation. This is not a construction document, all details will be provided as part of the architectural documentation.

Full consideration is given in this document and supporting appendices to the special architectural and historic interest of the building, together with the Borough of Camden's planning policies relative to this application. The ethos of the design and method of works is to remain as unobtrusive as possible, maintaining and restoring the special features of the building whilst also providing an office environment appropriate for a central London site in the 21st Century.

G.09 - Hallway	Description	Condition	Photo	Proposed	Action required
Stairs	<p>Architectural and historic interest of the early Georgian part of the Grade II* listed house.</p> <p>Timber stair treads exposed, balustrade boxed out for protection.</p>	Good condition		<p>Original stair to be restored in accordance with the Georgian style. The staircase has ornate balustrades with carved open strings, moulded nosing's, twisted barley-sugar balusters and hardwood frogs back handrails that spiral at the base of the stair. The stair soffits comprise raised and fielded panels to match the wall panelling.</p>	<p>Repair stair tread and balustrade where damaged, Panels are to be bead blasted to remove existing paint and lightly sanded. Small cracks are to be infilled with a suitable wood filler prior to decorating. Any missing panels are to be replaced with replica pieces by specialist joiner. Replace skirting - paint finish - colour TBA</p>
Walls	<p>Architectural and historic interest of the early Georgian part of the Grade II* listed house.</p> <p>Panelling in tact, marks in places, no skirting board.</p>	Good condition		<p>Traditional panelling with timber beading and skirting in accordance with the Georgian style, paint finish to walls in a heritage colour.</p> <p>The styles vary from floor to floor and some have become cracked and damaged.</p>	<p>Repair panelling and timber beading where damaged, Panels are to be bead blasted to remove existing paint and lightly sanded. Small cracks are to be infilled with a suitable wood filler prior to decorating. Any missing panels are to be replaced with replica pieces by specialist joiner. Replace skirting - paint finish - colour TBA</p>





Project No. 406	Doc Type: SC	Doc No: 0660	Rev. B	Issue Date 29/10/2019
--------------------	-----------------	-----------------	-----------	--------------------------

Project 15 Great James Street

All new external and internal works and finishes and works of making good to the retained fabric, shall match the existing adjacent work with regard to the methods used and to material, texture and profile, unless shown otherwise on the drawings or other documentation. This is not a construction document, all details will be provided as part of the architectural documentation.

Full consideration is given in this document and supporting appendices to the special architectural and historic interest of the building, together with the Borough of Camden's planning policies relative to this application. The ethos of the design and method of works is to remain as unobtrusive as possible, maintaining and restoring the special features of the building whilst also providing an office environment appropriate for a central London site in the 21st Century.

<p>Floor</p>	<p>Architectural and historic interest of the early Georgian part of the Grade II* listed house.</p> <p>Some original timber floor boards. Missing in places. Areas of new boards and ply.</p>	<p>Ok condition</p>		<p>Existing timber floor boards with loose floor covering (rug).</p>	<p>Retain and refurbish original floor boards where possible. Replace any post Georgian boards with reclaimed Georgian floor boards that are in good condition.</p> <p>Original floorboards may be affected by heat in such close proximity - Before the original floorboards are reinstated a WBO plywood subfloor is to be installed over the joists. This will provide the required structural stability and also absorb any latent moisture to protect the original floorboards.</p> <p>Remove existing boards that are in acceptable condition; refit on plywood substrate. Include 50mm PIR insulation between joists. Perimeter flanking strips to be utilised in order to maintain the acoustic performance of the floor.</p>
<p>Ceiling</p>	<p>Contemporary board ceiling, likely 1960's</p> <p>Ceiling has marks, lights have been removed. Cornice fully intact and in place.</p>	<p>Good condition</p>		<p>The original lath & plaster ceilings have been replaced with a mixture of cementitious and plasterboards, probably as part of the 1960's refurbishment. Replace ceiling in accordance with original Georgian style.</p>	<p>Replace all the boarded ceilings with new plasterboard in order to upgrade their acoustic performance. The installation is to be in a manner which does not interfere with the cornicing or any other associated decorative mouldings. Where original ceilings can be made good, this will be the avenue that is taken.</p> <p>Mouldings are to be bead blasted to remove existing paint and lightly sanded. Small cracks are to be infilled with a suitable filler. More serious repairs will involve the cutting out of sections of moulding before filling the removed areas with replica fibrous plaster mouldings. Once the filler has dried out the moulding is to be sanded to the shape of the original prior to decorating.</p>



Project No. 406	Doc Type: SC	Doc No: 0660	Rev. B	Issue Date 29/10/2019
--------------------	-----------------	-----------------	-----------	--------------------------

Project 15 Great James Street

All new external and internal works and finishes and works of making good to the retained fabric, shall match the existing adjacent work with regard to the methods used and to material, texture and profile, unless shown otherwise on the drawings or other documentation. This is not a construction document, all details will be provided as part of the architectural documentation.

Full consideration is given in this document and supporting appendices to the special architectural and historic interest of the building, together with the Borough of Camden's planning policies relative to this application. The ethos of the design and method of works is to remain as unobtrusive as possible, maintaining and restoring the special features of the building whilst also providing an office environment appropriate for a central London site in the 21st Century.

Doors	Contemporary panelled door, likely 1960's. Panelled timber doors and frames. Some marking to painted finish.	Good condition	Photo TBC	The existing internal door-sets are not original to the building. (see heritage statement) The majority of the existing doors were installed during a refurbishment period in circa 1965, the features of which do not accord with the rest of the building.	Replace the existing doors with solid, individually crafted hardwood doors. The design and proportions of the replacement doors will follow those of the Georgian Period and as such will reinstate some of the character of the building. New ironmongery in keeping with the Georgian style, fire requirements to be agreed and hardware installed.
Windows	N/A	N/A	N/A	N/A	N/A



Schedule of Condition


Project No. 406	Doc Type: SC	Doc No: 0660	Rev. B	Issue Date 29/10/2019
--------------------	-----------------	-----------------	-----------	--------------------------

Project 15 Great James Street

All new external and internal works and finishes and works of making good to the retained fabric, shall match the existing adjacent work with regard to the methods used and to material, texture and profile, unless shown otherwise on the drawings or other documentation. This is not a construction document, all details will be provided as part of the architectural documentation.

Full consideration is given in this document and supporting appendices to the special architectural and historic interest of the building, together with the Borough of Camden's planning policies relative to this application. The ethos of the design and method of works is to remain as unobtrusive as possible, maintaining and restoring the special features of the building whilst also providing an office environment appropriate for a central London site in the 21st Century.

First Floor

1.01	Description	Condition	Photo	Proposed	Action required
Walls	<p>Architectural and historic interest of the early Georgian part of the Grade II* listed house.</p> <p>No panelling. Holes and cracks to plaster. Some brickwork exposed. No skirting boards.</p>	Bad condition		<p>Traditional panelling with timber beading and skirting in accordance with the Georgian style, paint finish to walls in a heritage colour.</p> <p>Reinstate fireplace surround. Others throughout the property were probably installed as part of the 1960's refurbishment. (see heritage statement) The styles vary from floor to floor and some have become cracked and damaged.</p>	<p>Missing panels are to be replaced with replica pieces by specialist joiner. Replace skirting - paint finish - colour TBA</p> <p>Install partition between room 1.01 and 1.02 to accommodate for new internal layout.</p> <p>Form new door opening D1.04.</p> <p>Reinstate fireplace surround in the Georgian style, with fluted jambs and bulls eye corners, together with new free standing dog grate inserts. This will introduce a more consistent aesthetic, the only operational fireplaces will be located in the ground floor meeting rooms G.02 & G.03.</p>
Floor	<p>Architectural and historic interest of the early Georgian part of the Grade II* listed house.</p> <p>Existing timber floor boards. Missing in places. Areas of new boards and ply. The Heritage Consultant is rating the floorboards as not significant to the listing.</p>	Ok condition	Photo TBC	Existing timber floor boards with loose floor covering (rug).	<p>Retain, clean, refurbish and fill as required the existing floor boards where possible and relay an upperfloor.</p> <p>Fit original boards from groundfloor and if required additional reclaimed boards to match on plywood substrate. Include 50mm PIR insulation between joists. Perimeter flanking strips to be utilised in order to maintain the acoustic performance of the floor.</p>





Project No. 406	Doc Type: SC	Doc No: 0660	Rev. B	Issue Date 29/10/2019
--------------------	-----------------	-----------------	-----------	--------------------------

Project 15 Great James Street

All new external and internal works and finishes and works of making good to the retained fabric, shall match the existing adjacent work with regard to the methods used and to material, texture and profile, unless shown otherwise on the drawings or other documentation. This is not a construction document, all details will be provided as part of the architectural documentation.

Full consideration is given in this document and supporting appendices to the special architectural and historic interest of the building, together with the Borough of Camden's planning policies relative to this application. The ethos of the design and method of works is to remain as unobtrusive as possible, maintaining and restoring the special features of the building whilst also providing an office environment appropriate for a central London site in the 21st Century.

