


NOTES

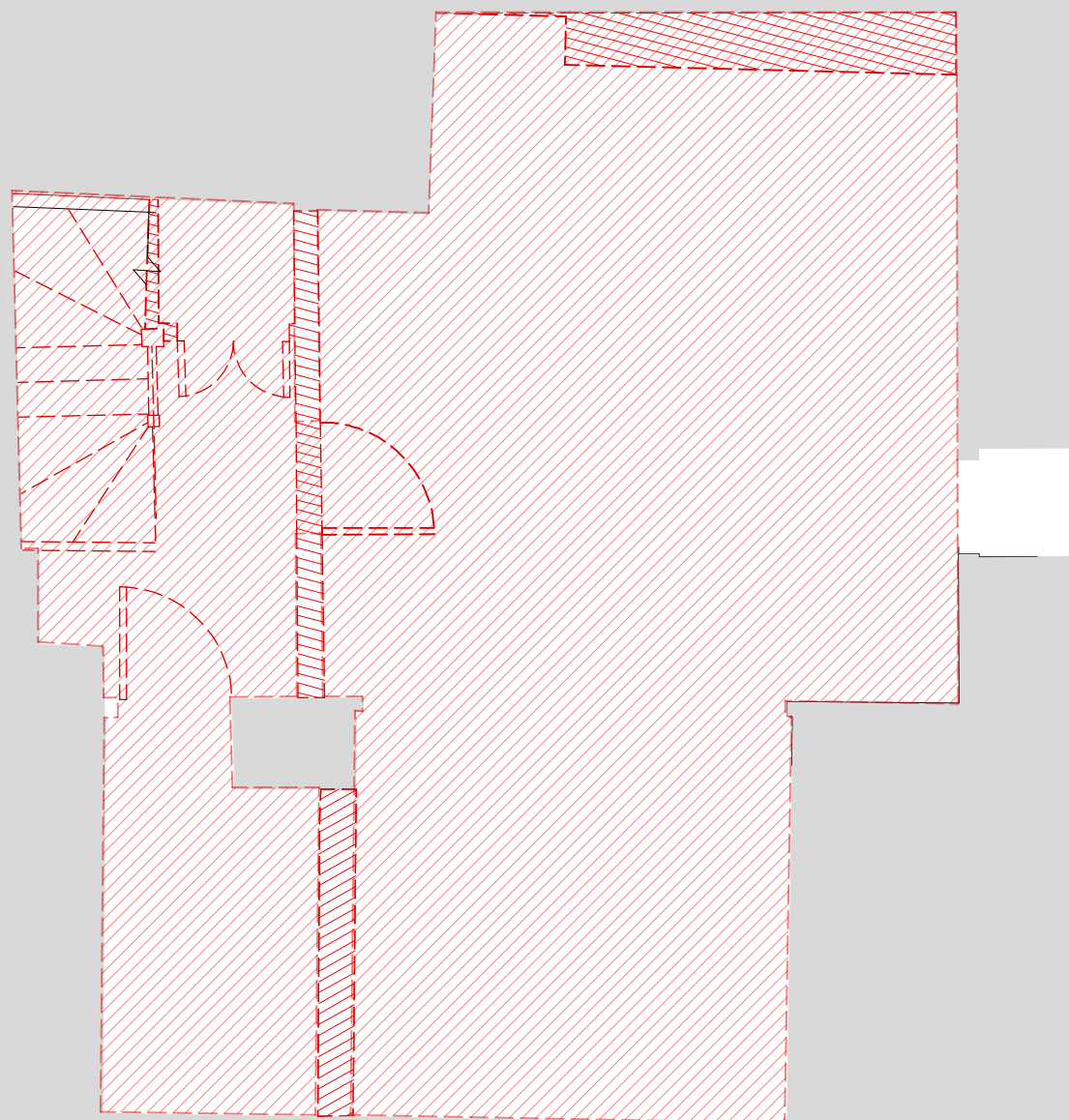
 Areas to be carefully removed

-Existing staircase to be removed at all levels; see Structural Engineers drawings and specification for any temporary works required

-All window and door sets to be removed and replaced; sequencing of works TBC with Main Contractor to suit lead in times

-All roof coverings to be carefully removed and replaced - sequencing TBC with Main Contractor - refer to proposed drawings and annotations for details.

-Metal bar railings on the windows are to be carefully remove and their brickwork fixings are to be made good



