



Areas to be carefully removed

- -Existing staircase to be removed at all levels; see Structural Engineers drawings and specification for any temporary works required
- -All window and door sets to be removed and replaced; sequencing of works TBC with Main Contractor to suit lead in times
- -All roof coverings to be carefully removed and replaced sequencing TBC with Main Contractor - refer to proposed drawings and annotations for details.
- -Metal bar railings on the windows are to be carefully remove and their brickwork fixings are to be made good

21 17.07.19 Change in scale

.0 0.25 0.5 1.0 n



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+44(0)20 8969 9

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22 TOWER STREET

CLIENT - BRITISH RETAIL CONSORTIUM

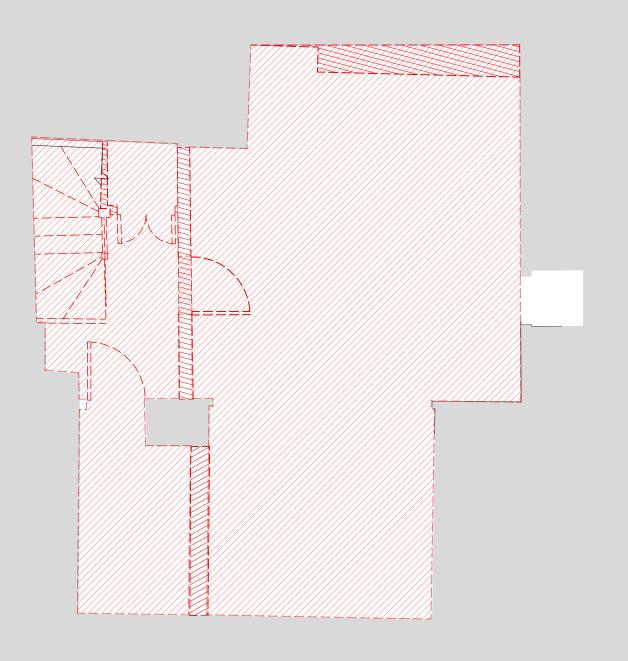
BASEMENT DEMOLITION PLAN
STATUS - PLANNING

 DRAWN
 CHECKED
 REVISION

 BS
 RB
 P1

 SCALE
 DRAWING
 DATE

 1:50
 @ A3
 18010_DE.01
 08.10.19





Areas to be carefully removed

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P2 08.10.19. Changes to glazing and front door

P1 17.07.19 Change in scale of DE.50

0.0 0.25 0.5 1.0 m

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121 SALUSBURY RO LONDON NW6 6RG info@claridgearchitects.cor +44(0)20 8969 922

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22 TOWER STREET

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GROUND FLOOR DEMOLITION PLAN