Ceiling	Contemporary board ceiling, likely 1960's Ceiling has cracks, cut outs for new light fittings. Cornice in place, some cracks between cornicing and ceiling.	Good condition		The original lath & plaster ceilings have been replaced with a mixture of cementitious and plasterboards, probably as part of the 1960's refurbishment.	Replace all the boarded ceilings with new plasterboard in order to upgrade their acoustic performance. The installation is to be in a manner which does not interfere with the cornicing or any other associated decorative mouldings. Where original ceilings can be made good, this will be the avenue that is taken. Mouldings are to be bead blasted to remove existing paint and lightly sanded. Small cracks are to be infilled with a suitable filler. More serious repairs will involve the cutting out of sections of moulding before filling the removed areas with replica fibrous plaster mouldings. Once the filler has dried out the moulding is to be sanded to the shape of the original prior to decorating.
Doors	N/A	N/A	N/A	N/A	N/A
Windows	Contemporary timber windows, mid 20th century. Single glazed Timber sash windows and timber frame. Some repairs needed to window frames.	Ok condition		The front of No 15 appears to have been completely rebuilt, probably in the mid-20th century, perhaps after war damage. (see heritage statement) All of No. 15's windows have been renewed during the process.	Replace the existing frames and one over one sashes to the first floor with solid, individually crafted hardwood curved frames and 9 over 6 sashes to match the rest of the terrace. The box frames, shutters and ironmongery to be repaired and refurbished. Paint finish - colour TBA

1.02	Description	Condition	Photo	Proposed	Action required
------	-------------	-----------	-------	----------	-----------------





Project No. 406	Doc Type: SC	Doc No: 0660	Rev. B	Issue Date 29/10/2019
--------------------	-----------------	-----------------	-----------	--------------------------

Project 15 Great James Street

All new external and internal works and finishes and works of making good to the retained fabric, shall match the existing adjacent work with regard to the methods used and to material, texture and profile, unless shown otherwise on the drawings or other documentation. This is not a construction document, all details will be provided as part of the architectural documentation.

Full consideration is given in this document and supporting appendices to the special architectural and historic interest of the building, together with the Borough of Camden's planning policies relative to this application. The ethos of the design and method of works is to remain as unobtrusive as possible, maintaining and restoring the special features of the building whilst also providing an office environment appropriate for a central London site in the 21st Century.

Walls	<p>Architectural and historic interest of the early Georgian part of the Grade II* listed house.</p> <p>No panelling. Holes and cracks to plaster. Some brickwork exposed. No skirting boards. Fireplace exposed, previously infilled, some excavation work still required.</p>	Bad condition		<p>Traditional panelling with timber beading and skirting in accordance with the Georgian style, paint finish to walls in a heritage colour.</p> <p>Reinstate fireplace surrounds. Others elsewhere in the property were not original to the building, and were probably installed as part of the 1960's refurbishment. (see heritage statement) The styles vary from floor to floor and some have become cracked and damaged.</p>	<p>Missing panels are to be replaced with replica pieces by specialist joiner. Replace skirting - paint finish - colour TBA</p> <p>Install partitions to accommodate for new internal layout and lift/lift lobby.</p> <p>Completely excavate partially infilled fireplace. Install replacement fireplace surround in the Georgian style, with fluted jambs and bulls eye corners, together with new free standing dog grate inserts. This will introduce a more consistent aesthetic, the only operational fireplaces will be located in the ground floor meeting rooms G.02 & G.03.</p>
Floor	<p>Architectural and historic interest of the early Georgian part of the Grade II* listed house.</p> <p>Existing timber floor boards. Missing in places. Areas of new boards and ply.</p> <p>The Heritage Consultant is rating the floorboards as not significant to the listing.</p>	Ok condition		<p>Existing timber floor boards with loose floor covering (rug).</p>	<p>Retain, clean, refurbish and fill as required the existing floor boards where possible and relay an upperfloor.</p> <p>Fit original boards from groundfloor and if required additional reclaimed boards to match on plywood substrate. Include 50mm PIR insulation between joists. Perimeter flanking strips to be utilised in order to maintain the acoustic performance of the floor.</p>





Project No. 406	Doc Type: SC	Doc No: 0660	Rev. B	Issue Date 29/10/2019
--------------------	-----------------	-----------------	-----------	--------------------------

Project 15 Great James Street

All new external and internal works and finishes and works of making good to the retained fabric, shall match the existing adjacent work with regard to the methods used and to material, texture and profile, unless shown otherwise on the drawings or other documentation. This is not a construction document, all details will be provided as part of the architectural documentation.

Full consideration is given in this document and supporting appendices to the special architectural and historic interest of the building, together with the Borough of Camden's planning policies relative to this application. The ethos of the design and method of works is to remain as unobtrusive as possible, maintaining and restoring the special features of the building whilst also providing an office environment appropriate for a central London site in the 21st Century.

Ceiling	Contemporary board ceiling, likely 1960's. Ceiling has cracks, cut outs for new light fittings. Cornice in place, some cracks between corning and ceiling.	Good condition		The original lath & plaster ceilings have been replaced with a mixture of cementitious and plasterboards, probably as part of the 1960's refurbishment.	Replace all the boarded ceilings with new plasterboard in order to upgrade their acoustic performance. The installation is to be in a manner which does not interfere with the corning or any other associated decorative mouldings. Where original ceilings can be made good, this will be the avenue that is taken. Mouldings are to be bead blasted to remove existing paint and lightly sanded. Small cracks are to be infilled with a suitable filler. More serious repairs will involve the cutting out of sections of moulding before filling the removed areas with replica fibrous plaster mouldings. Once the filler has dried out the moulding is to be sanded to the shape of the original prior to decorating.
Doors	Contemporary timber door, likely 1960's. Wooden timber panelled door and frame.	Good condition		The existing internal door-sets are not original to the building. (see heritage statement) The majority of the existing doors were installed during a refurbishment period in circa 1965, the features of which do not accord with the rest of the building.	Replace the existing doors with solid, individually crafted hardwood doors. The design and proportions of the replacement doors will follow those of the Georgian Period and as such will reinstate some of the character of the building. New ironmongery in keeping with the Georgian style, fire requirements to be agreed and hardware installed.
Windows	N/A	N/A	N/A	N/A	N/A

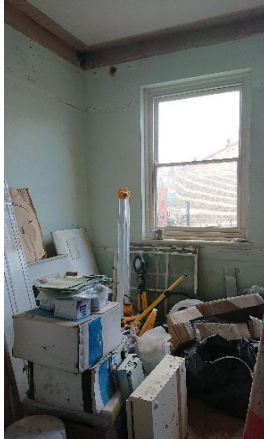


Project No. 406	Doc Type: SC	Doc No: 0660	Rev. B	Issue Date 29/10/2019
--------------------	-----------------	-----------------	-----------	--------------------------

Project 15 Great James Street

All new external and internal works and finishes and works of making good to the retained fabric, shall match the existing adjacent work with regard to the methods used and to material, texture and profile, unless shown otherwise on the drawings or other documentation. This is not a construction document, all details will be provided as part of the architectural documentation.

Full consideration is given in this document and supporting appendices to the special architectural and historic interest of the building, together with the Borough of Camden's planning policies relative to this application. The ethos of the design and method of works is to remain as unobtrusive as possible, maintaining and restoring the special features of the building whilst also providing an office environment appropriate for a central London site in the 21st Century.

1.03	Description	Condition	Photo	Proposed	Action required
Walls	<p>Architectural and historic interest of the early Georgian part of the Grade II* listed house.</p> <p>No panelling. Holes and cracks to plaster. Some brickwork exposed. No skirting boards.</p>	Bad condition		Plaster finish with simple detail to skirting and cornice (potentially emphasized through void like no.14). Contemporary treatment to reflect area of new intervention. Paint finish to walls TBC.	Demolish existing rear wall. Construct new rear external wall and internal partitions to accommodate for new layout. New plasterboard walls with contemporary detail - paint finish - colour TBA
Floor	<p>Architectural and historic interest of the early Georgian part of the Grade II* listed house.</p> <p>No existing boards. Partially inaccessible. New chip board sheets have been installed, needs investigation.</p> <p>The Heritage Consultant is rating the floorboards as not significant to the listing.</p>	Floor incomplete	Photo TBC	Existing timber floor boards with loose floor covering (rug).	<p>Retain , clean, refurbish and fill as required the existing floor boards where possible and relay an upperfloor.</p> <p>Fit original boards from groundfloor and if required additional reclaimed boards to match on plywood substrate. Include 50mm PIR insulation between joists. Perimeter flanking strips to be utilised in order to maintain the acoustic performance of the floor.</p>





Project No. 406	Doc Type: SC	Doc No: 0660	Rev. B	Issue Date 29/10/2019
--------------------	-----------------	-----------------	-----------	--------------------------

Project 15 Great James Street

All new external and internal works and finishes and works of making good to the retained fabric, shall match the existing adjacent work with regard to the methods used and to material, texture and profile, unless shown otherwise on the drawings or other documentation. This is not a construction document, all details will be provided as part of the architectural documentation.

Full consideration is given in this document and supporting appendices to the special architectural and historic interest of the building, together with the Borough of Camden's planning policies relative to this application. The ethos of the design and method of works is to remain as unobtrusive as possible, maintaining and restoring the special features of the building whilst also providing an office environment appropriate for a central London site in the 21st Century.

Ceiling	Contemporary board ceiling, likely 1960's. Ceiling has marks, lights have been removed.	Ok condition		The original lath & plaster ceilings have been replaced with a mixture of cementitious and plasterboards, probably as part of the 1960's refurbishment.	Replace all the boarded ceilings with new plasterboard in order to upgrade their acoustic performance. The installation is to be in a manner which does not interfere with the cornicing or any other associated decorative mouldings. Where original ceilings can be made good, this will be the avenue that is taken. Mouldings are to be bead blasted to remove existing paint and lightly sanded. Small cracks are to be infilled with a suitable filler. More serious repairs will involve the cutting out of sections of moulding before filling the removed areas with replica fibrous plaster mouldings. Once the filler has dried out the moulding is to be sanded to the shape of the original prior to decorating.
Doors	N/A	N/A	N/A	N/A	N/A
Windows	Contemporary timber windows, mid 20th century. Single glazed. Timber frame, sash windows. White painted finish.	Good condition		The rear elevation of No 15 appears to have been completely rebuilt after the mid 1960's. (see heritage statement) All of No. 15's windows have been renewed during the process. Windows to be replaced with contemporary style double glazed units to visually articulate area of new intervention.	Replace the existing one over one sashes with new contemporary windows to indicate area of new intervention. colour TBA



Project No. 406	Doc Type: SC	Doc No: 0660	Rev. B	Issue Date 29/10/2019
--------------------	-----------------	-----------------	-----------	--------------------------

Project 15 Great James Street

All new external and internal works and finishes and works of making good to the retained fabric, shall match the existing adjacent work with regard to the methods used and to material, texture and profile, unless shown otherwise on the drawings or other documentation. This is not a construction document, all details will be provided as part of the architectural documentation.