P1 17.07.19 Change in scale of DE.50



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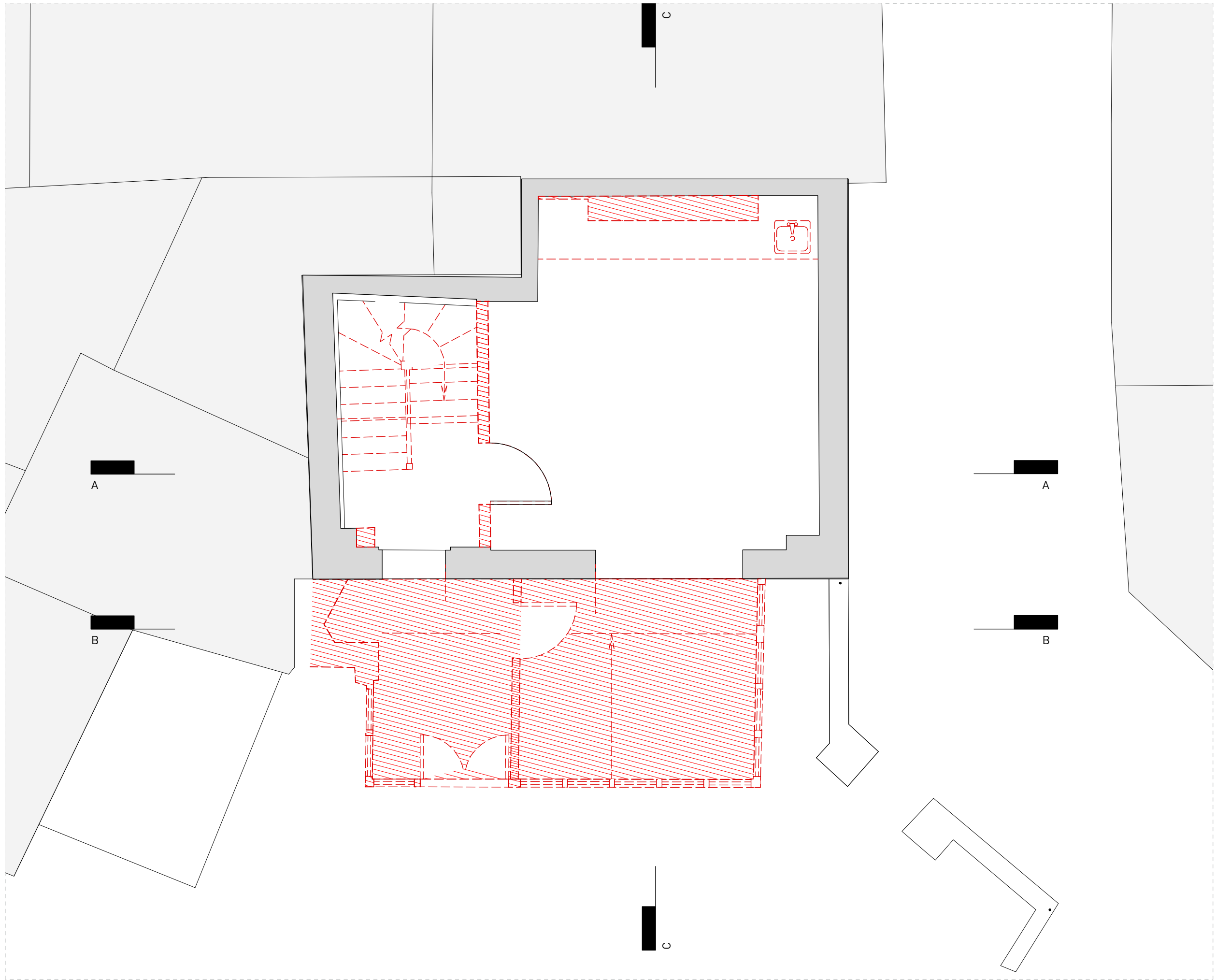
22 TOWER STREET

CLIENT - BRITISH RETAIL CONSORTIUM


BASEMENT DEMOLITION PLAN

STATUS - PLANNING

DRAWN	CHECKED	REVISION
BS	RB	P1
SCALE	DRAWING	DATE
1:50 @ A3	18010_DE.01	08.10.19



NOTES

 Areas to be carefully removed

-Existing staircase to be removed at all levels; see Structural Engineers drawings and specification for any temporary works required

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-All roof coverings to be carefully removed and replaced - sequencing TBC with Main Contractor - refer to proposed drawings and annotations for details.

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P2 08.10.19 Changes to glazing and front door