STATUS - PLANNING

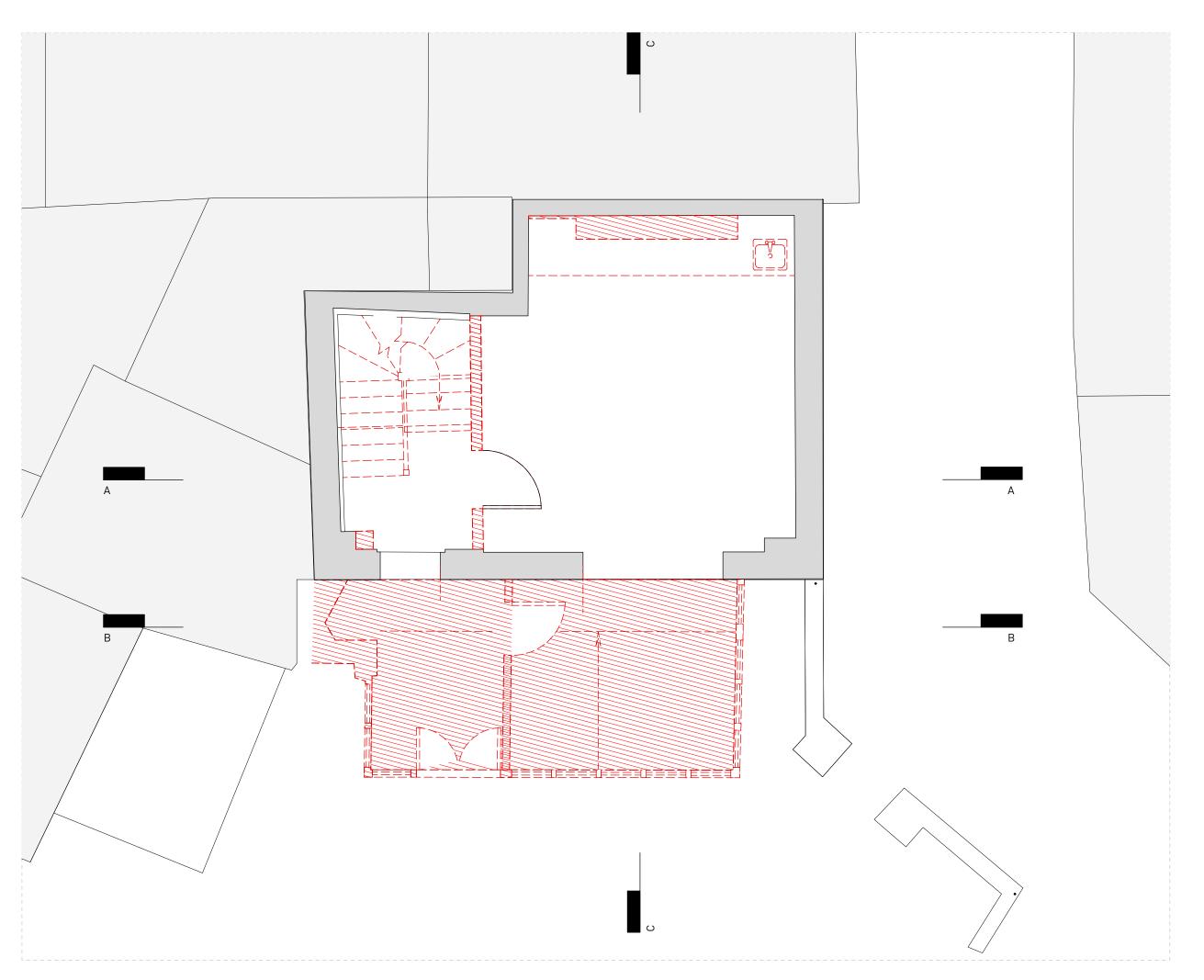
DRAWN CHECKED

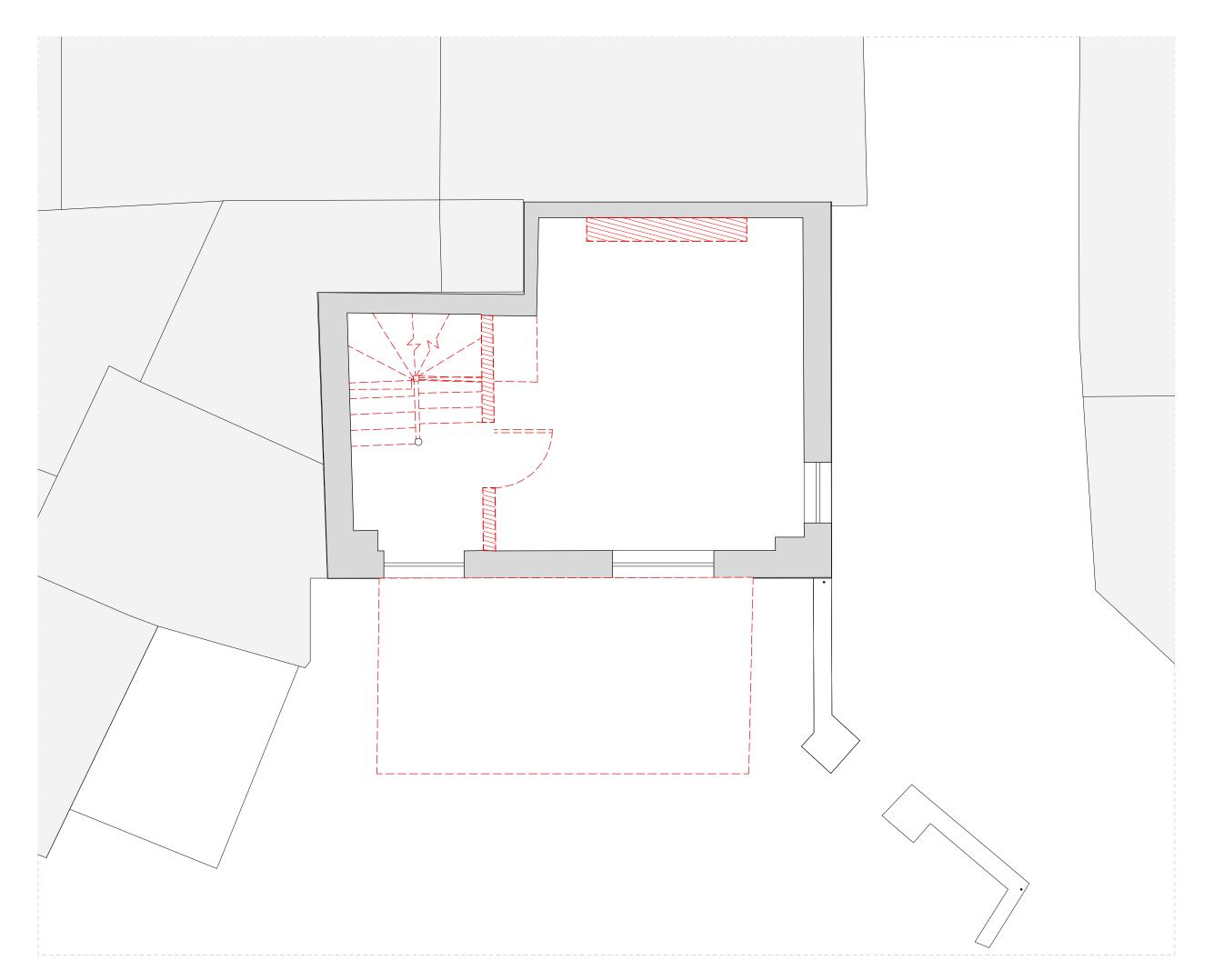
 DRAWN
 CHECKED
 REVISION

 BS
 RB
 P2

 SCALE
 DRAWING
 DATE

 1:50
 @ A3
 18010_DE.02
 08.10.19







Areas to be carefully removed

- -Existing staircase to be removed at all levels; see Structural Engineers drawings and specification for any temporary works required
- -All window and door sets to be removed and replaced; sequencing of works TBC with Main Contractor to suit lead in times
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P2 08.10.19. Changes to glazing and front door



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22 TOWER STREET

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FIRST FLOOR DEMOLITION PLAN

STATUS - PLANNING

DRAWN		CHECKED	REVISION
BS		RB	P2
SCALE		DRAWING	DATE
1:50	@ A3	18010_DE.03	08.10.19



Areas to be carefully removed

- -Existing staircase to be removed at all levels; see Structural Engineers drawings and specification for any temporary works required
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1 17.07.19 Change in scale of DE

