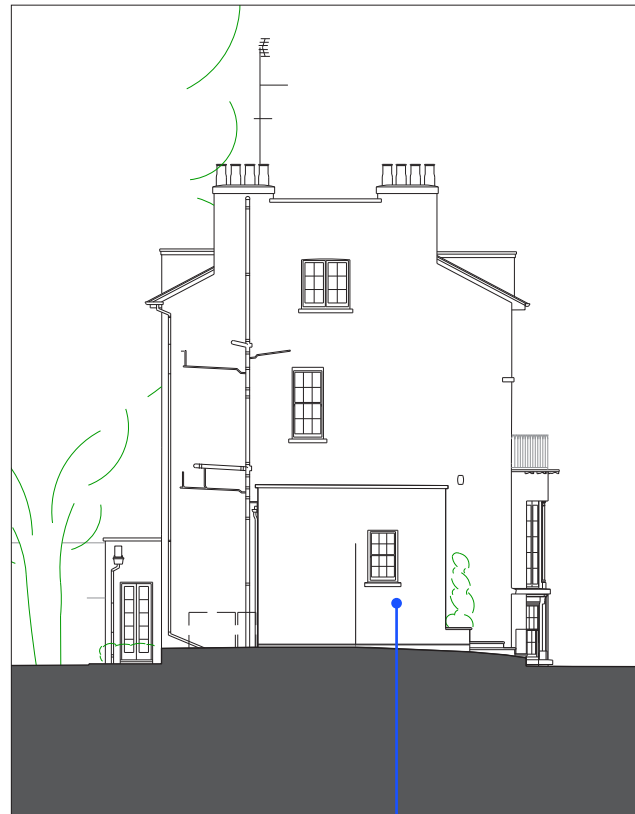
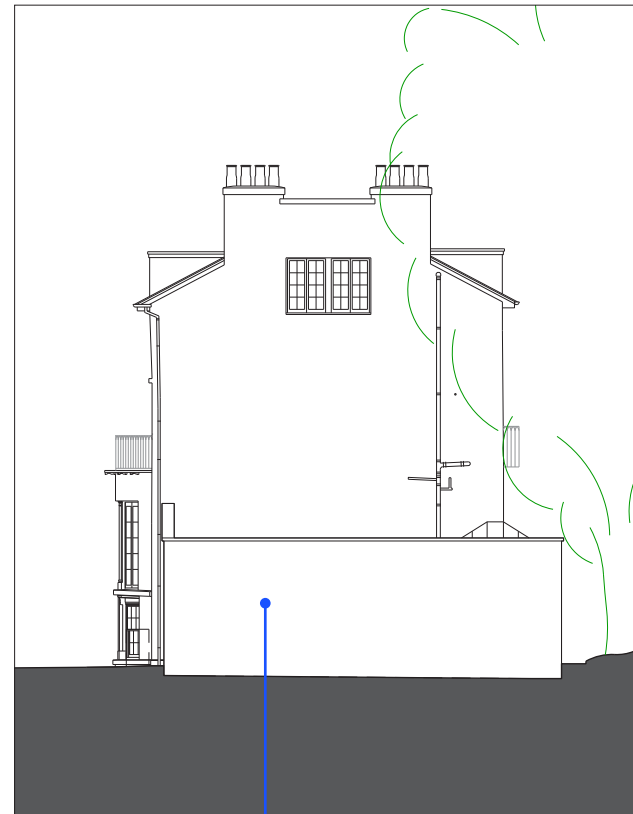


*Please refer to the Heritage Report (section 3.2.3) for detailed information.



West Elevation

Entrance
hall return
elevation



East Elevation

Garage
extension
return elevation

3.3 Existing External Conditions: Sides

Both side elevations (west and east) are in matching modern white render and are topped by two chimneys with modern pots. Both consist of modern PVC downpipes and rainwater goods which create unattractive visual clutter.

The west elevation is heavily covered in greenery and is concealed in most views by its proximity to the western garden wall (boundary with No.12B). It has minimal fenestration consisting of modern multi-pane casements at second floor level and a modern six-over-six sash at first floor level (with modern concrete sills). The return elevation of the entrance hall wing is single-storey with a single window.

The east elevation only has windows at second floor level; modern multi-pane casements. The return elevation of the 2001 single-storey garage extension has no windows; it forms the boundary with No.12A and is therefore largely concealed.



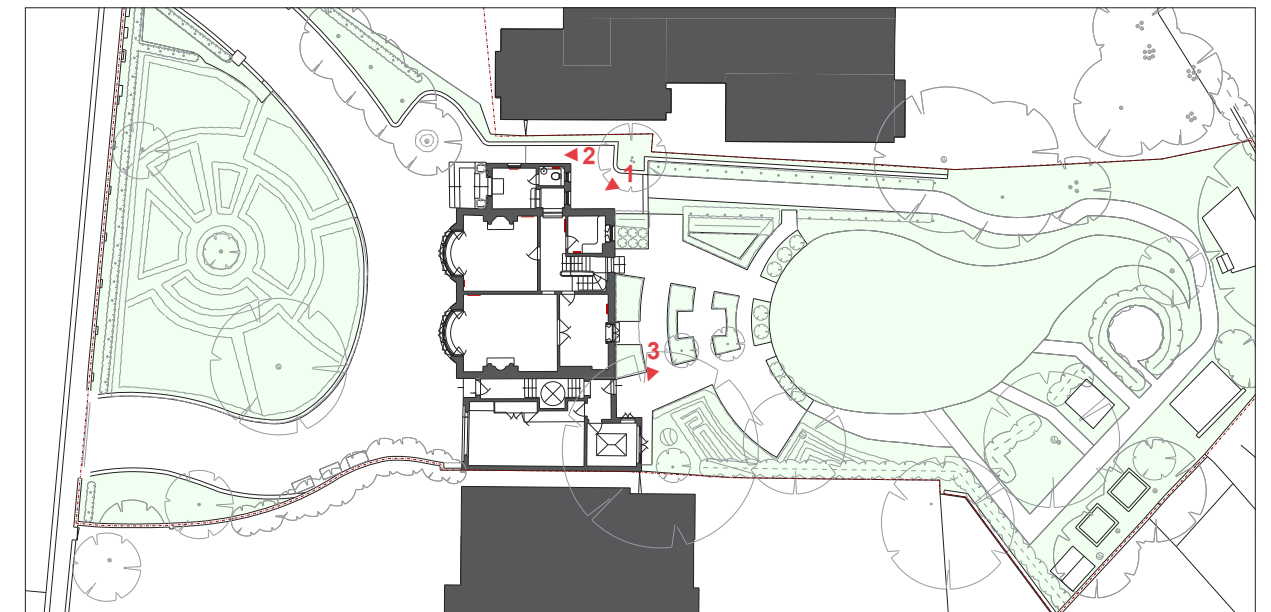
1. West Facade - showing greenery & pvc downpipes