P1 17.07.19 Change in scale of DE.50



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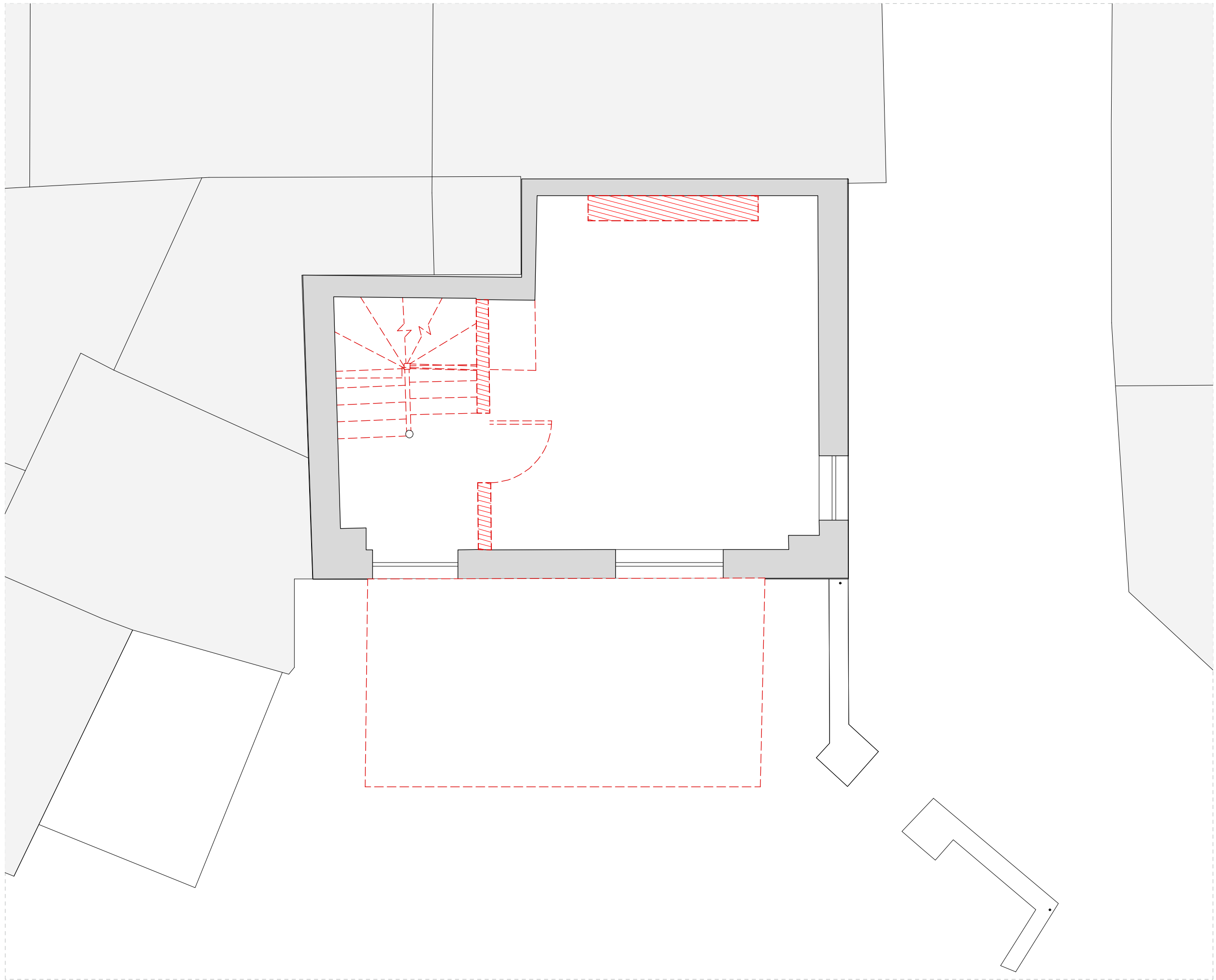
22 TOWER STREET

CLIENT - BRITISH RETAIL CONSORTIUM


GROUND FLOOR DEMOLITION PLAN

STATUS - PLANNING

DRAWN	CHECKED	REVISION
BS	RB	P2
SCALE	DRAWING	DATE
1:50 @ A3	18010_DE.02	08.10.19



NOTES

 Areas to be carefully removed

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P2 08.10.19. Changes to glazing and front door

P1 17.07.19 Change in scale of DE.50



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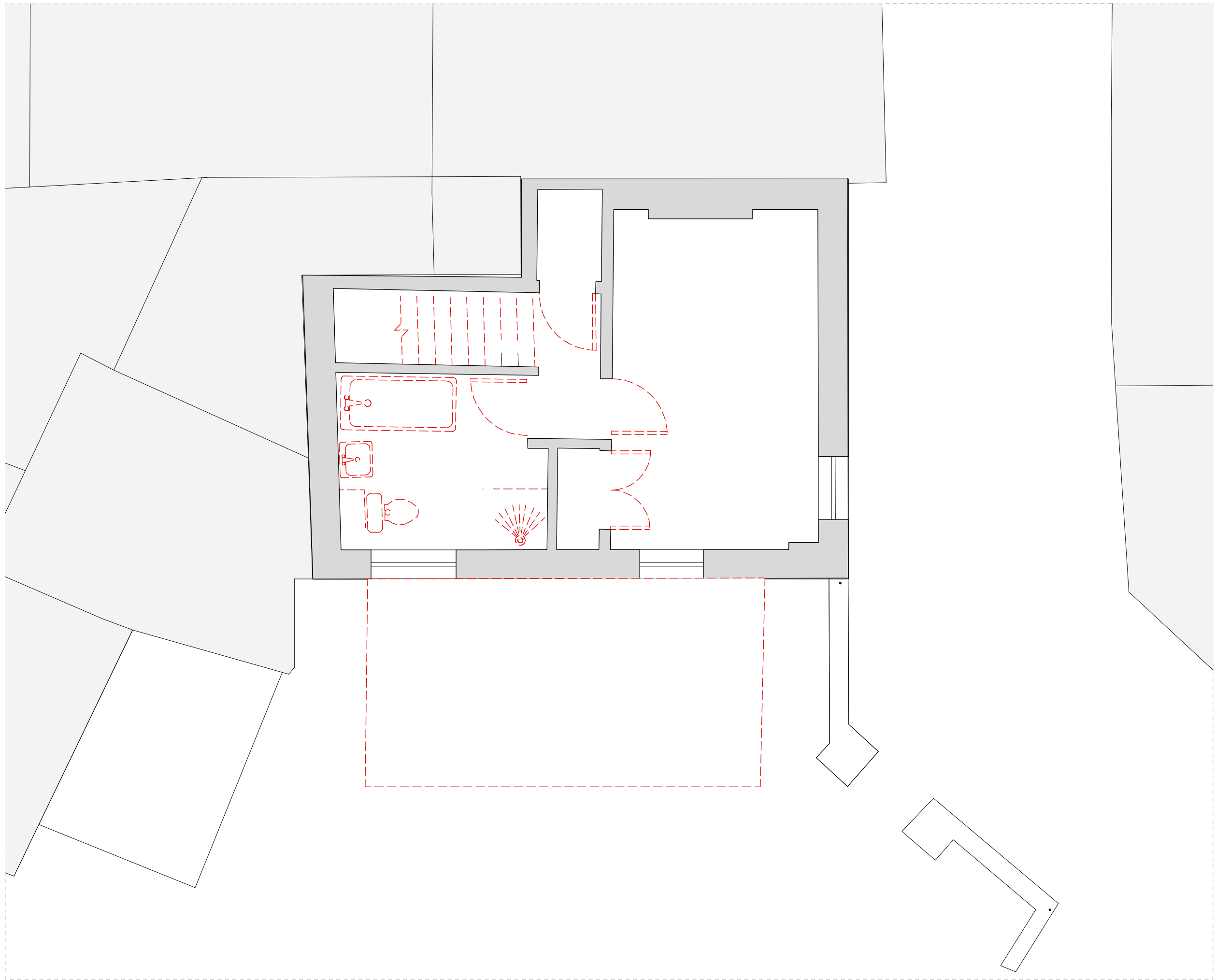
22 TOWER STREET