Full consideration is given in this document and supporting appendices to the special architectural and historic interest of the building, together with the Borough of Camden's planning policies relative to this application. The ethos of the design and method of works is to remain as unobtrusive as possible, maintaining and restoring the special features of the building whilst also providing an office environment appropriate for a central London site in the 21st Century.

1.04 - WC's	Description	Condition	Photo	Proposed	Action required
Walls	Entirely inaccessible - 20/06/19 Contemporary addition/alteration, mid 1960's (see Heritage Statement). Walls likely to be of a contemporary style, eg simple profile cornice and skirting board.	Not accessible - 20/06/19	TBC	The rear elevation of No 15 appears to have been completely rebuilt after the mid 1960's. (see heritage statement) All of No. 15's windows have been renewed during the process. Windows to be replaced with contemporary style double glazed units to visually articulate area of new intervention.	Demolish existing rear wall. Construct new rear external wall and internal partitions to accommodate for new layout. New plasterboard walls with contemporary detail - paint finish - colour TBA
Floor	Entirely inaccessible - 20/06/19 Contemporary addition/alteration, mid 1960's (see Heritage Statement). Floor finish likely to be contemporary tiles, TBC.	Not accessible - 20/06/19	TBC	Existing timber floor boards. New tiles to be installed over tanking.	Existing floor and structure to be completely removed, demolished and replaced on higher level to mitigate headheight issues on ground floor. Three new access steps required form landing. New floor finish to be exposed screed with maintained level access from hallway.
Ceiling	Entirely inaccessible - 20/06/19 Contemporary addition/alteration, mid 1960's (see Heritage Statement). Ceiling treatment likely to be a contemporary boarding/grid ceiling (TBC).	Not accessible - 20/06/19	TBC	MF casoline gypsum board suspended ceiling system to be installed. Review services passing through walls with fire consultant.	completely removed, demolished and
Doors	No door/access to room 1.04.	Not accessible - 20/06/19	TBC	Install a traditional timber panelled door in accordance with the Georgian style. Location to reinstate connection between 1.05 stair half landing and 1.04 WC.	replaced. New floor finish to be exposed




Project No. 406	Doc Type: SC	Doc No: 0660	Rev. B	Issue Date 29/10/2019
--------------------	-----------------	-----------------	-----------	--------------------------

Project 15 Great James Street

All new external and internal works and finishes and works of making good to the retained fabric, shall match the existing adjacent work with regard to the methods used and to material, texture and profile, unless shown otherwise on the drawings or other documentation. This is not a construction document, all details will be provided as part of the architectural documentation.

Full consideration is given in this document and supporting appendices to the special architectural and historic interest of the building, together with the Borough of Camden's planning policies relative to this application. The ethos of the design and method of works is to remain as unobtrusive as possible, maintaining and restoring the special features of the building whilst also providing an office environment appropriate for a central London site in the 21st Century.

Windows	<p>Entirely inaccessible - 20/06/19</p> <p>Rear elevation a contemporary addition/alteration, mid 1960's (see Heritage Statement). Contemporary aluminium casement windows.</p>	Not accessible - 20/06/19	TBC	<p>The rear elevation of No 15 appears to have been completely rebuilt after the mid 1960's. (see heritage statement) All of No. 15's windows have been renewed during the process.</p> <p>Windows to be replaced with contemporary style double glazed units to visually articulate area of new intervention.</p>	screed with maintained level access from
---------	---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	---------------------------	-----	--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	------------------------------------------

1.05 - Stair	Description	Condition	Photo	Proposed	Action required
Stair	<p>Architectural and historic interest of the early Georgian part of the Grade II* listed house.</p> <p>Stair treads good, balustrade boxed out for protection.</p>	Good condition		<p>Original stair to be restored in accordance with the Georgian style. The staircase has ornate balustrades with carved open strings, moulded nosings, twisted barley-sugar balusters and hardwood frogs back handrails that spiral at the base of the stair. The stair soffits comprise raised and fielded panels to match the wall panelling.</p>	<p>Over-worn treads are to be identified by specialist joiner. These are then to be carefully cut away and a new piece of softwood is to be spliced in. Bearers are to be introduced underneath patched areas for additional support if required. Damaged or split nosings are to be replaced. New nosings are to be smoothed over with a plane and sanded so to achieve the appropriate profile before it is glued and screwed in place.</p> <p>Balusters are to be bead blasted to remove existing paint, then lightly sanded and filled as appropriate. Any replacement balusters are to be commissioned from a specialist wood turner. Brackets requiring repair should be temporarily unpinned from the outer stringer, sanded, redecorated and replaced following the same methodology as the balusters. Handrails are considered to be in generally good condition and so only minimal sanding, filling and redecorating is required.</p>



Project No. 406	Doc Type: SC	Doc No: 0660	Rev. B	Issue Date 29/10/2019
--------------------	-----------------	-----------------	-----------	--------------------------

Project 15 Great James Street

All new external and internal works and finishes and works of making good to the retained fabric, shall match the existing adjacent work with regard to the methods used and to material, texture and profile, unless shown otherwise on the drawings or other documentation. This is not a construction document, all details will be provided as part of the architectural documentation.

Full consideration is given in this document and supporting appendices to the special architectural and historic interest of the building, together with the Borough of Camden's planning policies relative to this application. The ethos of the design and method of works is to remain as unobtrusive as possible, maintaining and restoring the special features of the building whilst also providing an office environment appropriate for a central London site in the 21st Century.

Walls	<p>Architectural and historic interest of the early Georgian part of the Grade II* listed house.</p> <p>All panelling intact. Some skirting to landings, no skirting board to stair treads.</p>	Very good condition		<p>Traditional panelling with timber beading and skirting in accordance with the Georgian style, paint finish to walls in a heritage colour.</p> <p>The styles vary from floor to floor and some have become cracked and damaged.</p>	<p>Repair panelling and timber beading where damaged, Panels are to be bead blasted to remove existing paint and lightly sanded. Small cracks are to be infilled with a suitable wood filler prior to decorating. Any missing panels are to be replaced with replica pieces by specialist joiner. Replace skirting - paint finish - colour TBA</p> <p>New door entrance to 1.04. Remove panelling and replace with new opening and steps in accordance with Georgian style.</p>
Floor	<p>Architectural and historic interest of the early Georgian part of the Grade II* listed house.</p> <p>Exposed timber floor, mostly intact, some holes.</p>	Good condition		Existing timber floor boards with loose floor covering (rug).	Retain and refurbish original boards where possible. Replace any post Georgian flooring with reclaimed Georgian boards in good condition.

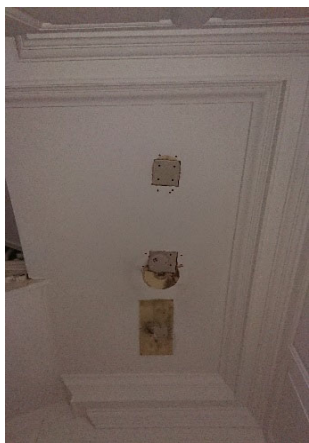


Project No. 406	Doc Type: SC	Doc No: 0660	Rev. B	Issue Date 29/10/2019
--------------------	-----------------	-----------------	-----------	--------------------------

Project 15 Great James Street

All new external and internal works and finishes and works of making good to the retained fabric, shall match the existing adjacent work with regard to the methods used and to material, texture and profile, unless shown otherwise on the drawings or other documentation. This is not a construction document, all details will be provided as part of the architectural documentation.

Full consideration is given in this document and supporting appendices to the special architectural and historic interest of the building, together with the Borough of Camden's planning policies relative to this application. The ethos of the design and method of works is to remain as unobtrusive as possible, maintaining and restoring the special features of the building whilst also providing an office environment appropriate for a central London site in the 21st Century.

Ceiling	Contemporary board ceiling, likely 1960's. Some holes for light fittings.	Good condition		The original lath & plaster ceilings have been replaced with a mixture of cementitious and plasterboards, probably as part of the 1960's refurbishment.	Replace all the boarded ceilings with new plasterboard in order to upgrade their acoustic performance. The installation is to be in a manner which does not interfere with the cornicing or any other associated decorative mouldings. Where original ceilings can be made good, this will be the avenue that is taken. Mouldings are to be bead blasted to remove existing paint and lightly sanded. Small cracks are to be infilled with a suitable filler. More serious repairs will involve the cutting out of sections of moulding before filling the removed areas with replica fibrous plaster mouldings. Once the filler has dried out the moulding is to be sanded to the shape of the original prior to decorating.
Doors	N/A	N/A	N/A	N/A	N/A
Windows	N/A	N/A	N/A	N/A	N/A



Schedule of Condition



Project No. 406	Doc Type: SC	Doc No: 0660	Rev. B	Issue Date 29/10/2019
--------------------	-----------------	-----------------	-----------	--------------------------

Project 15 Great James Street

All new external and internal works and finishes and works of making good to the retained fabric, shall match the existing adjacent work with regard to the methods used and to material, texture and profile, unless shown otherwise on the drawings or other documentation. This is not a construction document, all details will be provided as part of the architectural documentation.