2. Western Pedestrian Gate



3. View towards eastern garage extension



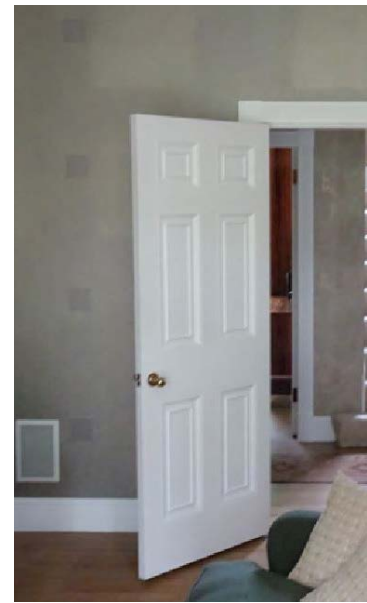
Key Plan



Modern plasterwork and downlights



Modern stair balustrade and skirting



Modern skirtings, door architraves and built-in speakers



Modern cornices, wall panelling, skirtings and doors



Modern windows with chunky frames, next to original shutters



Modern doors and ironmongery

3.4 Existing Internal Conditions: General

Internally, while the plan form remains relatively original and the rooms superficially intact, recent building works (associated with listed building consent PWX0102073, 2001) have sadly caused loss of historic fabric and details throughout the house.

This loss is to the extent that relatively little of what can now be seen is original (retained window shutters the notable exception). Skirtings, architraves, cornices, plaster finishes, doors, chimney pieces, ironmongery and windows, while approximating traditional styles, are mostly modern replacements; generally crude in detail and quality, and at best lacking the elegance of the originals.

Since the listed building consent was approved in 2001 there have been a number of modern replacements of existing fabric, of which some is believed to be unauthorised. These include:

Lower-Ground Floor

- Family room: fireplace surround and chimney breast removed.

Upper-Ground Floor

- Drawing Room walls: paneling removed and replaced with plasterboard and decorative plaster mouldings.
- Drawing & Sitting Rooms walls: speakers chased into walls.
- Drawing & Sitting Room chimney pieces: originals removed and replaced.
- Drawing & Sitting Room fireplace hearths: original flush hearths replaced with new protruding.

Hall & Staircase

- Entrance door fanlight: glazing and glazing bars replaced with modern chunky glazing bars.
- Dado removed throughout hall and staircase.
- Staircase spindles: replaced with chunky wood and metal spindles.