0 0.25 0.5 1.0 m



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22 TOWER STREET

CLIENT - BRITISH RETAIL CONSORTIUM

SECOND FLOOR DEMOLITION PLAN
STATUS - PLANNING

DRAWN CHECKED REVISION
BS RB P1
SCALE DRAWING DATE

1:50 @ A3 18010_DE.04 08.10.19

Areas to be carefully removed

- -Existing staircase to be removed at all levels; see Structural Engineers drawings and specification for any temporary works required
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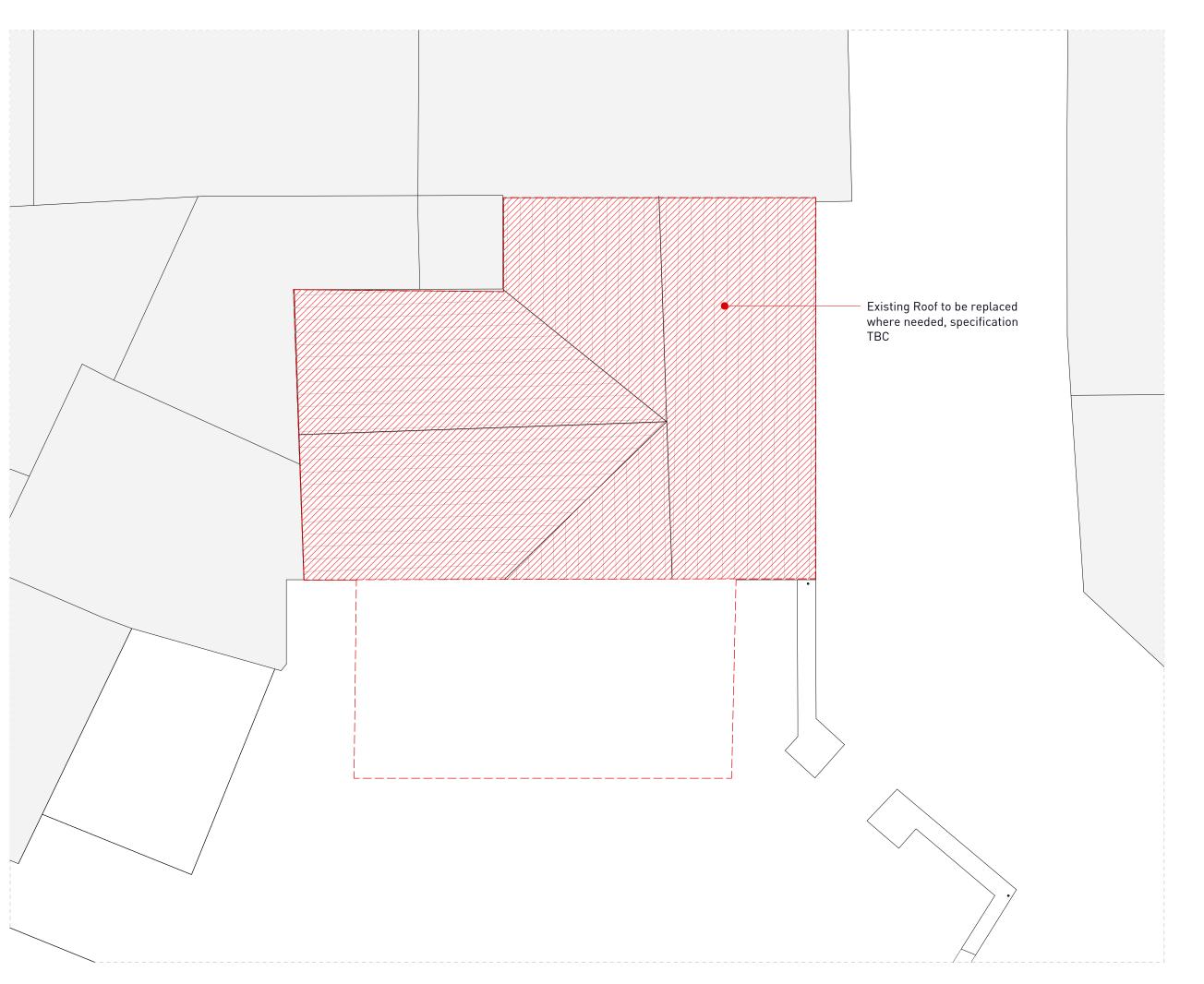
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22 TOWER STREET