Full consideration is given in this document and supporting appendices to the special architectural and historic interest of the building, together with the Borough of Camden's planning policies relative to this application. The ethos of the design and method of works is to remain as unobtrusive as possible, maintaining and restoring the special features of the building whilst also providing an office environment appropriate for a central London site in the 21st Century.

Second Floor

2.01	Description	Condition	Photo	Proposed	Action required
Walls	<p>Architectural and historic interest of the early Georgian part of the Grade II* listed house.</p> <p>Wall panels fully in tact. Potential crack to left wall (needs further investigation). Fireplace infilled with brick exposed. No skirting board.</p>	Very good condition		<p>Traditional panelling with timber beading and skirting in accordance with the Georgian style, paint finish to walls in a heritage colour.</p> <p>Fireplace surrounds previously in place were not original to the building, and were probably installed as part of the 1960's refurbishment. (see heritage statement) The styles vary from floor to floor and some have become cracked and damaged.</p>	<p>Repair panelling and timber beading where damaged, Panels are to be bead blasted to remove existing paint and lightly sanded. Small cracks are to be infilled with a suitable wood filler prior to decorating. Any missing panels are to be replaced with replica pieces by specialist joiner. Replace skirting - paint finish - colour TBA</p> <p>Excavate fireplace opening. Replace fireplace surround in the Georgian style, with fluted jambs and bulls eye corners, together with new free standing dog grate inserts. This will introduce a more consistent aesthetic, the only operational fireplaces will be located in the ground floor meeting rooms G.02 & G.03</p>
Floor	<p>Architectural and historic interest of the early Georgian part of the Grade II* listed house.</p> <p>Existing floor boards. Some missing from right rear window and have not yet been replaced.</p> <p>The Heritage Consultant is rating the floorboards as not significant to the listing.</p>	Good condition		Existing timber floor boards with loose floor covering (rug).	<p>Retain , clean, refurbish and fill as required the existing floor boards where possible;</p> <p>Refit on plywood substrate. Include 50mm PIR insulation between joists. Perimeter flanking strips to be utilised in order to maintain the acoustic performance of the floor.</p>




Project No. 406	Doc Type: SC	Doc No: 0660	Rev. B	Issue Date 29/10/2019
--------------------	-----------------	-----------------	-----------	--------------------------

Project 15 Great James Street

All new external and internal works and finishes and works of making good to the retained fabric, shall match the existing adjacent work with regard to the methods used and to material, texture and profile, unless shown otherwise on the drawings or other documentation. This is not a construction document, all details will be provided as part of the architectural documentation.

Full consideration is given in this document and supporting appendices to the special architectural and historic interest of the building, together with the Borough of Camden's planning policies relative to this application. The ethos of the design and method of works is to remain as unobtrusive as possible, maintaining and restoring the special features of the building whilst also providing an office environment appropriate for a central London site in the 21st Century.

Ceiling	Contemporary board ceiling, likely 1960's. Some marks to ceiling. Appears to have been finished/painted semi recently. Holes in ceiling for new light fittings. Cornice fully intact.	Very good condition		The original lath & plaster ceilings have been replaced with a mixture of cementitious and plasterboards, probably as part of the 1960's refurbishment.	Replace all the boarded ceilings with new plasterboard in order to upgrade their acoustic performance. The installation is to be in a manner which does not interfere with the cornicing or any other associated decorative mouldings. Where original ceilings can be made good, this will be the avenue that is taken. Mouldings are to be bead blasted to remove existing paint and lightly sanded. Small cracks are to be infilled with a suitable filler. More serious repairs will involve the cutting out of sections of moulding before filling the removed areas with replica fibrous plaster mouldings. Once the filler has dried out the moulding is to be sanded to the shape of the original prior to decorating.
Doors	Contemporary timber door, likely 1960's. Timber panelled door and frame. White painted finish	Very good condition		The existing internal door-sets are not original to the building. (see heritage statement) The majority of the existing doors were installed during a refurbishment period in circa 1965, the features of which do not accord with the rest of the building.	Replace the existing doors with solid, individually crafted hardwood doors. The design and proportions of the replacement doors will follow those of the Georgian Period and as such will reinstate some of the character of the building. New ironmongery in keeping with the Georgian style, fire requirements to be agreed and hardware installed. Close up existing door opening D2.05



Project No. 406	Doc Type: SC	Doc No: 0660	Rev. B	Issue Date 29/10/2019
--------------------	-----------------	-----------------	-----------	--------------------------

Project 15 Great James Street

All new external and internal works and finishes and works of making good to the retained fabric, shall match the existing adjacent work with regard to the methods used and to material, texture and profile, unless shown otherwise on the drawings or other documentation. This is not a construction document, all details will be provided as part of the architectural documentation.

Full consideration is given in this document and supporting appendices to the special architectural and historic interest of the building, together with the Borough of Camden's planning policies relative to this application. The ethos of the design and method of works is to remain as unobtrusive as possible, maintaining and restoring the special features of the building whilst also providing an office environment appropriate for a central London site in the 21st Century.

Windows	Contemporary timber windows, mid 20th century. Single glazed. Timber sash windows with timber frame. White painted finish. Frame chipped in places.	Good condition		The front of No 15 appears to have been completely rebuilt, probably in the mid-20th century, perhaps after war damage. (see heritage statement) All of No. 15's windows have been renewed during the process.	Replace the existing one over one sashes on second floor with solid, individually crafted hardwood 6 over 6 sashes (as per Conservation Officers recommendations). The box frames, shutters and ironmongery to be repaired and refurbished. Paint finish - colour TBA
---------	------------------------------------------------------------------------------------------------------------------------------------------------------------	----------------	--------------------------------------------------------------------------------------	----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------

2.02	Description	Condition	Photo	Proposed	Action required
Walls	Architectural and historic interest of the early Georgian part of the Grade II* listed house. No panelling. Holes and cracks to plaster. Some brickwork exposed. No skirting boards. Original fireplace has been infilled/plastered over.	Bad condition		Traditional panelling with timber beading and skirting in accordance with the Georgian style, paint finish to walls in a heritage colour. Excavate and reinstate closed up fireplace. Fireplace surrounds previously in place were not original to the building, and were probably installed as part of the 1960's refurbishment. (see heritage statement) The styles vary from floor to floor and some have become cracked and damaged.	Install partitions to accommodate for new internal layout and lift/lift lobby. Missing panels are to be replaced with replica pieces by specialist joiner. Replace skirting - paint finish - colour TBA Excavate and reinstate previous fireplace. Install replacement fireplace surrounds in the Georgian style, with fluted jambs and bulls eye corners, together with new free standing dog grate inserts. This will introduce a more consistent aesthetic, the only operational fireplaces will be located in the ground floor meeting rooms G.02 & G.03

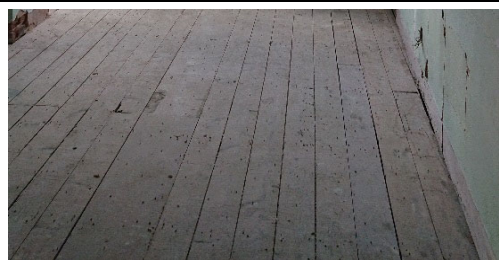
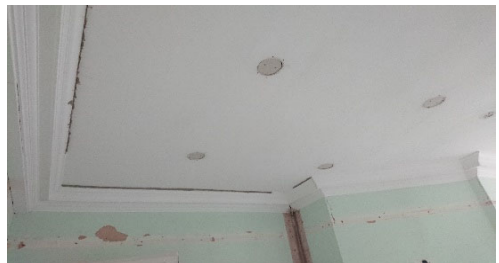


Project No. 406	Doc Type: SC	Doc No: 0660	Rev. B	Issue Date 29/10/2019
--------------------	-----------------	-----------------	-----------	--------------------------

Project 15 Great James Street

All new external and internal works and finishes and works of making good to the retained fabric, shall match the existing adjacent work with regard to the methods used and to material, texture and profile, unless shown otherwise on the drawings or other documentation. This is not a construction document, all details will be provided as part of the architectural documentation.

Full consideration is given in this document and supporting appendices to the special architectural and historic interest of the building, together with the Borough of Camden's planning policies relative to this application. The ethos of the design and method of works is to remain as unobtrusive as possible, maintaining and restoring the special features of the building whilst also providing an office environment appropriate for a central London site in the 21st Century.

Floor	<p>Architectural and historic interest of the early Georgian part of the Grade II* listed house.</p> <p>Existing floor boards. Some more contemporary.</p> <p>The Heritage Consultant is rating the floorboards as not significant to the listing.</p>	Good condition		<p>Existing timber floor boards with loose floor covering (rug).</p>	<p>Retain, clean, refurbish and fill as required the existing floor boards where possible;</p> <p>Refit on plywood substrate. Include 50mm PIR insulation between joists. Perimeter flanking strips to be utilised in order to maintain the acoustic performance of the floor.</p>
Ceiling	<p>Contemporary board ceiling, likely 1960's.</p> <p>Ceiling has cracks, cut outs for new light fittings. Cornice in place, some cracks between cornicing and ceiling.</p>	Good condition		<p>The original lath & plaster ceilings have been replaced with a mixture of cementitious and plasterboards, probably as part of the 1960's refurbishment.</p>	<p>Replace all the boarded ceilings with new plasterboard in order to upgrade their acoustic performance. The installation is to be in a manner which does not interfere with the cornicing or any other associated decorative mouldings. Where original ceilings can be made good, this will be the avenue that is taken.</p> <p>Mouldings are to be bead blasted to remove existing paint and lightly sanded. Small cracks are to be infilled with a suitable filler. More serious repairs will involve the cutting out of sections of moulding before filling the removed areas with replica fibrous plaster mouldings. Once the filler has dried out the moulding is to be sanded to the shape of the original prior to decorating.</p>



Project No. 406	Doc Type: SC	Doc No: 0660	Rev. B	Issue Date 29/10/2019
--------------------	-----------------	-----------------	-----------	--------------------------

Project 15 Great James Street

All new external and internal works and finishes and works of making good to the retained fabric, shall match the existing adjacent work with regard to the methods used and to material, texture and profile, unless shown otherwise on the drawings or other documentation. This is not a construction document, all details will be provided as part of the architectural documentation.