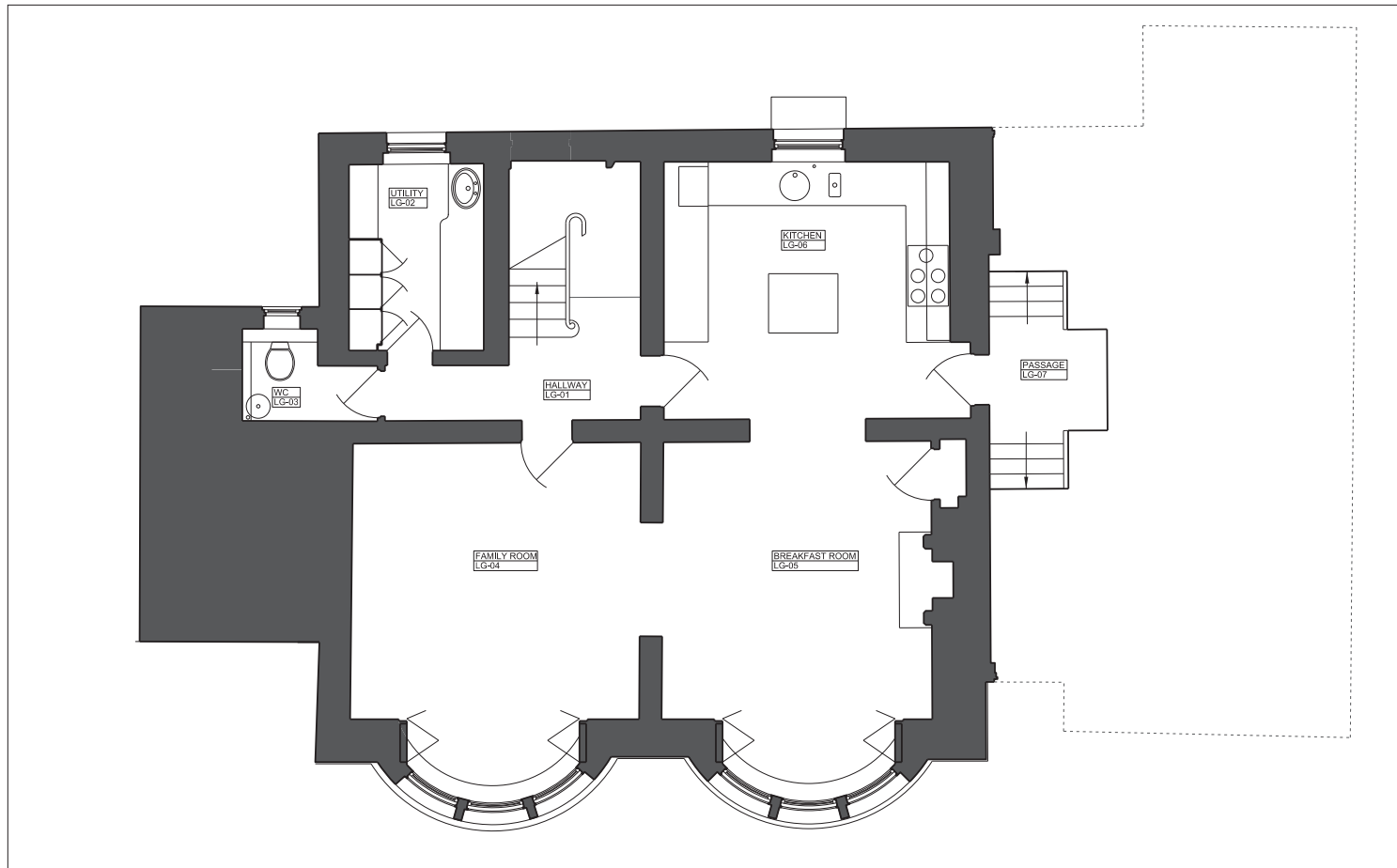
Internal Throughout

- Cornicing: original removed and replaced with inappropriate elaborate cornices.
- Doors: originals removed and replaced with new doors.
- Architraves: originals removed and replaced with new architraves.
- Skirtings: originals removed and replaced with elaborate new skirtings.
- Ceilings: suspended ceilings installed to accommodate integrated down-lights and speakers

External

- Windows and French Doors: originals removed and replaced with new (with chunky glazing bar details and all opening vents eliminated).
- Stucco Lime Render: removed and replaced with new synthetic render.

*Please refer to the Heritage Report (section 3.3.2) for detailed information.



Existing Lower Ground Floor Plan

3.5 Existing Internal Conditions: Lower-Ground Floor

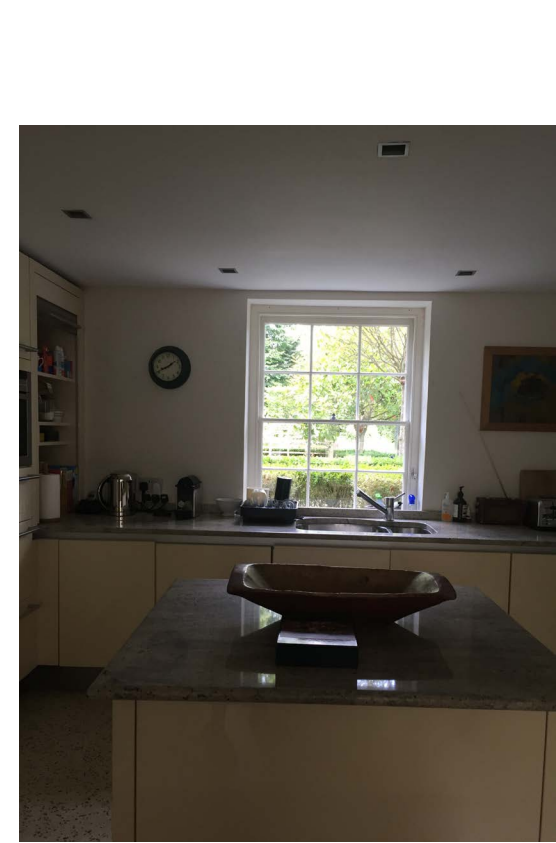
Lower than driveway level by approximately 500mm, the lower-ground floor consists of the kitchen and utility rooms to the rear (separated by the central stairway and hall) and interconnected breakfast and family rooms (via modern opening) to the front (with large elliptical bay windows and views across the front garden). A small wc is tucked under the west entrance wing with access from the hallway.

At this level the eastern garage extension is connected to the main house via a single doorway leading to a service corridor; steps lead down from the upper-ground driveway entrance and back up to the rear giving access to the garage, gym and garden.

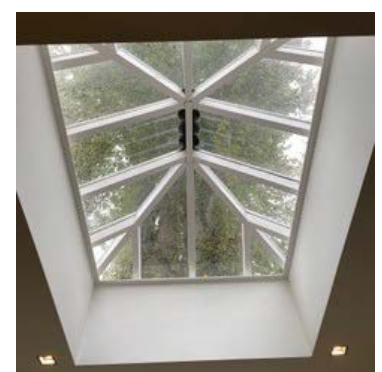
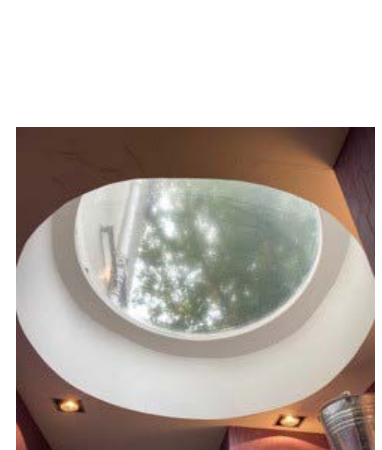
This level is characterised by modern furnishings and finishes: terrazzo and carpet flooring with underfloor heating; dropped ceilings which accommodate modern down-lights and integrated speakers; and stainless steel framed glass doors. Other modern additions include: reeded architraves, replacement window shutters, late 20th century chimneypiece and skirtings. The family room fireplace has been lost.