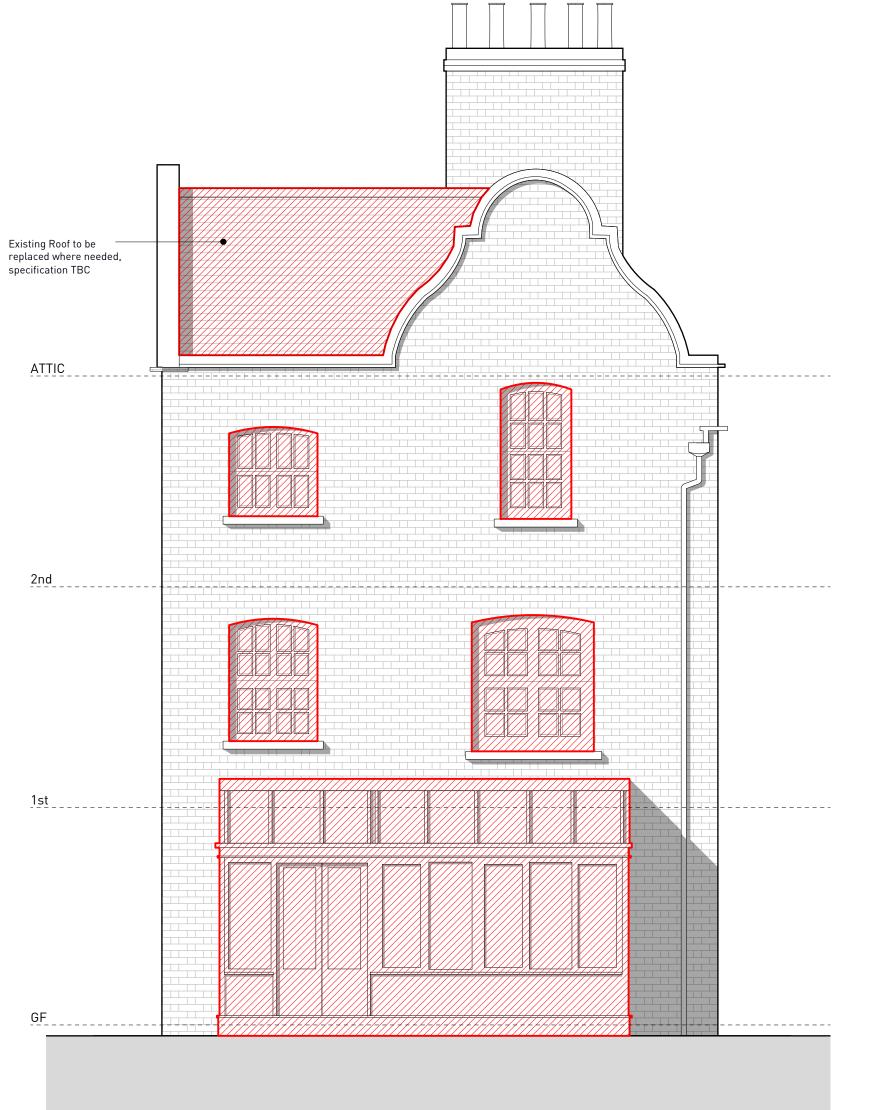
CLIENT - BRITISH RETAIL CONSORTIUM

ROOF DEMOLITION PLAN STATUS - PLANNING

BS RB P2 1:50 @ A3 18010_DE.05 08.10.19



- -Existing staircase to be removed at all levels; see Structural Engineers drawings and specification for any temporary works required
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BASEMENT