CLIENT - BRITISH RETAIL CONSORTIUM


FIRST FLOOR DEMOLITION PLAN

STATUS - PLANNING

DRAWN	CHECKED	REVISION
BS	RB	P2
SCALE	DRAWING	DATE
1:50 @ A3	18010_DE.03	08.10.19



NOTES

 Areas to be carefully removed

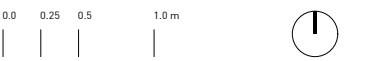
-Existing staircase to be removed at all levels; see Structural Engineers drawings and specification for any temporary works required

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P1 17.07.19 Change in scale of DE.50



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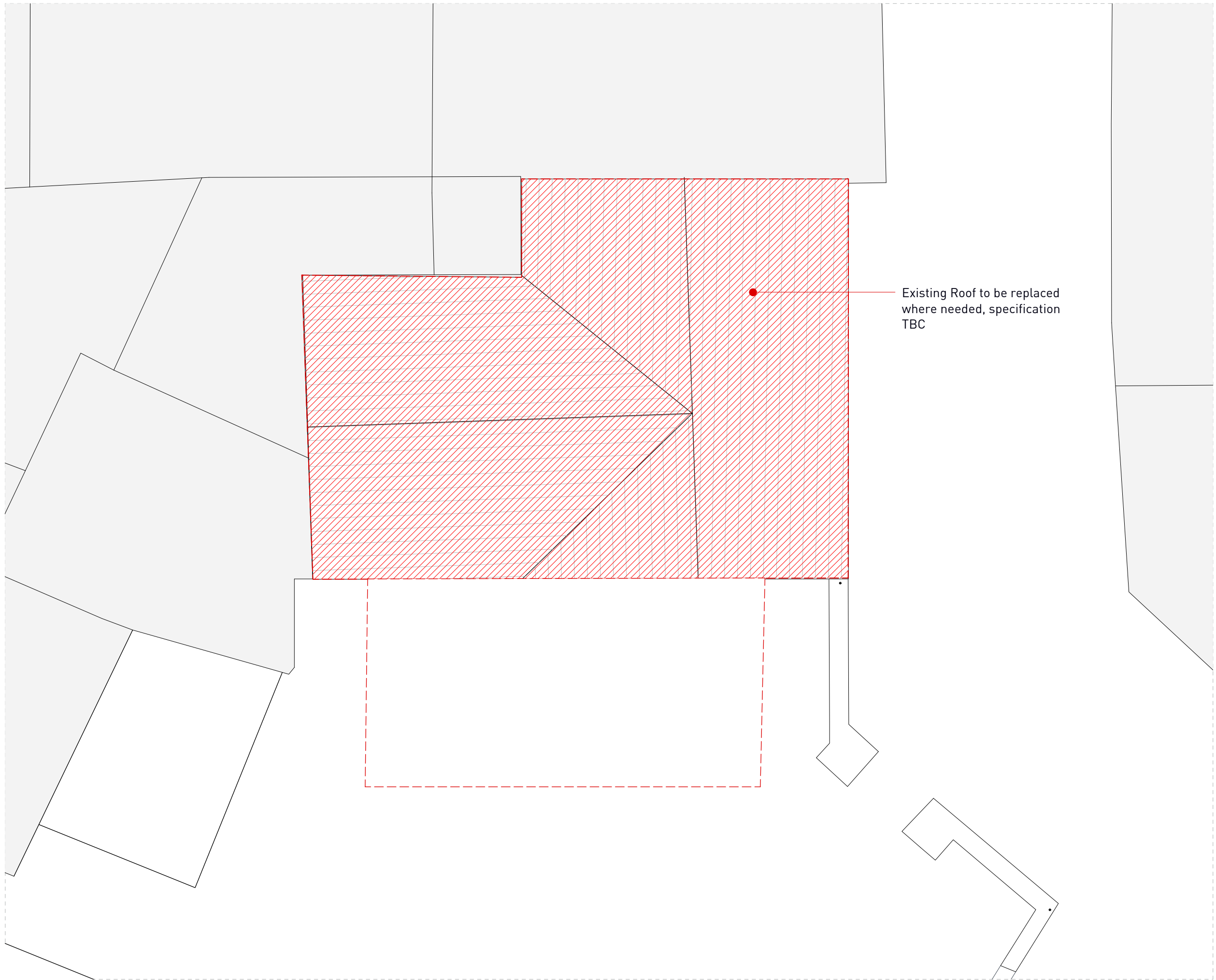
22 TOWER STREET