Modern reeded architrave



Modern terrazzo floor & skirting
Modern metal glazed door



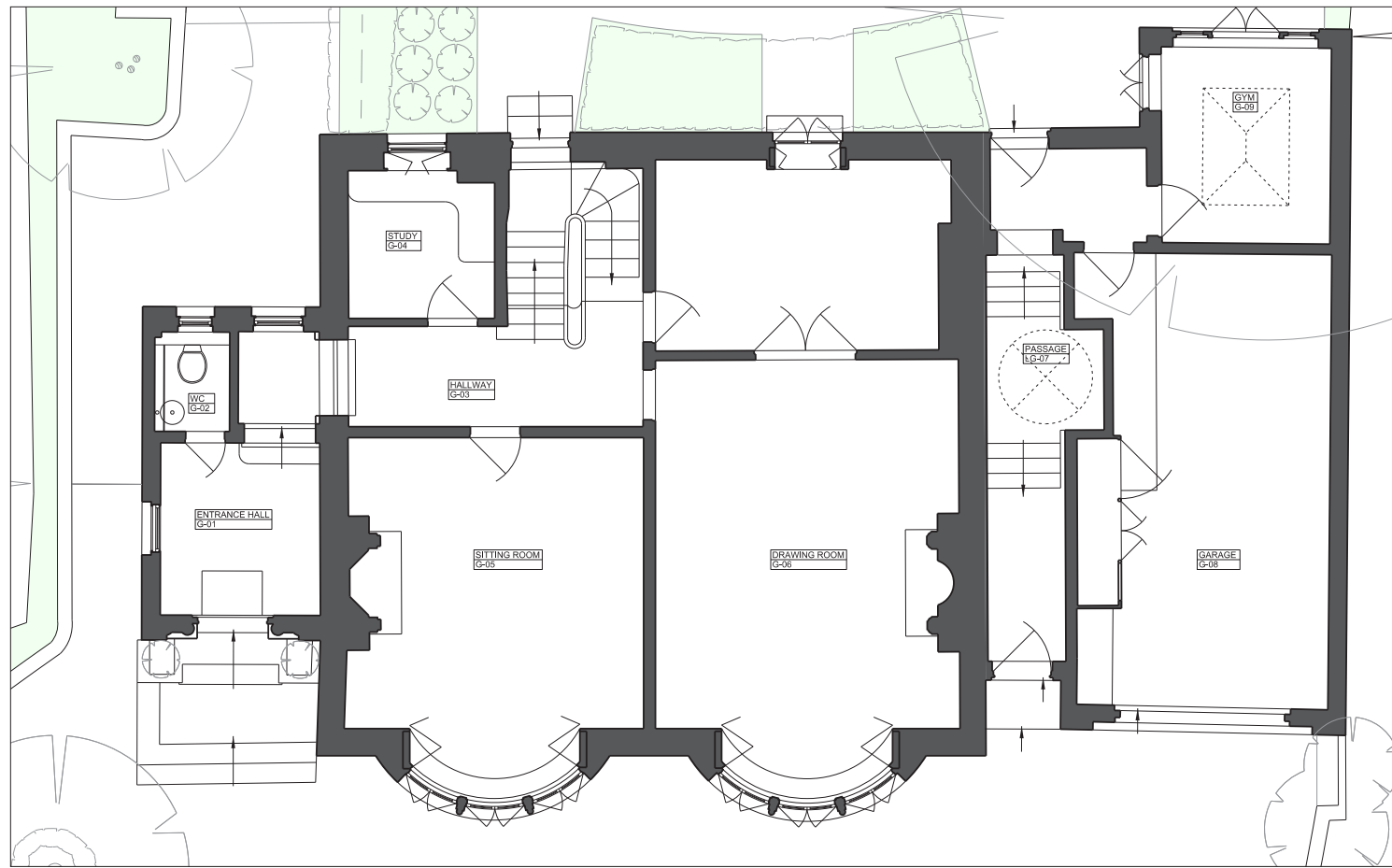
1. Modern opening between two front rooms
- front facing bay windows overlook the driveway

2. Existing Kitchen in rear room
- rear facade window overlooks the garden

3. Doorway to Garage Extension
- part of the 2001 works

4. Garage Extension Service Corridor
- looking towards driveway entrance

5. Garage Extension Rooflights
- existing domed and lantern rooflights



Existing Upper Ground Floor Plan

*Please refer to the Heritage Report (section 3.3.3) for detailed information.



3.6 Existing Internal Conditions: Upper-Ground Floor

Raised above driveway level by approximately 2m, the upper-ground floor consists of the study and library spaces to the rear (separated by the central stairway and hall) and drawing and sitting rooms to the front (with large elliptical bay windows and views across the front garden). The historic doorway opening between these two front rooms has been sealed and the fireplace in the library has also been enclosed.

The west entrance hall is accessed via 5 external steps. A small wc is located to the rear and a series of additional internal steps lead up to the main level. There is no internal connection to the eastern garage extension at this level.

This floor also features an abundance of modern fittings and finishes; narrow board timber flooring; six-panelled doors with reeded architraves in a historic style; highly decorative (and inappropriate) wall panelling, mouldings and skirtings in the main rooms; dropped ceilings and down-lights; and integrated speakers.

The front facing bay windows appear to have fragments of original skirting; original architraves and shutters.