Full consideration is given in this document and supporting appendices to the special architectural and historic interest of the building, together with the Borough of Camden's planning policies relative to this application. The ethos of the design and method of works is to remain as unobtrusive as possible, maintaining and restoring the special features of the building whilst also providing an office environment appropriate for a central London site in the 21st Century.

Doors	Contemporary timber door, likely 1960's. D.2.01 Timber panelled door and frame. White painted finish. Door D.2.05 newer addition. Panelled timber door and frame.	Good condition		The existing internal door-sets are not original to the building. (see heritage statement) The majority of the existing doors were installed during a refurbishment period in circa 1965, the features of which do not accord with the rest of the building.	Replace the existing doors with solid, individually crafted hardwood doors. The design and proportions of the replacement doors will follow those of the Georgian Period and as such will reinstate some of the character of the building. New ironmongery in keeping with the Georgian style, fire requirements to be agreed and hardware installed.
Windows	N/A	N/A	N/A	N/A	N/A

2.03	Description	Condition	Photo	Proposed	Action required
Walls	Architectural and historic interest of the early Georgian part of the Grade II* listed house. No panelling. Holes and cracks to plaster. Some brickwork exposed. No skirting boards.	Bad condition		Plaster finish with simple detail to skirting and cornice. Contemporary treatment to reflect area of new intervention. Paint finish to walls TBC.	Demolish existing rear wall. Construct new rear external wall and internal partitions to accommodate for new layout. New plasterboard walls with contemporary detail - paint finish - colour TBA




Project No. 406	Doc Type: SC	Doc No: 0660	Rev. B	Issue Date 29/10/2019
--------------------	-----------------	-----------------	-----------	--------------------------

Project 15 Great James Street

All new external and internal works and finishes and works of making good to the retained fabric, shall match the existing adjacent work with regard to the methods used and to material, texture and profile, unless shown otherwise on the drawings or other documentation. This is not a construction document, all details will be provided as part of the architectural documentation.

Full consideration is given in this document and supporting appendices to the special architectural and historic interest of the building, together with the Borough of Camden's planning policies relative to this application. The ethos of the design and method of works is to remain as unobtrusive as possible, maintaining and restoring the special features of the building whilst also providing an office environment appropriate for a central London site in the 21st Century.

Floor	<p>Architectural and historic interest of the early Georgian part of the Grade II* listed house.</p> <p>Existing floor boards. Some missing from right rear window and have not yet been replaced.</p> <p>The Heritage Consultant is rating the floorboards as not significant to the listing.</p>	Good condition		Existing timber floor boards with loose floor covering (rug).	<p>Retain, clean, refurbish and fill as required the existing floor boards where possible;</p> <p>Refit on plywood substrate. Include 50mm PIR insulation between joists. Perimeter flanking strips to be utilised in order to maintain the acoustic performance of the floor.</p>
Ceiling	<p>Contemporary board ceiling, likely 1960's.</p> <p>Holes in plaster from previous lights. Cornice has been removed</p>	Poor condition		The original lath & plaster ceilings have been replaced with a mixture of cementitious and plasterboards, probably as part of the 1960's refurbishment.	<p>Replace all the boarded ceilings with new plasterboard in order to upgrade their acoustic performance. The installation is to be in a manner which does not interfere with the cornicing or any other associated decorative mouldings. Where original ceilings can be made good, this will be the avenue that is taken.</p> <p>Mouldings are to be bead blasted to remove existing paint and lightly sanded. Small cracks are to be infilled with a suitable filler. More serious repairs will involve the cutting out of sections of moulding before filling the removed areas with replica fibrous plaster mouldings. Once the filler has dried out the moulding is to be sanded to the shape of the original prior to decorating.</p>
Doors	N/A	N/A	N/A	N/A	N/A



Project No. 406	Doc Type: SC	Doc No: 0660	Rev. B	Issue Date 29/10/2019
--------------------	-----------------	-----------------	-----------	--------------------------

Project 15 Great James Street

All new external and internal works and finishes and works of making good to the retained fabric, shall match the existing adjacent work with regard to the methods used and to material, texture and profile, unless shown otherwise on the drawings or other documentation. This is not a construction document, all details will be provided as part of the architectural documentation.

Full consideration is given in this document and supporting appendices to the special architectural and historic interest of the building, together with the Borough of Camden's planning policies relative to this application. The ethos of the design and method of works is to remain as unobtrusive as possible, maintaining and restoring the special features of the building whilst also providing an office environment appropriate for a central London site in the 21st Century.

Windows	Contemporary timber windows, mid 20th century. Single glazed. Timber sash windows with timber frame. White painted finish. Frame chipped in places.	Good condition		The rear elevation of No 15 appears to have been completely rebuilt after the mid 1960's. (see heritage statement) All of No. 15's windows have been renewed during the process. Windows to be replaced with contemporary style double glazed units to visually articulate area of new intervention.	Replace the existing one over one sashes with new contemporary windows to indicate area of new intervention. colour TBA
---------	------------------------------------------------------------------------------------------------------------------------------------------------------------	----------------	-------------------------------------------------------------------------------------	-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	-------------------------------------------------------------------------------------------------------------------------

2.04 - WC's	Description	Condition	Photo	Proposed	Action required
Walls	Entirely inaccessible - 20/06/19 Contemporary addition/alteration, mid 1960's (see Heritage Statement). Walls likely to be of a contemporary style, e.g. simple profile cornice and skirting board.	Not accessible - 20/06/19	TBC	The rear elevation of No 15 appears to have been completely rebuilt after the mid 1960's. (see heritage statement) All of No. 15's windows have been renewed during the process. Windows to be replaced with contemporary style double glazed units to visually articulate area of new intervention.	Demolish existing rear wall. Construct new rear external wall and internal partitions to accommodate for new layout. New plasterboard walls with contemporary detail - paint finish - colour TBA
Floor	Entirely inaccessible - 20/06/19 Contemporary addition/alteration, mid 1960's (see Heritage Statement). Floor finish likely to be contemporary tiles, TBC.	Not accessible - 20/06/19	TBC	Retain existing timber floor boards. New tiles to be installed over tanking.	Existing tiles to be removed. Retain and refurbish existing boards where possible, install reclaimed boards to any damaged areas. Refit on plywood substrate. Include 50mm PIR insulation between joists. Perimeter flanking strips to be utilised in order to maintain the acoustic performance of the floor. New contemporary tiled floor to be installed over tanking and new floor build up.



Project No. 406	Doc Type: SC	Doc No: 0660	Rev. B	Issue Date 29/10/2019
--------------------	-----------------	-----------------	-----------	--------------------------

Project 15 Great James Street

All new external and internal works and finishes and works of making good to the retained fabric, shall match the existing adjacent work with regard to the methods used and to material, texture and profile, unless shown otherwise on the drawings or other documentation. This is not a construction document, all details will be provided as part of the architectural documentation.

Full consideration is given in this document and supporting appendices to the special architectural and historic interest of the building, together with the Borough of Camden's planning policies relative to this application. The ethos of the design and method of works is to remain as unobtrusive as possible, maintaining and restoring the special features of the building whilst also providing an office environment appropriate for a central London site in the 21st Century.

Ceiling	Entirely inaccessible - 20/06/19 Contemporary addition/alteration, mid 1960's (see Heritage Statement). Ceiling treatment likely to be a contemporary boarding/grid ceiling (TBC).	Not accessible - 20/06/19	TBC	MF casoline gypsum board suspended ceiling system to be installed. Review services passing through walls with fire consultant.	Current ceiling to be reconstructed. Current ceiling treatment a newer addition after 1960's, this is to be removed. New suspended ceiling system to be installed to ground floor extension at rear of the property.
Doors	No door/access to room 2.04.	Not accessible - 20/06/19	TBC	Install a traditional timber panelled door in accordance with the Georgian style. Location to reinstate connection between 2.05 stair half landing and 2.04 WC.	Install solid, individually crafted hardwood doors. The design and proportions of the new door will follow those of the Georgian Period and as such will reinstate some of the character of the building. New ironmongery in keeping with the Georgian style, fire requirements to be agreed and hardware installed.
Windows	Entirely inaccessible - 20/06/19 Rear elevation a contemporary addition/alteration, mid 1960's (see Heritage Statement). Contemporary aluminium casement windows.	Not accessible - 20/06/19	TBC	The rear elevation of No 15 appears to have been completely rebuilt after the mid 1960's. (see heritage statement) All of No. 15's windows have been renewed during the process. Windows to be replaced with contemporary style double glazed units to visually articulate area of new intervention.	Replace the existing one over one sashes with new contemporary windows to indicate area of new intervention. colour TBA

2.05 - Stair	Description	Condition	Photo	Proposed	Action required
--------------	-------------	-----------	-------	----------	-----------------





Project No. 406	Doc Type: SC	Doc No: 0660	Rev. B	Issue Date 29/10/2019
--------------------	-----------------	-----------------	-----------	--------------------------

Project 15 Great James Street

All new external and internal works and finishes and works of making good to the retained fabric, shall match the existing adjacent work with regard to the methods used and to material, texture and profile, unless shown otherwise on the drawings or other documentation. This is not a construction document, all details will be provided as part of the architectural documentation.

Full consideration is given in this document and supporting appendices to the special architectural and historic interest of the building, together with the Borough of Camden's planning policies relative to this application. The ethos of the design and method of works is to remain as unobtrusive as possible, maintaining and restoring the special features of the building whilst also providing an office environment appropriate for a central London site in the 21st Century.