P2 08.10.19. Changes to annotation

P1 17.07.19 Change in Scale of DE.50

0.0 0.25 0.5 1.0 m

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22 TOWER STREET

CLIENT - BRITISH RETAIL CONSORTIUM

DEMOLITION SOUTH ELEVATIONS
STATUS - PLANNING

 DRAWN
 CHECKED
 REVISION

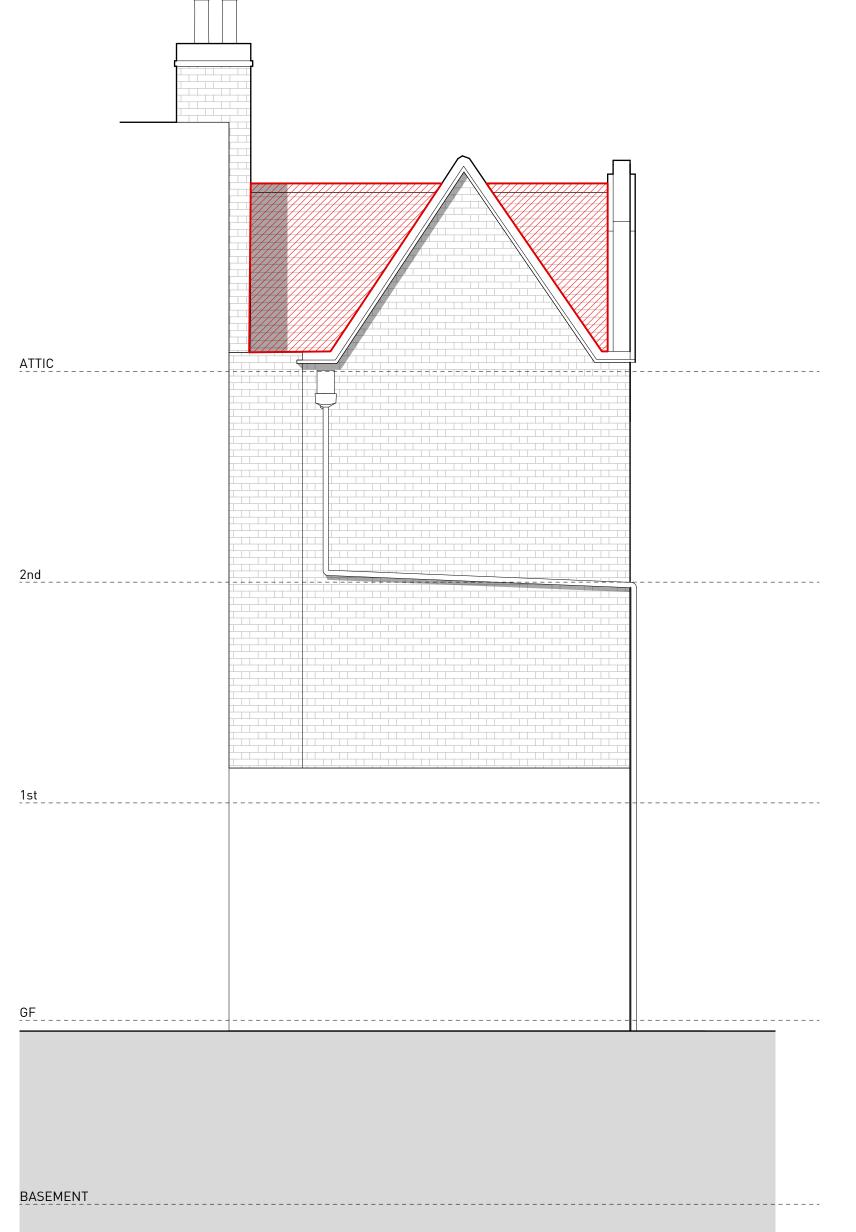
 BS
 RB
 P2

 SCALE
 DRAWING
 DATE

 1:50
 0 A3
 18010_DE.06
 17.07.19



- -Existing staircase to be removed at all levels; see Structural Engineers drawings and specification for any temporary works required
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17.07.19 Change in Scale of DE.50