1. Drawing Room
- view towards front facing elliptical bay windows



2. Drawing Room
- view towards rear library, highlighting the elaborate modern wall panelling and mouldings

Modern wall panelling & mouldings



3. Drawing Room
- original timber window shutters on elliptical bay



4. Library
- view towards enclosed fireplace



5. Hallway
- view towards entrance hall

Enclosed fireplace

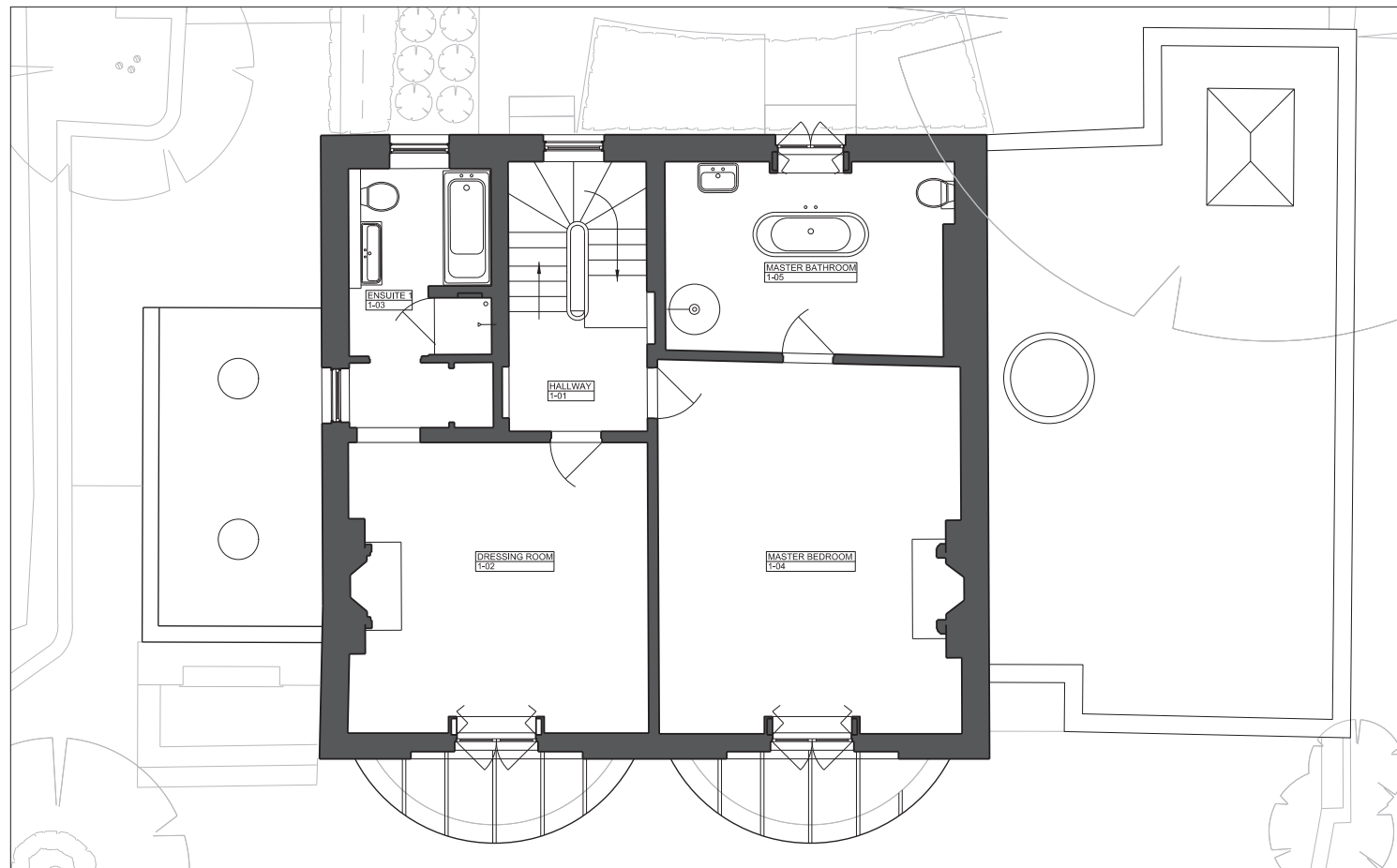
*Please refer to the Heritage Report (section 3.3.4) for detailed information.

3.7 Existing Internal Conditions: First Floor

This level comprises the master suite; bedroom to the east front room with rear facing bathroom and dressing room to the west (former separate bedroom) with smaller bathroom to the rear. Original doorways to the two rear rooms from the stair landing have been sealed. The two front rooms have modern French doors which open onto balconies over the ground floor projecting bays; and the rear east bathroom also benefits from doors onto a rear facing balcony.

The external balustrades to the rear facade are modern mild steel additions. Other modern features include all doors, architraves, skirtings, mouldings and chimneypieces; although in historic style.

The timber floor boards on this level appear historic but are unlikely to be original. The window shutters do appear original.



