



Existing lime tree is retained & protected

Extension height sits below bay window height

Outline of existing garage extension

600mm set-back

Proposed Section - through the kitchen extension with laundry/larder below

(the blue line indicates the outline of the pre-app proposal which was slightly taller to the front and rear).

5.9.1 The design intends to resolve the unauthorised line of the 2001 garage.

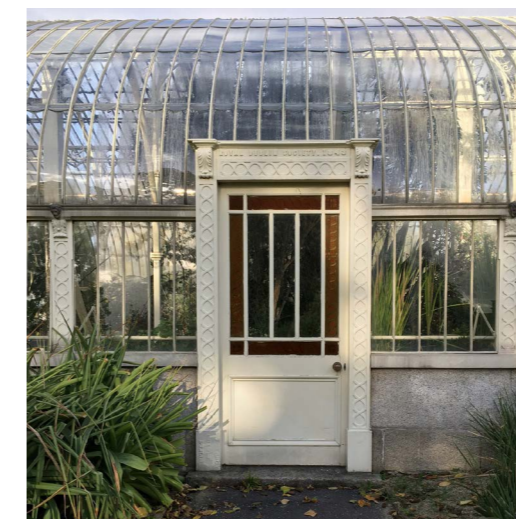
5.9.2 The extension is set back (by 600mm) from the main front facade; following the existing garage extension line. At the rear the new facade is straight and parallel with the main house rear facade; replacing the existing stepped facade of the garage extension.

5.9.3 The height of the extension will visually match the height of the existing single storey entrance porch to the west; introducing balance to the front elevation and ensuring that both extensions remain subservient to the central principal facade.

5.9.4 The floor level of the extension is set at an intermediary level; a respectful four steps (approx. 730mm) below the upper-ground floor level; and sited above the existing external ground level to avoid harm to nearby tree roots. (Refer to Arboricultural Report for further information on tree protection).

5.9.5 Glazing across the front and rear facades of the proposed extension serve to mask the form; reducing the visual mass to less than that of the existing garage and retaining the primacy of the main house. The result is a visual lightness and timeless quality of an artist's studio, or a garden room; a clear later addition to the house not to be confused with the original.

5.9.6 The curves of the glazed extension roof respond to the curves of the bay windows; without aping them. The glazing will have slender metal-frames, modern though not assertively. Bespoke solutions will be explored to ensure an overall lightness, with the glazing sections broken down into linear components and expressed glazing beads with imposed angles to disguise the appearance of the double-glazed frame sections.



Precedent Images

- beautiful and elegantly curved roof glazing

5.9.7 The structural design will be integral to the internal aesthetic; with delicate metal ties spanning between the primary structural beams and a central lantern rooflight at the apex.