0.0 0.25 0.5 1.0 m



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22 TOWER STREET

CLIENT - BRITISH RETAIL CONSORTIUM

DEMOLITION WEST ELEVATION
STATUS - PLANNING

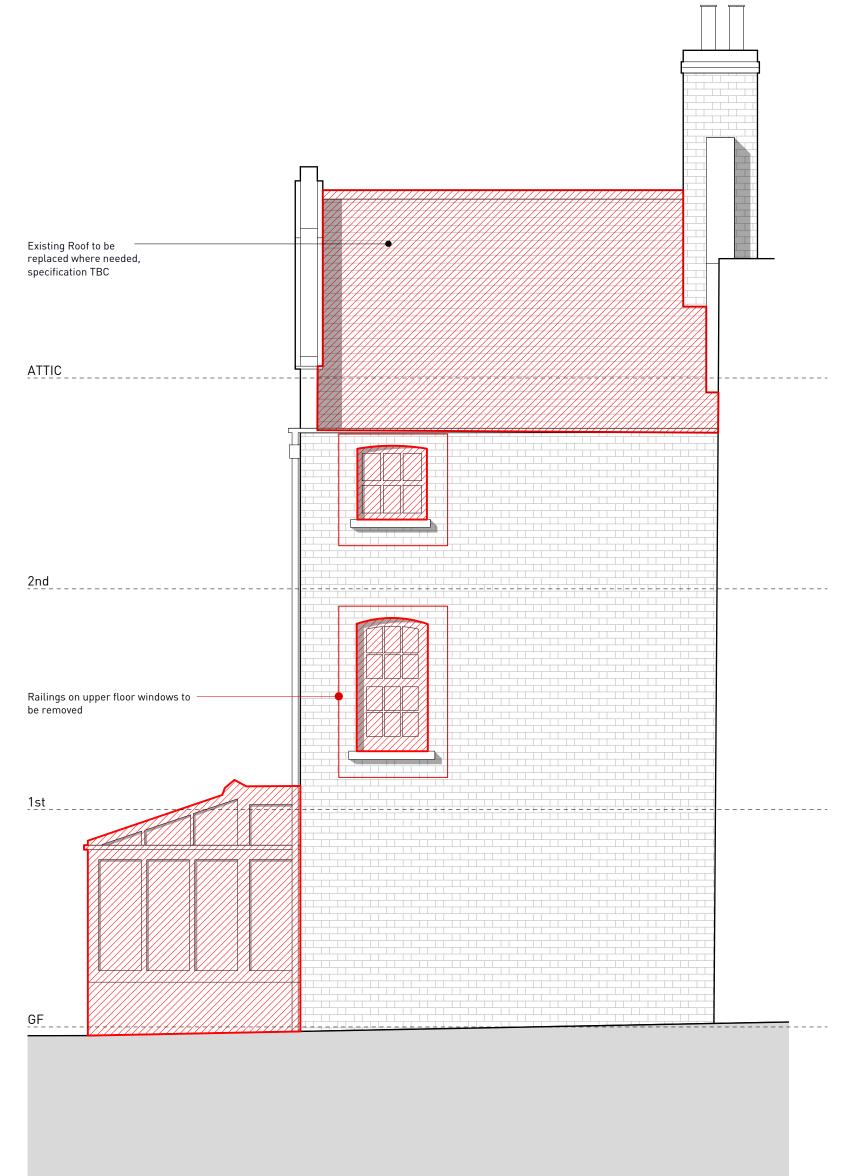
 DRAWN
 CHECKED
 REVISION

 BS
 RB
 P1

 SCALE
 DRAWING
 DATE

 1:50
 0 A3
 18010_DE.07
 17.07.19

- -Existing staircase to be removed at all levels; see Structural Engineers drawings and specification for any temporary works required
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BASEMENT

P2 08.10.19. Changes to annotation
P1 17.07.19 Change in Scale of DE.5
0.0 0.25 0.5 1.0 m

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22 TOWER STREET

CLIENT - BRITISH RETAIL CONSORTIUM

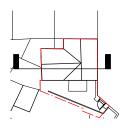
DEMOLITION EAST ELEVATIONS
STATUS - PLANNING

 DRAWN
 CHECKED
 REVISION

 BS
 RB
 P2

 SCALE
 DRAWING
 DATE

 1:50
 0 A3
 18010_DE.08
 17.07.19





To Be Demolished

Drawings to be read in conjunction with CAL's GS, GE, PA, FL and KD series drawings, together with MEP Pro M&E drawings and HTS structural information

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be replaced where needed, specification TBC ATTIC 2nd +29.12 AOD 1st +26.21 AOD EXISTING GF +23.34 AOD EXISTING BASEMENT +20.92 AOD

Existing Roof to

Changes to glazing and front

17.07.19 Change in Scale of DE.50

0.0 0.25 0.5 1.0 m

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22 TOWER STREET

CLIENT - BRITISH RETAIL CONSORTIUM

DEMOLITION SECTION AA

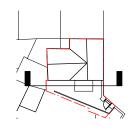
STATUS - PLANNING

 DRAWN
 CHECKED
 REVISION

 BS
 RB
 P2

 SCALE
 DRAWING
 DATE

 1:50
 0 A3
 18010_DE.09
 08.10.19



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ATTIC 2<u>nd</u> _ _ _ _ +29.12 AOD 1st____ +26.21 AOD EXISTING GE _ _ +23.34 AOD EXISTING -BASEMENT - -+20.92 AOD

1.0 m 0.0 0.25 0.5

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DATE

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22 TOWER STREET

CLIENT - BRITISH RETAIL CONSORTIUM

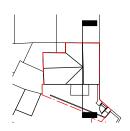
DEMOLITION SECTION BB STATUS - PLANNING

SCALE

RB

DRAWING

1:50 @ A3 18010_DE.10 17.07.19



To Be Demolished

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Separate boundary wall anticipated TBC by party wall surveyor Attic ATTIC Unit 02 Bedroom 2nd +29.12 AOD Unit 02 Kitchen/ Living/ Dining 1st +26.21 AOD Unit 01 Kitchen/ Living/ Dining Existing chimney at Basement, GF and 1F EXISTING GF _ +23.34 AOD Existing walls to be underpinned and lowering proposed FFL by 350mm Unit 01 Bedroom Lightwell EXISTING_RASEMENT +20.92 AOD

P1 17.07.19 Change in Scale of DE.50

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22 TOWER STREET

CLIENT - BRITISH RETAIL CONSORTIUM

DEMOLITION SECTION CC STATUS - PLANNING

 DRAWN
 CHECKED
 REVISION

 BS
 RB
 P1

 SCALE
 DRAWING
 DATE

 1:50
 0 A3
 18010_DE.11
 17.07.19