Existing First Floor Plan

Modern
cornicing



1. Master Bedroom
- view towards bathroom and landing doorway

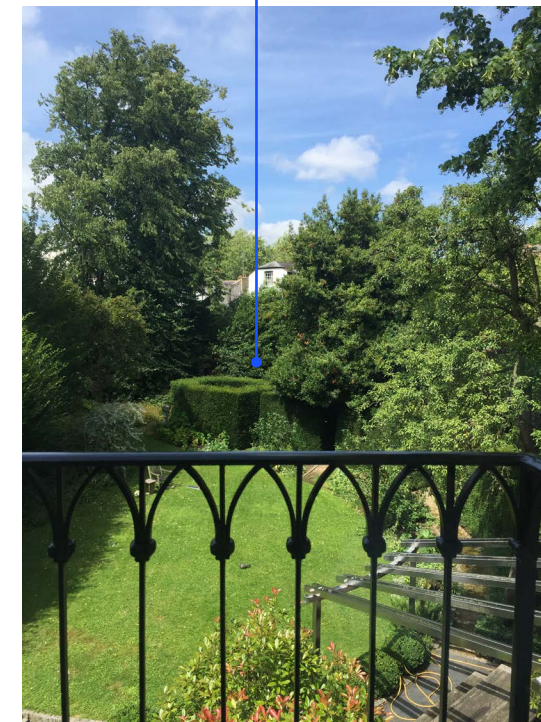


2. Master Bedroom
- original shutters and latches with modern pulls

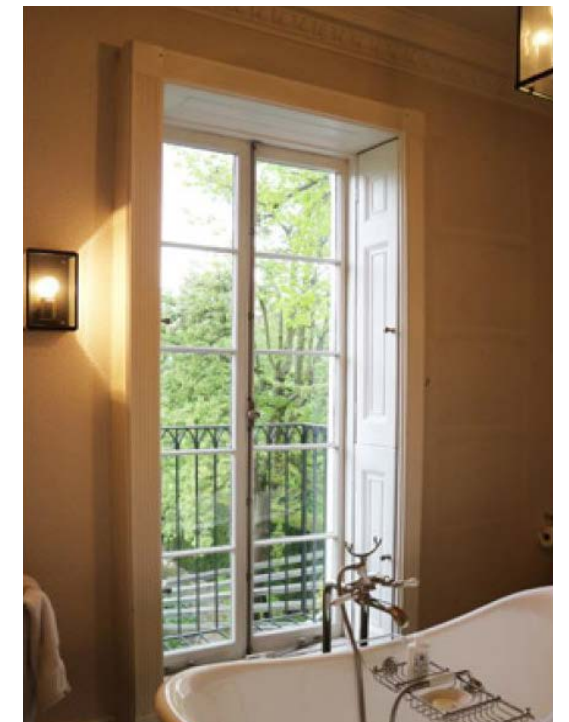


3. Master Bedroom
- modern chimneypiece

Formal rear
garden



4. Master Bathroom
- modern balustrade and view of rear garden



5. Master Bathroom
- rear window with original shutters

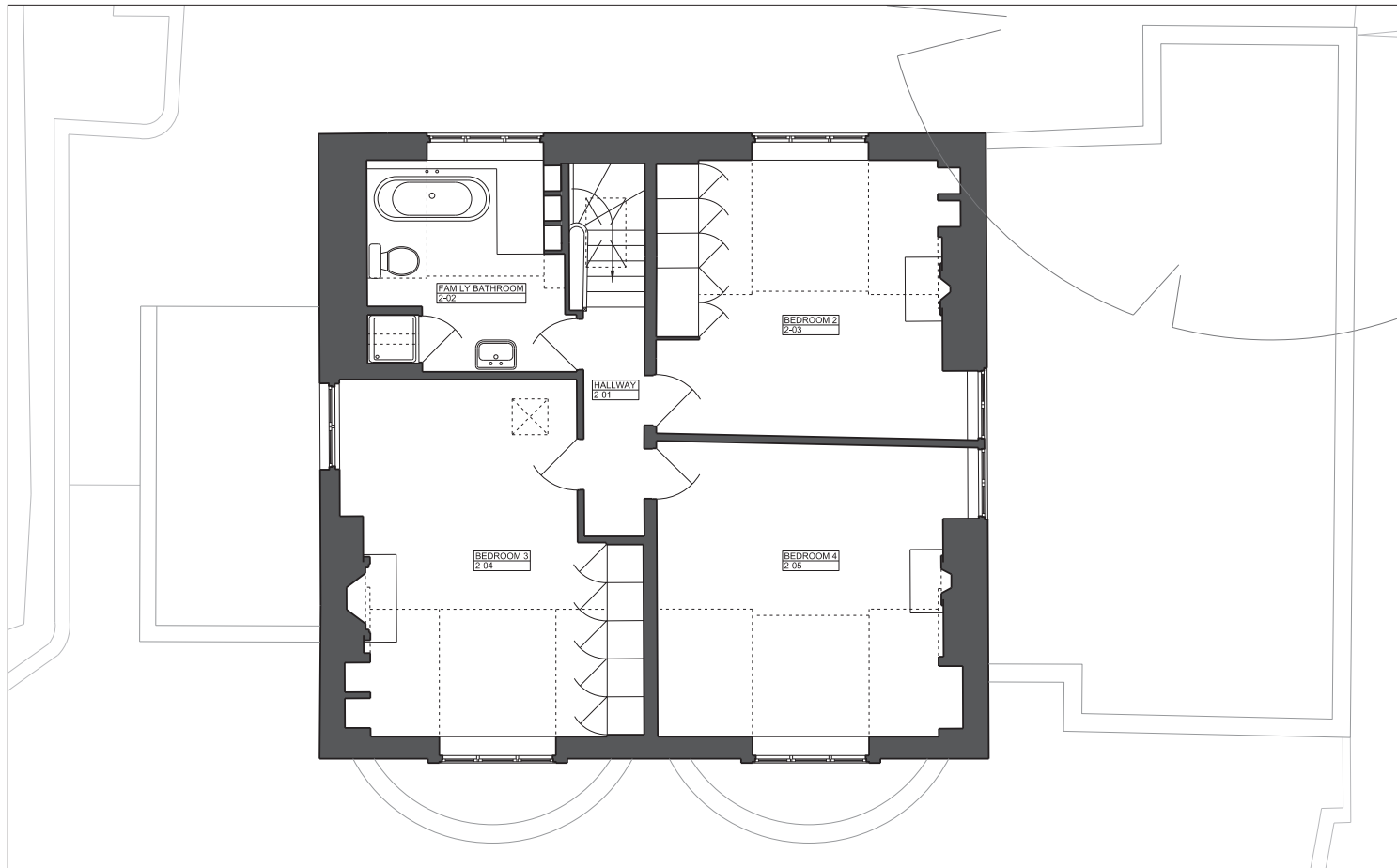
*Please refer to the Heritage Report (section 3.3.5) for detailed information.

3.8 Existing Internal Conditions: Second Floor

The second 'attic' floor consists of three bedrooms and family bathroom tucked beneath the pitched roof. Each room is accessed via the central stair hallway and has front/rear facing dormer windows (later 1930's additions) and side elevation windows (originally one window in each gable shared between front and rear rooms).

The partition between the western rooms has been shifted further northward; creating a slightly larger bedroom and smaller bathroom to the rear. The chimney breast was also removed in this room. The stair has a small rooflight above.

Modern features on this level include casement windows, six panel doors, reeded architraves, skirtings, chimneypieces, built-in cupboards, ceiling downlights and carpet flooring.