CLIENT - BRITISH RETAIL CONSORTIUM

SECOND FLOOR DEMOLITION PLAN


STATUS - PLANNING

DRAWN	CHECKED	REVISION
BS	RB	P1
SCALE	DRAWING	DATE
1:50 @ A3	18010_DE.04	08.10.19



Existing Roof to be replaced where needed, specification TBC

NOTES

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P2 08.10.19 Changes to Annotation

P1 17.07.19 Change in scale of DE.50



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22 TOWER STREET

CLIENT - BRITISH RETAIL CONSORTIUM

**ROOF DEMOLITION PLAN**

STATUS - PLANNING

DRAWN	CHECKED	REVISION
BS	RB	P2
SCALE	DRAWING	DATE
1:50 @ A3	18010_DE.05	08.10.19

 Areas to be carefully removed

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-All roof coverings to be carefully removed and replaced - sequencing TBC with Main Contractor - refer to proposed drawings and annotations for details.

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P2 08.10.19. Changes to annotation

P1 17.07.19 Change in Scale of DE.50

0.0 0.25 0.5 1.0 m



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22 TOWER STREET

CLIENT - BRITISH RETAIL CONSORTIUM

DEMOLITION SOUTH ELEVATIONS

STATUS - PLANNING

DRAWN	CHECKED	REVISION
BS	RB	P2
SCALE	DRAWING	DATE
1:50 @ A3	18010_DE.06	17.07.19

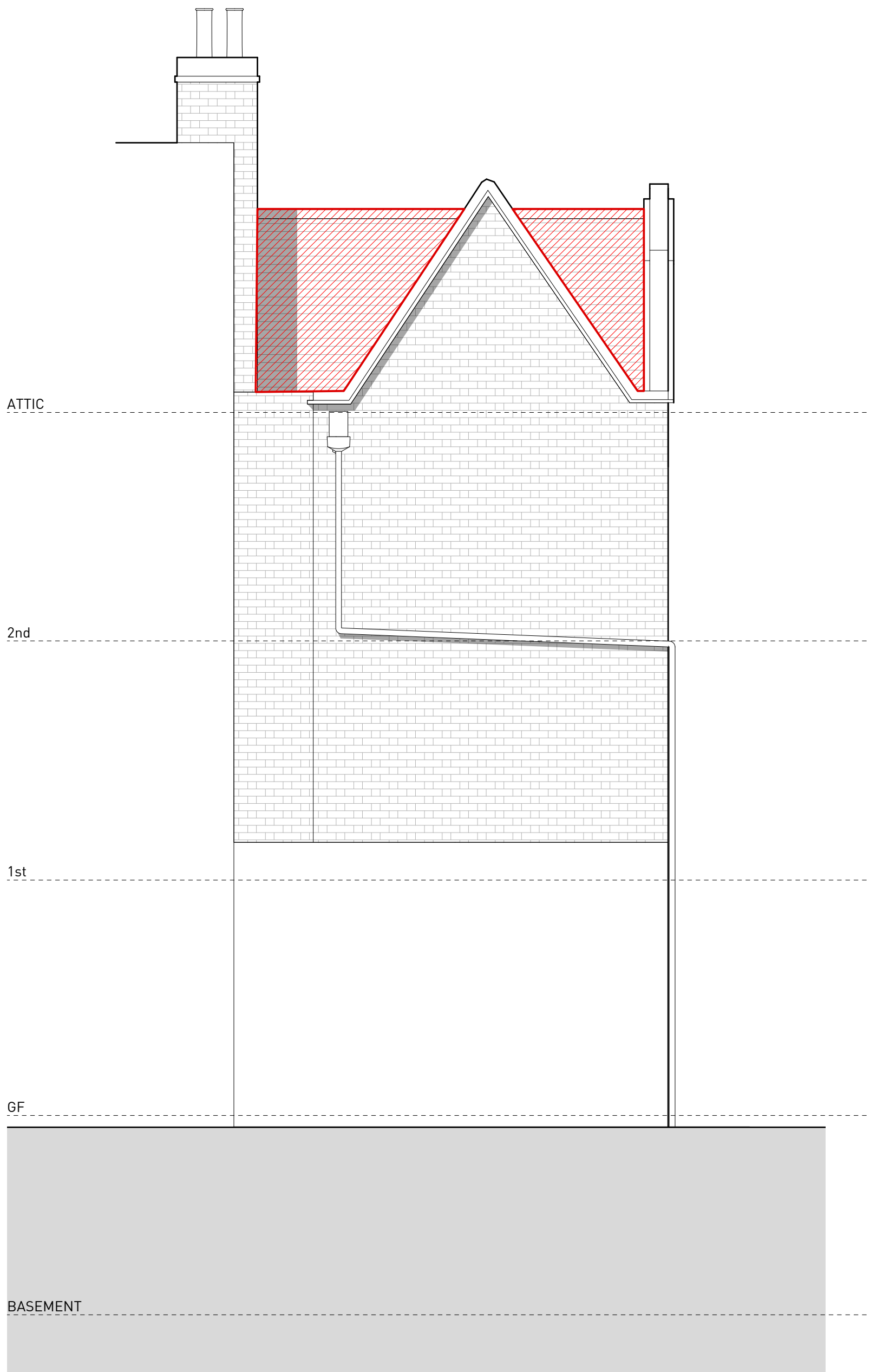
 Areas to be carefully removed

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P1 17.07.19 Change in Scale of DE.50



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22 TOWER STREET

CLIENT - BRITISH RETAIL CONSORTIUM

DEMOLITION WEST ELEVATION

STATUS - PLANNING

DRAWN	CHECKED	REVISION
BS	RB	P1
SCALE	DRAWING	DATE
1:50 @ A3	18010_DE.07	17.07.19

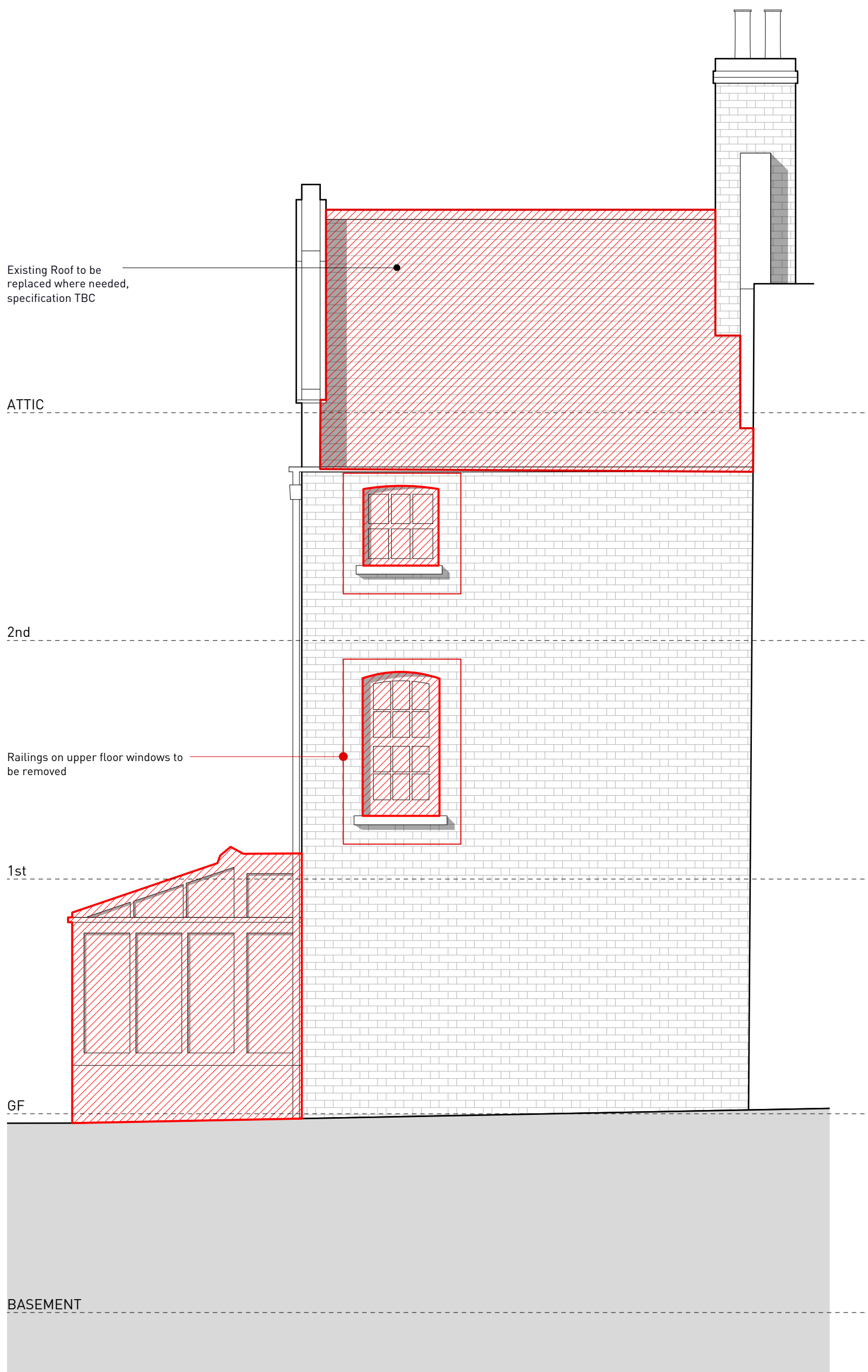
 Areas to be carefully removed

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P2 08.10.19. Changes to annotation