<p>Stair</p>	<p>Architectural and historic interest of the early Georgian part of the Grade II* listed house. Stair treads good, balustrade boxed out for protection.</p>	<p>Good condition</p>		<p>Original stair to be restored in accordance with the Georgian style. The staircase has ornate balustrades with carved open strings, moulded nosing's, twisted barley-sugar balusters and hardwood frogs back handrails that spiral at the base of the stair. The stair soffits comprise raised and fielded panels to match the wall panelling.</p>	<p>Over-worn treads are to be identified by specialist joiner. These are then to be carefully cut away and a new piece of softwood is to be spliced in. Bearers are to be introduced underneath patched areas for additional support if required. Damaged or split nosing's are to be replaced. New nosing's are to be smoothed over with a plane and sanded so to achieve the appropriate profile before it is glued and screwed in place. Balusters are to be bead blasted to remove existing paint, then lightly sanded and filled as appropriate. Any replacement balusters are to be commissioned from a specialist wood turner. Brackets requiring repair should be temporarily unpinned from the outer stringer, sanded, redecorated and replaced following the same methodology as the balusters. Handrails are considered to be in generally good condition and so only minimal sanding, filling and redecorating is required.</p>
<p>Walls</p>	<p>Architectural and historic interest of the early Georgian part of the Grade II* listed house. Panelling intact, cut outs to some panels. White paint finish. Some skirting to landings, no skirting board to stair treads.</p>	<p>Very good condition</p>		<p>Traditional panelling with timber beading and skirting in accordance with the Georgian style, paint finish to walls in a heritage colour. The styles vary from floor to floor and some have become cracked and damaged.</p>	<p>Repair panelling and timber beading where damaged, Panels are to be bead blasted to remove existing paint and lightly sanded. Small cracks are to be infilled with a suitable wood filler prior to decorating. Any missing panels are to be replaced with replica pieces by specialist joiner. Replace skirting - paint finish - colour TBA</p>




Project No. 406	Doc Type: SC	Doc No: 0660	Rev. B	Issue Date 29/10/2019
--------------------	-----------------	-----------------	-----------	--------------------------

Project 15 Great James Street

All new external and internal works and finishes and works of making good to the retained fabric, shall match the existing adjacent work with regard to the methods used and to material, texture and profile, unless shown otherwise on the drawings or other documentation. This is not a construction document, all details will be provided as part of the architectural documentation.

Full consideration is given in this document and supporting appendices to the special architectural and historic interest of the building, together with the Borough of Camden's planning policies relative to this application. The ethos of the design and method of works is to remain as unobtrusive as possible, maintaining and restoring the special features of the building whilst also providing an office environment appropriate for a central London site in the 21st Century.

Floor	Architectural and historic interest of the early Georgian part of the Grade II* listed house. Exposed existing timber floor, mostly intact, some holes.	Good condition	Photo TBC	Existing timber floor boards with loose floor covering (rug).	Retain and refurbish original boards where possible. Replace any post Georgian flooring with reclaimed Georgian boards in good condition.
Ceiling	Contemporary board ceiling, likely 1960's. Some holes made to plaster board for light fittings. Cornice in tact?	Good condition		The original lath & plaster ceilings have been replaced with a mixture of cementitious and plasterboards, probably as part of the 1960's refurbishment.	Replace all the boarded ceilings with new plasterboard in order to upgrade their acoustic performance. The installation is to be in a manner which does not interfere with the cornicing or any other associated decorative mouldings. Where original ceilings can be made good, this will be the avenue that is taken. Mouldings are to be bead blasted to remove existing paint and lightly sanded. Small cracks are to be infilled with a suitable filler. More serious repairs will involve the cutting out of sections of moulding before filling the removed areas with replica fibrous plaster mouldings. Once the filler has dried out the moulding is to be sanded to the shape of the original prior to decorating.
Doors	N/A	N/A	N/A	N/A	N/A
Windows	N/A	N/A	N/A	N/A	N/A



Schedule of Condition




Project No.
406Doc Type:
SCDoc No:
0660Rev.
BIssue Date
29/10/2019

Project 15 Great James Street

All new external and internal works and finishes and works of making good to the retained fabric, shall match the existing adjacent work with regard to the methods used and to material, texture and profile, unless shown otherwise on the drawings or other documentation. This is not a construction document, all details will be provided as part of the architectural documentation.

Full consideration is given in this document and supporting appendices to the special architectural and historic interest of the building, together with the Borough of Camden's planning policies relative to this application. The ethos of the design and method of works is to remain as unobtrusive as possible, maintaining and restoring the special features of the building whilst also providing an office environment appropriate for a central London site in the 21st Century.

Third Floor

3.01	Description	Condition	Photo	Proposed	Action required
Walls	<p>Architectural and historic interest of the early Georgian part of the Grade II* listed house.</p> <p>Holes for lights. Dado rail in tact. Skirting boards remain. Marks to walls. Cut outs in walls from previous electrical fittings. Some cracks in plaster.</p>	Poor condition.		<p>Plaster finish with simple detail to skirting. Contemporary treatment to reflect area of new intervention. Paint finish to walls TBC.</p> <p>Reinstate connection between no.14 and no.15 with double sliding pocket doors.</p> <p>Fireplace will not be excavated/reinstated.</p>	Third floor walls to receive nominal 20mm. BauBuche lining to match lining to rafters.
Floor	<p>Architectural and historic interest of the early Georgian part of the Grade II* listed house.</p> <p>Existing timber floor. Some boards have been replaced.</p> <p>The Heritage Consultant is rating the floorboards as not significant to the listing.</p>	Good condition		Existing timber floor boards with loose floor covering (rug).	<p>Retain , clean, refurbish and fill as required the existing floor boards where possible;</p> <p>Refit on plywood substrate. Include 50mm PIR insulation between joists. Perimeter flanking strips to be utilised in order to maintain the acoustic performance of the floor.</p>
Ceiling	No plaster board to ceiling. Beams, joists and rafters exposed. Cornicing removed.	Bad condition		Remove third floor ceiling build up to expose underside of pitched roof. Finish in accordance with plastered wall treatment, pitch a continuation of wall.	<p>Raise roof ties to allow for a new flat plasterboard ceiling to be installed 250mm higher than existing ceiling.</p> <p>Install 75mm Kingspan Kooltherm K7 to Pitched Roof Board between existing 100mm rafters to maintain 25mm ventilation gap. Under rafters install 62.5mm Kooltherm K18 Insulated Plasterboard with integral VCL.</p>



Project No. 406	Doc Type: SC	Doc No: 0660	Rev. B	Issue Date 29/10/2019
--------------------	-----------------	-----------------	-----------	--------------------------

Project 15 Great James Street

All new external and internal works and finishes and works of making good to the retained fabric, shall match the existing adjacent work with regard to the methods used and to material, texture and profile, unless shown otherwise on the drawings or other documentation. This is not a construction document, all details will be provided as part of the architectural documentation.

Full consideration is given in this document and supporting appendices to the special architectural and historic interest of the building, together with the Borough of Camden's planning policies relative to this application. The ethos of the design and method of works is to remain as unobtrusive as possible, maintaining and restoring the special features of the building whilst also providing an office environment appropriate for a central London site in the 21st Century.

Doors	Contemporary timber panelled door, post 1960's. No door frame.	Good condition		The existing internal door-sets are not original to the building. (see heritage statement) The majority of the existing doors were installed during a refurbishment period in circa 1965, the features of which do not accord with the rest of the building. Replacement door to be permanently locked.	Replace the existing doors with solid, individually crafted hardwood doors. The design and proportions of the replacement doors will follow those of the Georgian Period and as such will reinstate some of the character of the building. New ironmongery in keeping with the Georgian style, fire requirements to be agreed and hardware installed.
Windows	Contemporary timber windows, mid 20th century. Single glazed timber sash windows. Peeling paint to frames.	Good condition		The front of No 15 appears to have been completely rebuilt, probably in the mid-20th century, perhaps after war damage. (see heritage statement) All of No. 15's windows have been renewed during the process.	Replace the existing one over one sashes on third floor with solid, individually crafted hardwood 6 over 6 sashes (as per Conservation Officers recommendations). The box frames, shutters and ironmongery to be repaired and refurbished. Paint finish colour TBA


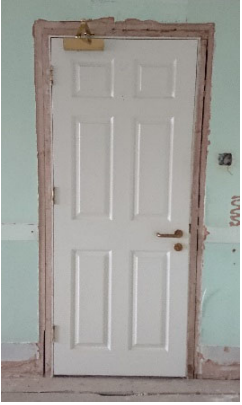
3.02	Description	Condition	Photo	Proposed	Action required
Walls	Architectural and historic interest of the early Georgian part of the Grade II* listed house. No skirting boards or dado rail. Patches in plaster. Marks and holes to walls from previous lighting and electrical fittings.	Bad condition		Plaster finish with simple detail to skirting. Contemporary treatment to reflect area of new intervention. Paint finish to walls TBC.	Internal partitions to be constructed to accommodate new internal layout and lift/lift lobby. Third floor walls to receive nominal 20mm. BauBuche lining to match lining to rafters.

Project No.
406Doc Type:
SCDoc No:
0660Rev.
BIssue Date
29/10/2019

Project 15 Great James Street

All new external and internal works and finishes and works of making good to the retained fabric, shall match the existing adjacent work with regard to the methods used and to material, texture and profile, unless shown otherwise on the drawings or other documentation. This is not a construction document, all details will be provided as part of the architectural documentation.

Full consideration is given in this document and supporting appendices to the special architectural and historic interest of the building, together with the Borough of Camden's planning policies relative to this application. The ethos of the design and method of works is to remain as unobtrusive as possible, maintaining and restoring the special features of the building whilst also providing an office environment appropriate for a central London site in the 21st Century.