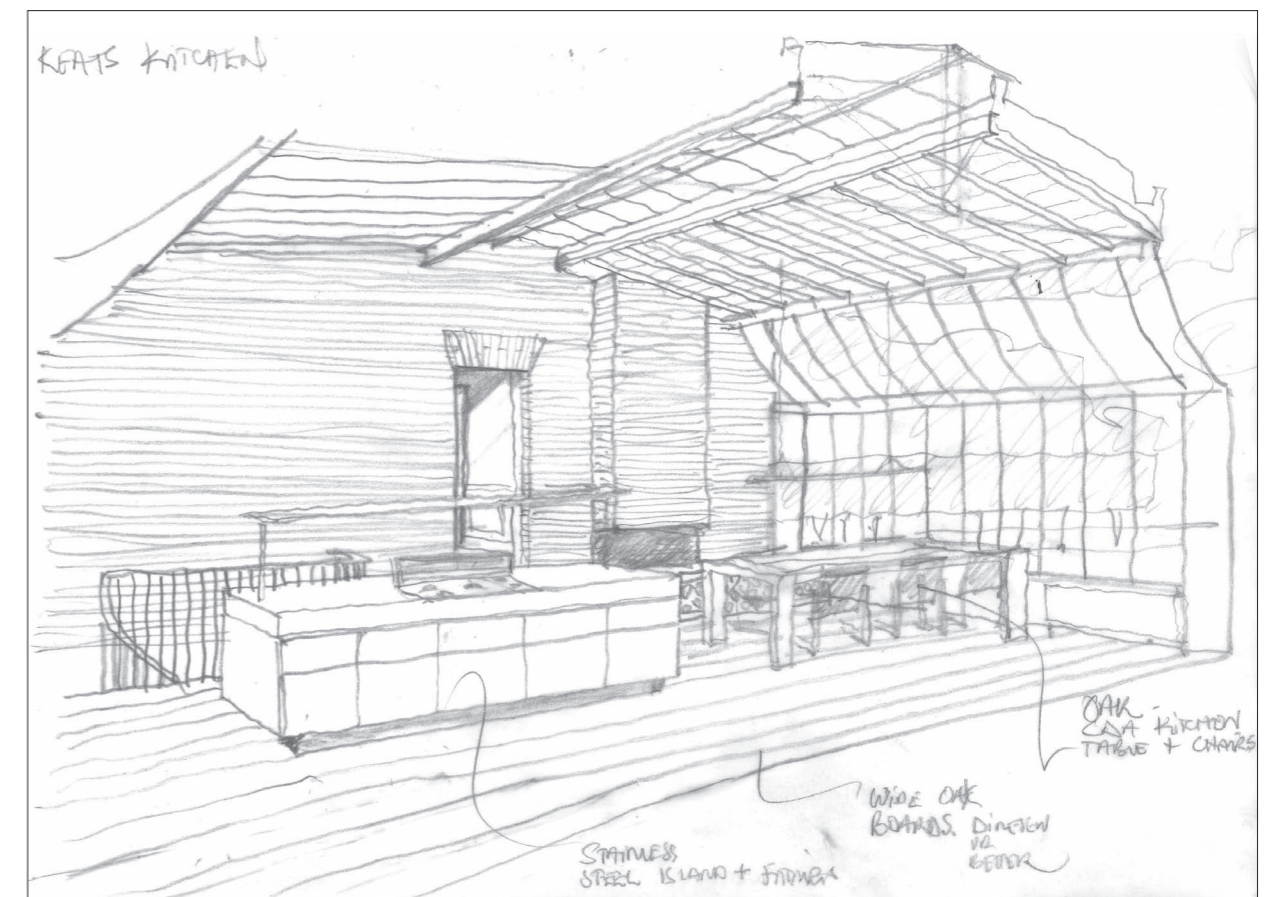
5.9.8 Solid brick walls (white washed internally) and lead roof sections on both sides will add a balanced solidity to the glazed elements. The lighting design will be carefully considered and will utilise indirect lighting strategies to ensure that light spill is controlled to minimal levels.

5.9.9 Internally at upper-ground level the new kitchen will be connected to the main house via a single doorway opening in the gable wall. Detailed as a discreet jib door (see section 5.5) the aim is to conceal this opening so that when closed there is no visual change from the main Drawing Room side. Positioned to centre the Drawing Room fireplace, it is felt that this new opening will have a minimal effect on the existing fabric and plan form; which is deemed to be outweighed by the benefit of the new direct connection to the kitchen.

5.9.10 The new kitchen will be connected to the laundry and larder spaces below via a stone staircase; with a reduced floor plan area to avoid disturbance of the root protection zone of the mature lime tree to the rear. (Refer to Arboricultural Report for further information on tree protection).



Proposed Rear Elevation - highlighting the balanced heights of the western entrance hall and new kitchen extension to the east



Indicative 3d Sketch - of kitchen extension interior

6.0 Landscaping

6.1 Proposed Landscaping - Overview

The existing front and rear gardens attempt to impose modern rigour on irregular foundations, without great success. Despite the generous site, the landscaping treatment detracts from the setting of the listed building. There are 7 existing structures in the rear garden which are haphazardly arranged and in poor condition.

The proposal aims to remove the formal gardens introduced by the previous owners and reinstate simplified gardens to both the front and rear of the property to be more in keeping with the original, more naturalistic, landscaped setting of the house.

1. Infilled vehicle gate opening with brickwork to match original existing.
2. New pedestrian entrance gate inserted with brickwork arch above (brickwork to match as above).
3. New vehicle court with electric car re-charge points.
4. New reclaimed brick garden walls create distinct separate entrances to No.12 (application site) and No.12B (neighbour).
5. New integrated bin store.
6. New planting along garden wall.
7. Simplified front garden landscaping.
8. simplified rear garden landscaping.
9. New high quality garden rooms sit within new landscaping.



Proposed Landscape Plan



Demolished for safety

Photos of the existing front and rear gardens and the garden structures.