Existing Second Floor Plan



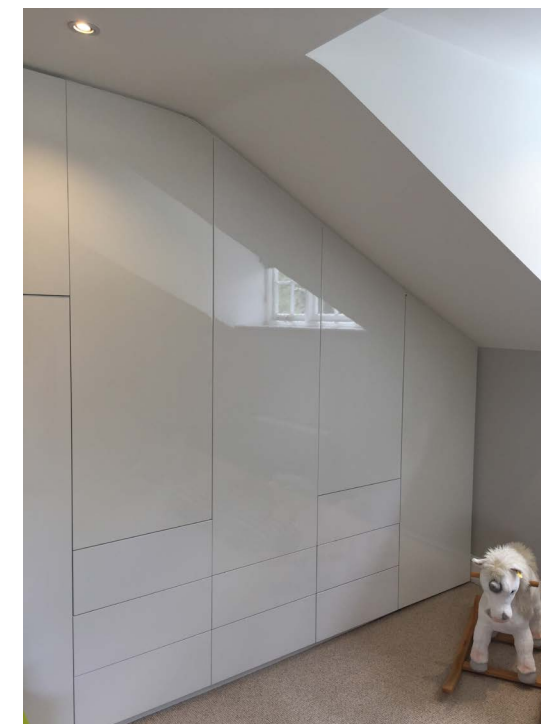
1. Stair Rooflight



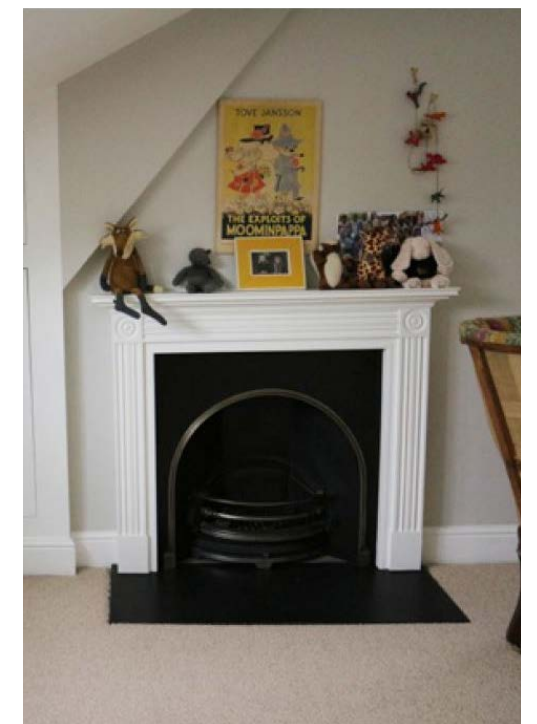
2. Family Bathroom
- view towards rear facing dormer window



3. Bedroom 3
- view towards west facing window



4. Bedroom 3
- modern built-in cupboards



5. Bedroom 3
- modern oversized chimneypiece

4.0 Pre-App Background

4.1 Pre-App 1 (ref 2019/0151/PRE)

The scheme has been through two Pre-Applications with Camden Council prior to this Planning Application.

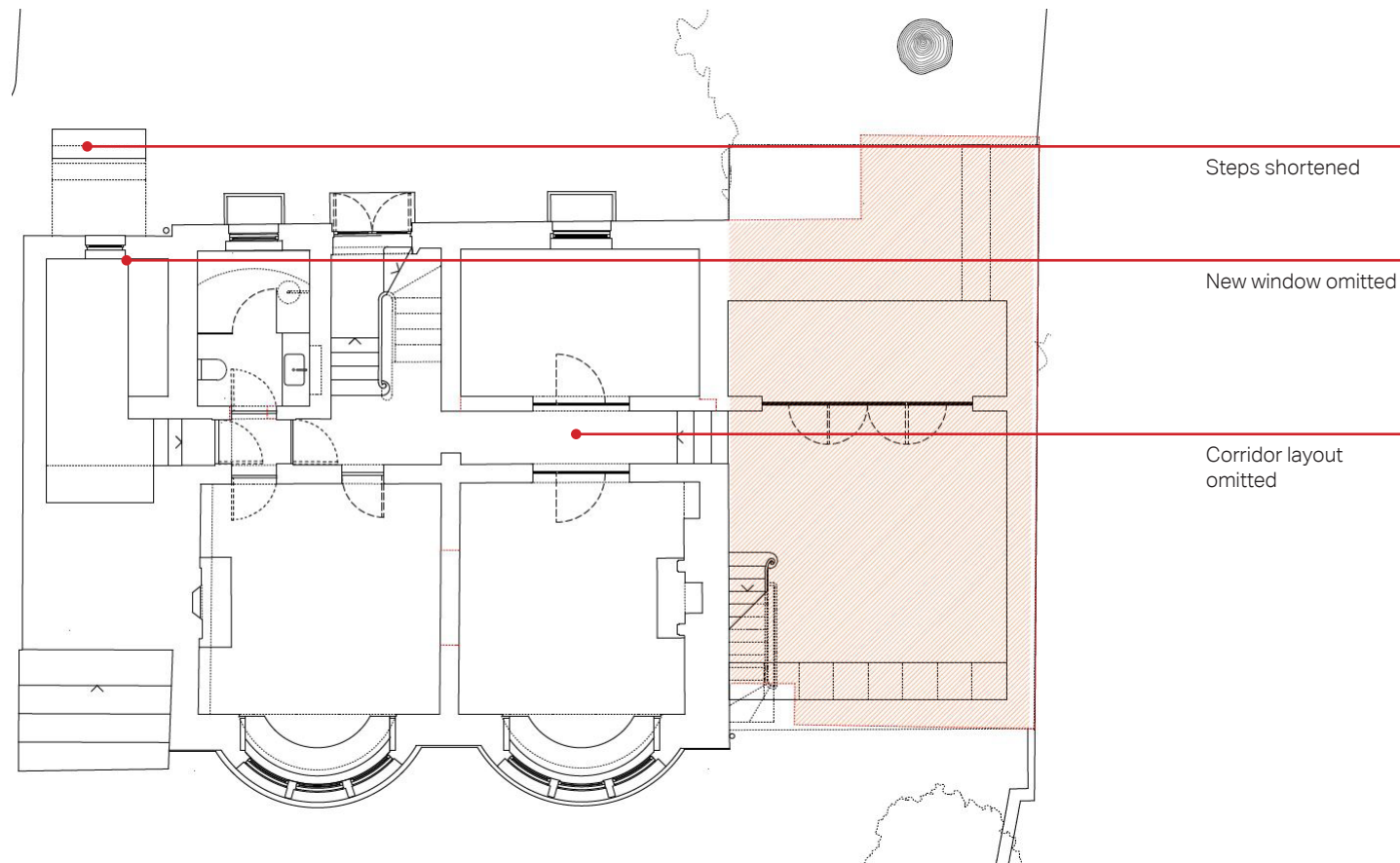
The first Pre-App submission was made to Camden Council in January 2019 (ref 2019/0151/PRE) by William Smalley Architects.