Floor	<p>Architectural and historic interest of the early Georgian part of the Grade II* listed house.</p> <p>Existing timber floor. Some boards have been replaced.</p> <p>The Heritage Consultant is rating the floorboards as not significant to the listing.</p>	Good condition		Existing timber floor boards with loose floor covering (rug).	<p>Retain, clean, refurbish and fill as required the existing floor boards where possible;</p> <p>Refit on plywood substrate. Include 50mm PIR insulation between joists. Perimeter flanking strips to be utilised in order to maintain the acoustic performance of the floor.</p>
Ceiling	Ceiling and cornicing appear to have been worked on. Holes in plaster board for new light fittings. White paint finish.	Good condition		Remove third floor ceiling build up to expose underside of pitched roof. Finish in accordance with plastered wall treatment, pitch a continuation of wall.	<p>Raise roof ties to allow for a new flat plasterboard ceiling to be installed 250mm higher than existing ceiling.</p> <p>Install 75mm Kingspan Kooltherm K7 to Pitched Roof Board between existing 100mm rafters to maintain 25mm ventilation gap. Under rafters install 62.5mm Kooltherm K18 Insulated Plasterboard with integral VCL.</p>
Doors	<p>Contemporary timber panelled door, post 1960's.</p> <p>No door frame.</p>	Good condition		The existing internal door-sets are not original to the building. (see heritage statement) The majority of the existing doors were installed during a refurbishment period in circa 1965, the features of which do not accord with the rest of the building.	<p>Replace the existing doors with solid, individually crafted hardwood doors. The design and proportions of the replacement doors will follow those of the Georgian Period and as such will reinstate some of the character of the building. New ironmongery in keeping with the Georgian style, fire requirements to be agreed and hardware installed.</p> <p>Contemporary architrave to be installed on 3.02 side.</p>
Windows	N/A	N/A	N/A	N/A	N/A



3.03	Description	Condition	Photo	Proposed	Action required
------	-------------	-----------	-------	----------	-----------------

Project No.
406Doc Type:
SCDoc No:
0660Rev.
BIssue Date
29/10/2019

Project 15 Great James Street

All new external and internal works and finishes and works of making good to the retained fabric, shall match the existing adjacent work with regard to the methods used and to material, texture and profile, unless shown otherwise on the drawings or other documentation. This is not a construction document, all details will be provided as part of the architectural documentation.

Full consideration is given in this document and supporting appendices to the special architectural and historic interest of the building, together with the Borough of Camden's planning policies relative to this application. The ethos of the design and method of works is to remain as unobtrusive as possible, maintaining and restoring the special features of the building whilst also providing an office environment appropriate for a central London site in the 21st Century.

Walls	<p>Architectural and historic interest of the early Georgian part of the Grade II* listed house.</p> <p>No skirting boards or dado rail. Patches in plaster. Marks and holes to walls from previous lighting and electrical fittings.</p>	Bad condition		Plaster finish with simple detail to skirting. Contemporary treatment to reflect area of new intervention. Paint finish to walls TBC.	Demolish existing rear wall. Construct new rear external wall and internal partitions to accommodate for new layout. Third floor walls to receive nominal 20mm. BauBuche lining to match lining to rafters. Paint finish colour TBA
Floor	<p>Architectural and historic interest of the early Georgian part of the Grade II* listed house.</p> <p>Existing timber floor. Some boards have been replaced.</p> <p>The Heritage Consultant is rating the floorboards as not significant to the listing.</p>	Good condition		Existing timber floor boards with loose floor covering (rug).	<p>Retain, clean, refurbish and fill as required the existing floor boards where possible;</p> <p>Refit on plywood substrate. Include 50mm PIR insulation between joists. Perimeter flanking strips to be utilised in order to maintain the acoustic performance of the floor.</p>
Ceiling	<p>Ceiling appears to have been worked on. Holes in plaster board for new light fittings. White paint finish. No cornicing</p>	Good condition	Photo TBC	Remove third floor ceiling build up to expose underside of pitched roof. Finish in accordance with plastered wall treatment, pitch a continuation of wall.	Install 75mm Kingspan Kooltherm K7. Pitched Roof Board between existing 100mm rafters to maintain 25mm ventilation gap. Under rafters install 62.5mm Kooltherm K18 Insulated Plasterboard with integral VCL.
Doors	<p>Contemporary timber door, mid 20th century.</p> <p>Modern addition door to lift motor room. Timber door, no panels.</p>	Good condition	Photo TBC	<p>The existing internal door-sets are not original to the building. (see heritage statement) The majority of the existing doors were installed during a refurbishment period in circa 1965, the features of which do not accord with the rest of the building.</p> <p>Door D.3.02 to be removed, new partitions and doors to this area to be of a contemporary style to reflect area of new intervention.</p>	Remove door D.3.02 replace with modern contemporary door D.3.07.

Project No.
406Doc Type:
SCDoc No:
0660Rev.
BIssue Date
29/10/2019

Project 15 Great James Street

All new external and internal works and finishes and works of making good to the retained fabric, shall match the existing adjacent work with regard to the methods used and to material, texture and profile, unless shown otherwise on the drawings or other documentation. This is not a construction document, all details will be provided as part of the architectural documentation.

Full consideration is given in this document and supporting appendices to the special architectural and historic interest of the building, together with the Borough of Camden's planning policies relative to this application. The ethos of the design and method of works is to remain as unobtrusive as possible, maintaining and restoring the special features of the building whilst also providing an office environment appropriate for a central London site in the 21st Century.

Windows	Contemporary timber windows, mid 20th century. Single glazed. Timber sash windows with timber frame. White painted finish.	Good condition	Photo TBC	The rear elevation of No 15 appears to have been completely rebuilt after the mid 1960's. (see heritage statement) All of No. 15's windows have been renewed during the process. Windows to be replaced with contemporary style double glazed units to visually articulate area of new intervention.	Replace the existing one over one sashes with new contemporary windows to indicate area of new intervention. colour TBA
---------	-----------------------------------------------------------------------------------------------------------------------------------	----------------	-----------	-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	-------------------------------------------------------------------------------------------------------------------------

3.04 - Lift storage	Description	Condition	Photo	Proposed	Action required
Walls	Entirely inaccessible - 20/06/19 Contemporary addition/alteration, mid 1960's (see Heritage Statement). Walls likely to be of a contemporary style, e.g. simple profile cornice and skirting board.	Not accessible - 20/06/19	TBC	The rear elevation of No 15 appears to have been completely rebuilt after the mid 1960's. (see heritage statement) All of No. 15's windows have been renewed during the process. Windows to be replaced with contemporary style double glazed units to visually articulate area of new intervention.	Demolish existing rear wall. Construct new rear external wall and internal partitions to accommodate for new layout. New plasterboard walls with contemporary detail - paint finish - colour TBA
Floor	Entirely inaccessible - 20/06/19 Contemporary addition/alteration, mid 1960's (see Heritage Statement). Floor finish likely to be contemporary tiles, TBC.	Not accessible - 20/06/19	TBC	Existing timber floor boards. New tiles to be installed over tanking.	Existing tiles to be removed. Retain and refurbish existing boards where possible, install reclaimed boards to any damaged areas. Refit on plywood substrate. Include 50mm PIR insulation between joists. Perimeter flanking strips to be utilised in order to maintain the acoustic performance of the floor. New contemporary tiled floor to be installed over tanking and new floor build up.
Ceiling	Entirely inaccessible - 20/06/19 Contemporary addition/alteration, mid 1960's (see Heritage Statement). Ceiling treatment likely to be a contemporary boarding/grid ceiling (TBC).	Not accessible - 20/06/19	TBC	MF casoline gypsum board suspended ceiling system to be installed. Review services passing through walls with fire consultant.	Current ceiling to be reconstructed. Current ceiling treatment a newer addition after 1960's, this is to be removed. New suspended ceiling system to be installed to ground floor extension at rear of the property.

Project No.
406Doc Type:
SCDoc No:
0660Rev.
BIssue Date
29/10/2019

Project 15 Great James Street

All new external and internal works and finishes and works of making good to the retained fabric, shall match the existing adjacent work with regard to the methods used and to material, texture and profile, unless shown otherwise on the drawings or other documentation. This is not a construction document, all details will be provided as part of the architectural documentation.

Full consideration is given in this document and supporting appendices to the special architectural and historic interest of the building, together with the Borough of Camden's planning policies relative to this application. The ethos of the design and method of works is to remain as unobtrusive as possible, maintaining and restoring the special features of the building whilst also providing an office environment appropriate for a central London site in the 21st Century.

Doors	No door/access to room 3.04.	Not accessible - 20/06/19	TBC	Install a traditional timber panelled door in accordance with the Georgian style. Location to reinstate connection between 3.05 stair half landing and room 3.04.	Install solid, individually crafted hardwood doors. The design and proportions of the new door will follow those of the Georgian Period and as such will reinstate some of the character of the building. New ironmongery in keeping with the Georgian style, fire requirements to be agreed and hardware installed.
Windows	Entirely inaccessible - 20/06/19 Rear elevation a contemporary addition/alteration, mid 1960's (see Heritage Statement). Contemporary aluminium casement windows.	Not accessible - 20/06/19	TBC	The rear elevation of No 15 appears to have been completely rebuilt after the mid 1960's. (see heritage statement) All of No. 15's windows have been renewed during the process. Windows to be replaced with contemporary style double glazed units to visually articulate area of new intervention.	Replace the existing one over one sashes with new contemporary windows to indicate area of new intervention. colour TBA


3.05 - Stair Lobby	Description	Condition	Photo	Proposed	Action required
Walls	Architectural and historic interest of the early Georgian part of the Grade II* listed house. No skirting boards. Patches to plaster. Marks and holes to walls from previous lighting and electrical fittings. Plasterboard missing to partition on stair side.	Bad condition		Plaster finish with simple detail to skirting. Contemporary treatment to reflect area of new intervention. Paint finish to walls TBC.	Third floor walls to receive nominal 20mm. BauBuche lining to match lining to rafters.
Floor	Architectural and historic interest of the early Georgian part of the Grade II* listed house. Existing timber floor. Some boards have been replaced.	Good condition	Photo TBC	Existing timber floor boards with loose floor covering (rug).	Retain and refurbish original boards where possible. Replace any post Georgian flooring with reclaimed Georgian boards in good condition.