P1 17.07.19 Change in Scale of DE.50

0.0 0.25 0.5 1.0 m

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22 TOWER STREET

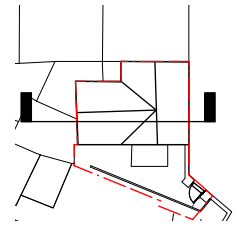
CLIENT - BRITISH RETAIL CONSORTIUM

DEMOLITION EAST ELEVATIONS


STATUS - PLANNING

DRAWN	CHECKED	REVISION
BS	RB	P2
SCALE	DRAWING	DATE
1:50 @ A3	18010_DE.08	17.07.19





NOTES

 To Be Demolished

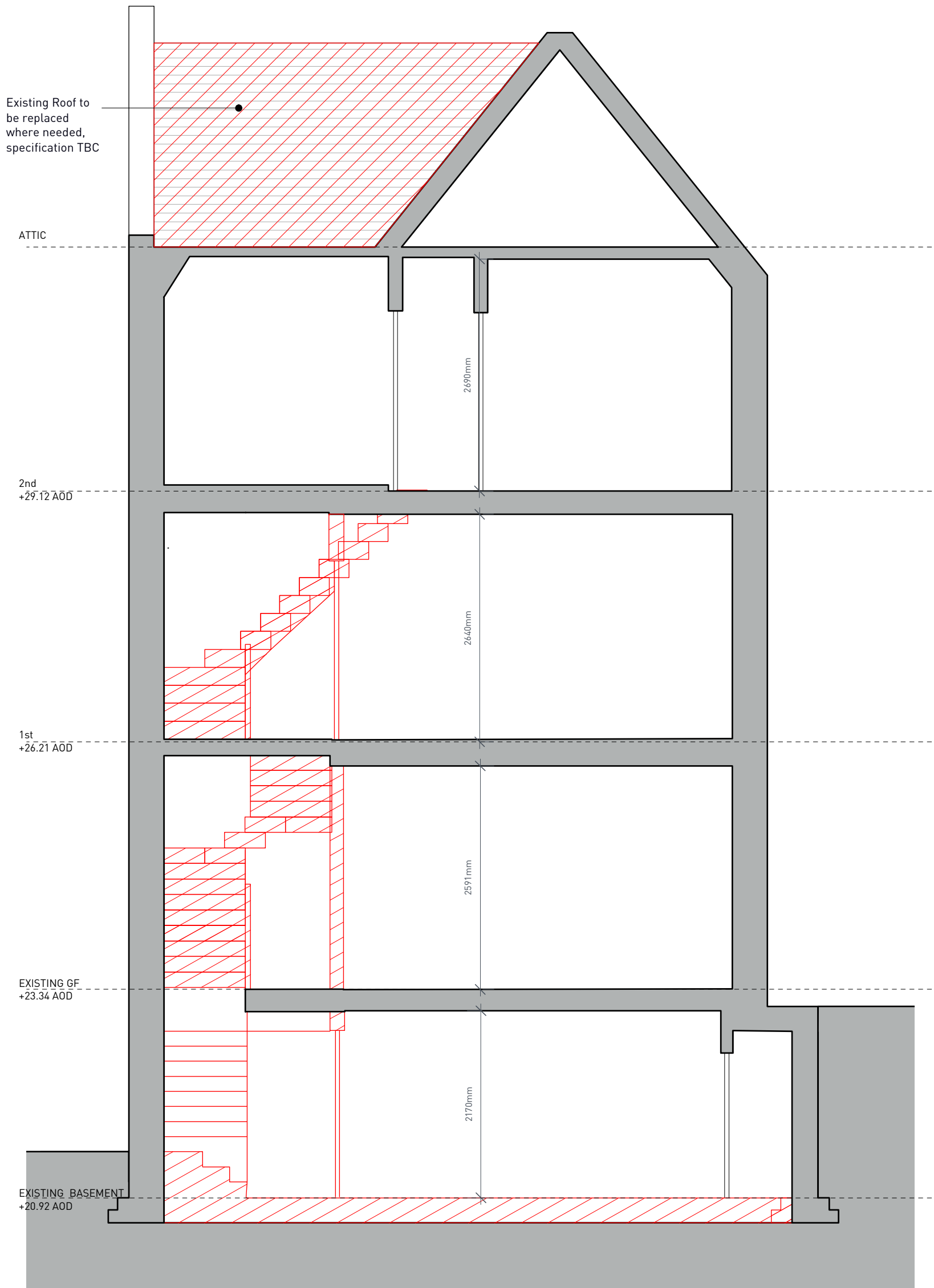
Drawings to be read in conjunction with CAL's GS, GE, PA, FL and KD series drawings, together with MEP Pro M&E drawings and HTS structural information

-Existing staircase to be removed at all levels; see Structural Engineers drawings and specification for any temporary works required

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P2 08.10.19 Changes to glazing and front door