Following comments received by the Council in response to this initial Pre-App, the proposals were revised for a second Pre-App submission (again by William Smalley Architects) in coordination with Heritage Consultants Donald Insall Associates.

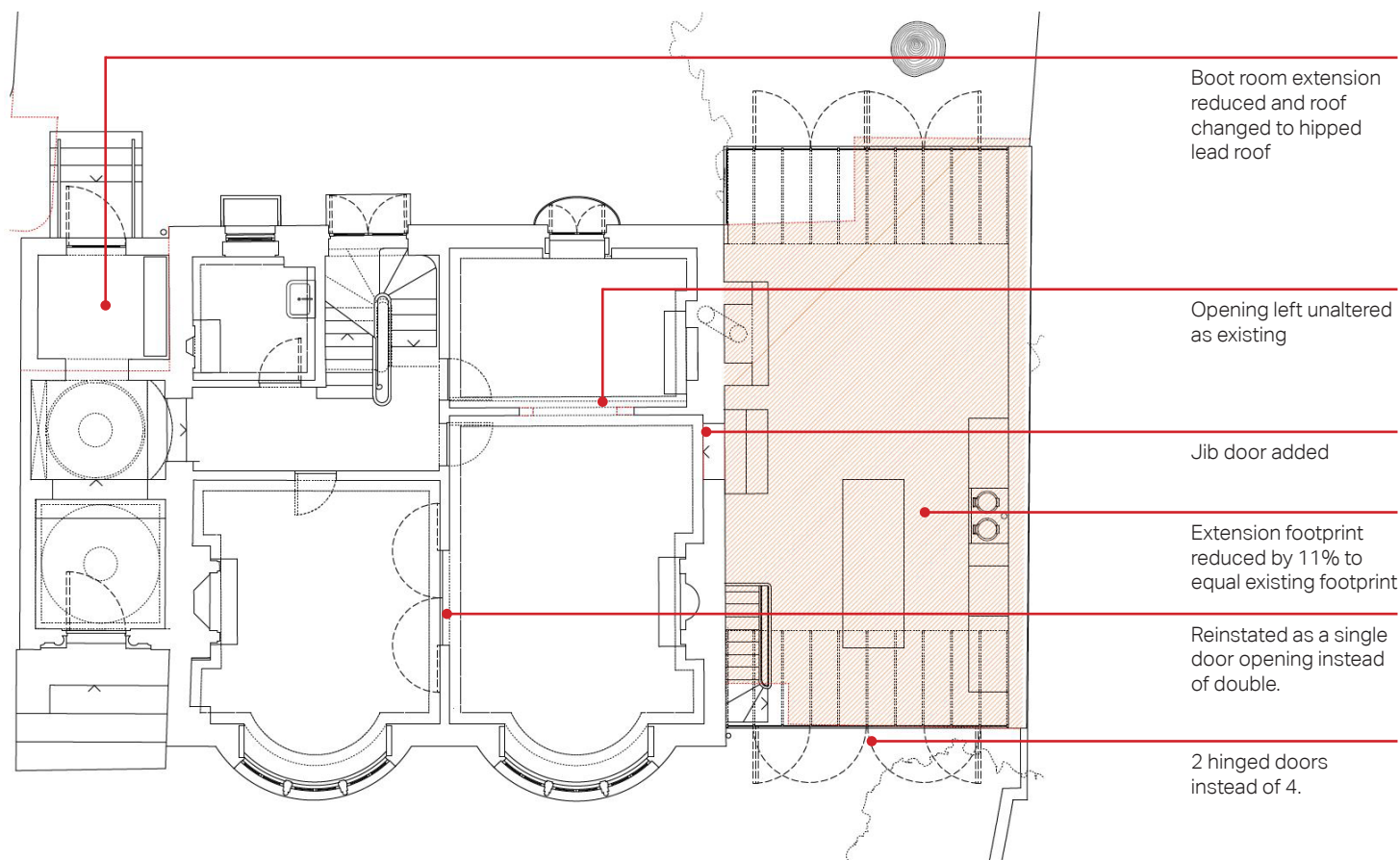
Summary of these key revisions below:

- The boot room extension was redesigned.
- The kitchen extension was reduced in size.
- The area of glazing to the kitchen extension was reduced.
- Previously proposed alterations to various doorway openings and internal walls were omitted.

The adjacent plans highlight these changes on each level of the house.



Lower Ground Floor Plan (as submitted on Jan.9th 2019 ref:2019/0151/PRE)



Upper Ground Floor Plan (as submitted on Jan.9th 2019 ref:2019/0151/PRE)

Lower Ground Floor

- The proposed partitions within the existing kitchen were omitted so that the lower-ground floor would follow the original plan form.
- The opening between the two front rooms (permitted in 2001) was proposed to be blocked up - providing a greater overall gain to the legibility of the original floor plan.
- The two chimney breasts were proposed to be reinstated, enhancing the original plan form.
- The proposed basement of the side extension was updated to provide a simpler and more appropriate plan than the awkward and complicated existing arrangement.

Upper Ground Floor

- The previously proposed alterations to the existing opening between the front Drawing Room and rear Study were omitted.
- The previously proposed double door opening between the two front rooms was reduced to a single door opening; reinstating the original doorway shown on the earliest known plan of 1915.
- The proposed door opening to the new Kitchen was updated to be concealed with a jib door flush to the wall face of the Drawing Room to maintain the form of this room.

*The size of the new eastern extension was reduced in size across both lower and upper ground floor levels (by 11%) in order to match the existing garage extension footprint.