Project No.
406Doc Type:
SCDoc No:
0660Rev.
BIssue Date
29/10/2019

Project 15 Great James Street

All new external and internal works and finishes and works of making good to the retained fabric, shall match the existing adjacent work with regard to the methods used and to material, texture and profile, unless shown otherwise on the drawings or other documentation. This is not a construction document, all details will be provided as part of the architectural documentation.

Full consideration is given in this document and supporting appendices to the special architectural and historic interest of the building, together with the Borough of Camden's planning policies relative to this application. The ethos of the design and method of works is to remain as unobtrusive as possible, maintaining and restoring the special features of the building whilst also providing an office environment appropriate for a central London site in the 21st Century.

Ceiling	Ceiling and cornicing appear to have been worked on. Holes in plaster board for new light fittings. White paint finish. Cut out for roof access hatch.	Good condition	Photo TBC	Remove third floor ceiling build up to expose underside of pitched roof. Finish in accordance with plastered wall treatment, pitch a continuation of wall.	Install 75mm Kingspan Kooltherm K7. Pitched Roof Board between existing 100mm rafters to maintain 25mm ventilation gap. Under rafters install 62.5mm Kooltherm K18 Insulated Plasterboard with integral VCL.
Doors	Contemporary timber panelled door, post 1960's. 2x Timber panelled (6 x panel) doors	Good condition		Remove door D.3.03, retain doors D.3.01 and D.3.04. Reinstate opening to 14 GJS with door D.3.09. The existing internal door-sets are not original to the building. (see heritage statement) The majority of the existing doors were installed during a refurbishment period in circa 1965, the features of which do not accord with the rest of the building.	Replace the existing doors with solid, individually crafted hardwood doors. The design and proportions of the replacement doors will follow those of the Georgian Period and as such will reinstate some of the character of the building. New ironmongery in keeping with the Georgian style, fire requirements to be agreed and hardware installed.
Windows	N/A	N/A	N/A	N/A	N/A



Schedule of Condition



Project No.
406Doc Type:
SCDoc No:
0660Rev.
AIssue Date
29/11/2019

Project 15 Great James Street

All new external and internal works and finishes and works of making good to the retained fabric, shall match the existing adjacent work with regard to the methods used and to material, texture and profile, unless shown otherwise on the drawings or other documentation. This is not a construction document, all details will be provided as part of the architectural documentation.

Full consideration is given in this document and supporting appendices to the special architectural and historic interest of the building, together with the Borough of Camden's planning policies relative to this application. The ethos of the design and method of works is to remain as unobtrusive as possible, maintaining and restoring the special features of the building whilst also providing an office environment appropriate for a central London site in the 21st Century.

Roof


F.01 - Terrace	Description	Condition	Photo	Proposed	Action required
Walls	Not entirely accessible - 20/06/19 Brick parapet walls and party walls.	Undetermined Condition appears good from afar, however 15GJS terrace was not accessible to allow for more thorough evaluation.		Layout change to allow for new dormer for access stair to roof terrace level. Rear façade to be demolished and rebuilt to existing height and guarding fitted.	All brickwork and dressings are to be cleaned using a non-abrasive method such as pressure water washing, steam under pressure or chemical cleaning. The strength of chemicals, the length of dwell times, pre-wet and rinse water pressures must be kept low to avoid damage to the lime based mortar. Rear façade/back wall to be rebuilt, current brickwork to rear facade is not authentic to the Georgian period (see heritage statement). New wall to be timber frame construction clad in brick slips, type Brichridge No 15 faced in brick-slip, type Brichridge (Daas Baksteen). Details: Flemish bond with flush pointing, lime based mortar. Contemporary guarding to be fitted to parapet wall to ensure 1100mm minimum protection from falling.
Floor	Not accessible - 20/06/19	Undetermined Condition appears good from afar, however 15GJS terrace was not accessible to allow for more thorough evaluation.		Contemporary timber decking to be fitted to roof terrace.	Existing terrace floor/ flat roof to be repaired where necessary. Timber terrace raised over existing roof level.

Project No.
406Doc Type:
SCDoc No:
0660Rev.
AIssue Date
29/11/2019

Project 15 Great James Street

All new external and internal works and finishes and works of making good to the retained fabric, shall match the existing adjacent work with regard to the methods used and to material, texture and profile, unless shown otherwise on the drawings or other documentation. This is not a construction document, all details will be provided as part of the architectural documentation.

Full consideration is given in this document and supporting appendices to the special architectural and historic interest of the building, together with the Borough of Camden's planning policies relative to this application. The ethos of the design and method of works is to remain as unobtrusive as possible, maintaining and restoring the special features of the building whilst also providing an office environment appropriate for a central London site in the 21st Century.

Roof	Not accessible - 20/06/19	Undetermined Condition appears good from afar, however 15GJS terrace was not accessible to allow for more thorough evaluation. Tiles which are visible appear to be in good condition. Further/closer inspection required to determine roof condition.		New full height dormer to be installed to existing roof for stair access to roof terrace.	New opening to be formed in existing roof to allow for installation of new dormer. Tiles to roof appear to be recently replaced. Roof tiles to be inspected for any leaks and any damaged tiles to be replaced with tile stock to match existing.
Doors	Not accessible - 20/06/19	Not accessible - 20/06/19	TBC	Contemporary full height dormer to be installed to existing roof to provide door access from new stair flight to roof terrace.	New opening to be formed in existing roof to allow for installation of new dormer.
Windows	N/A	N/A	N/A	N/A	N/A



Schedule of Condition



Project No. 406	Doc Type: SC	Doc No: 0660	Rev. B	Issue Date 29/10/2019
--------------------	-----------------	-----------------	-----------	--------------------------

Project 15 Great James Street

All new external and internal works and finishes and works of making good to the retained fabric, shall match the existing adjacent work with regard to the methods used and to material, texture and profile, unless shown otherwise on the drawings or other documentation. This is not a construction document, all details will be provided as part of the architectural documentation.

Full consideration is given in this document and supporting appendices to the special architectural and historic interest of the building, together with the Borough of Camden's planning policies relative to this application. The ethos of the design and method of works is to remain as unobtrusive as possible, maintaining and restoring the special features of the building whilst also providing an office environment appropriate for a central London site in the 21st Century.

Exterior

	Description	Condition	Photo	Proposed	Action required
Front façade	<p>Architectural and historic interest of the early Georgian part of the Grade II* listed house.</p> <p>Original windows have been replaced. Signs of replaced brickwork, suspected repair due to bomb damage (see heritage statement).</p>	Good condition		Windows to be replaced. Brickwork to be cleaned and repointed.	<p>All brickwork and dressings are to be cleaned using a non-abrasive method such as pressure water washing, steam under pressure or chemical cleaning. The strength of chemicals, the length of dwell times, pre-wet and rinse water pressures must be kept low to avoid damage to the lime based mortar.</p> <p>Replace the existing sash windows with solid, individually crafted hardwood sash to match No 31 of the terrace. 6/6 sashes to basement and ground floor, 9/6 sashes to first floor and 6/6 to upper floors (as per Conservation Officers recommendations). The box frames, shutters and ironmongery to be repaired and refurbished. Paint finish - colour TBA</p>
Rear façade	<p>Contemporary alterations have been made to the internal layouts to join no.14 and no.15 into a commercial property. Alterations made between 1900's and WW2 (see heritage statement).</p> <p>As a result the rear facade is a contemporary alteration not inkeeping with the Georgian grade II listed aspects of the property.</p>	Ok condition		To be demolished and rebuilt with closet storey.	<p>New rear façade of timber construction with brick slip facing. To be constructed in place of current facade. Details to be agreed.</p> <p>No 15 faced in brick-slip, type Brichridge (Daas Baksteen). Details: Flemish bond with flush pointing, lime based mortar 5mm horizontal and vertical joints.</p> <p>Glazed off white brick to first floor and the rear extension. Details: Flemish bond with lime based mortar and 5mm horizontal and vertical joints.</p>



Project No. 406	Doc Type: SC	Doc No: 0660	Rev. B	Issue Date 29/10/2019
--------------------	-----------------	-----------------	-----------	--------------------------

Project 15 Great James Street

All new external and internal works and finishes and works of making good to the retained fabric, shall match the existing adjacent work with regard to the methods used and to material, texture and profile, unless shown otherwise on the drawings or other documentation. This is not a construction document, all details will be provided as part of the architectural documentation.

Full consideration is given in this document and supporting appendices to the special architectural and historic interest of the building, together with the Borough of Camden's planning policies relative to this application. The ethos of the design and method of works is to remain as unobtrusive as possible, maintaining and restoring the special features of the building whilst also providing an office environment appropriate for a central London site in the 21st Century.

Rear Extension	<p>Contemporary extension to number 15 is a post 1960's addition (see heritage statement).</p> <p>As a result it is not inkeeping with the Georgian grade II listed aspects of the property, its removal would therefore not negatively impact the character of the property.</p>	Poor condition		To be demolished and rebuilt.	Below ground concrete block extension, details to be provided by structural engineer.
----------------	-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	----------------	--------------------------------------------------------------------------------------	-------------------------------	---------------------------------------------------------------------------------------