P1 17.07.19 Change in Scale of DE.50

0.0 0.25 0.5 1.0 m

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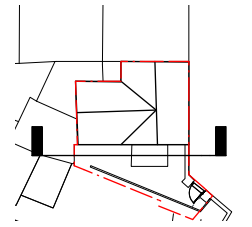
22 TOWER STREET

CLIENT - BRITISH RETAIL CONSORTIUM


DEMOLITION SECTION AA

STATUS - PLANNING

DRAWN	CHECKED	REVISION
BS	RB	P2
SCALE	DRAWING	DATE
1:50 @ A3	18010_DE.09	08.10.19



NOTES

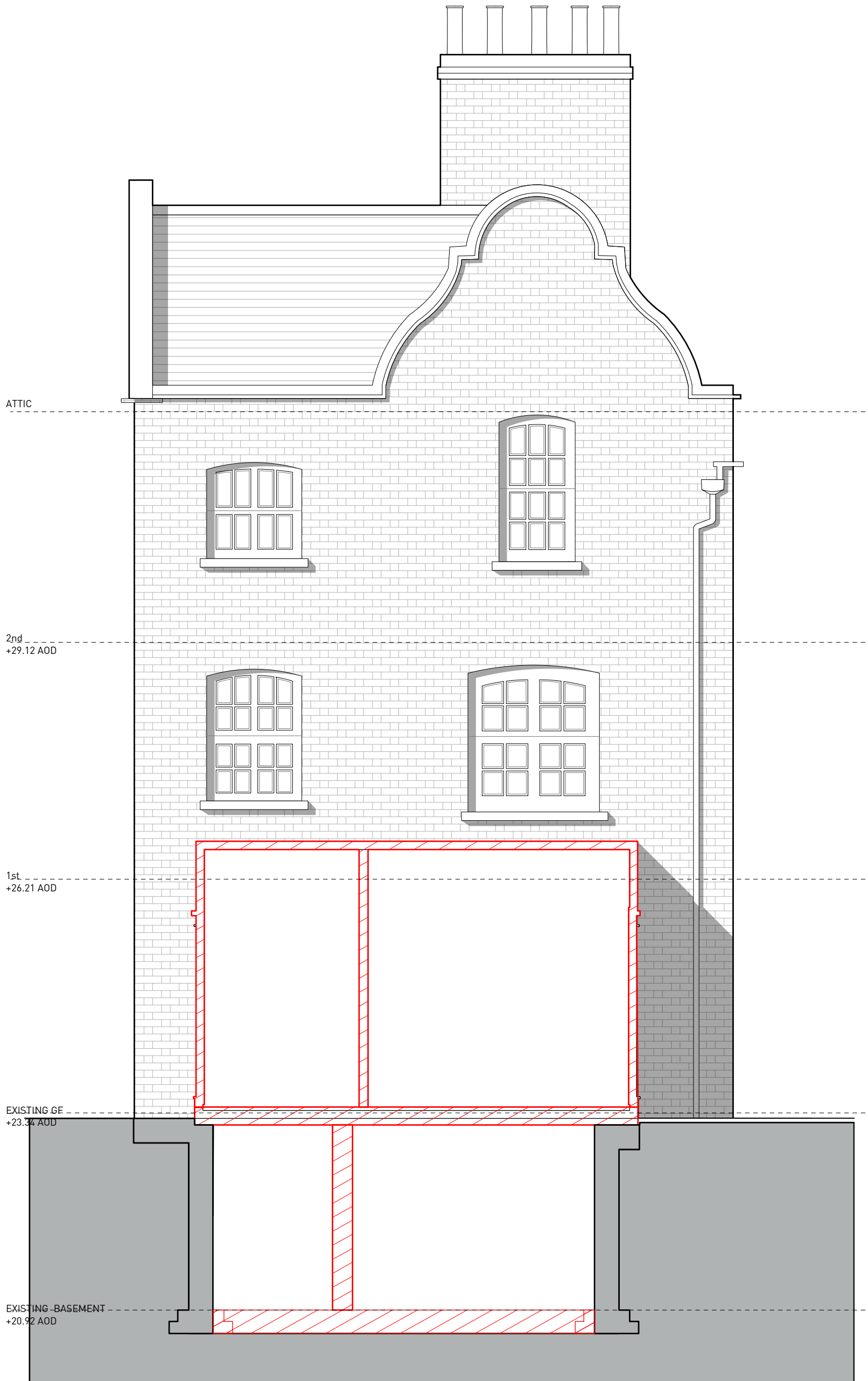
 To Be Demolished

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P1 17.07.19 Change in Scale of DE.50

0.0 0.25 0.5 1.0 m

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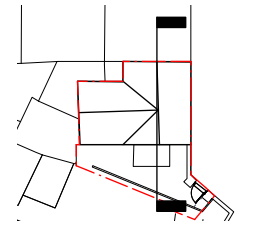
22 TOWER STREET

CLIENT - BRITISH RETAIL CONSORTIUM


DEMOLITION SECTION BB

STATUS - PLANNING

DRAWN	CHECKED	REVISION
BS	RB	P1
SCALE	DRAWING	DATE
1:50 @ A3	18010_DE.10	17.07.19



NOTES

 To Be Demolished

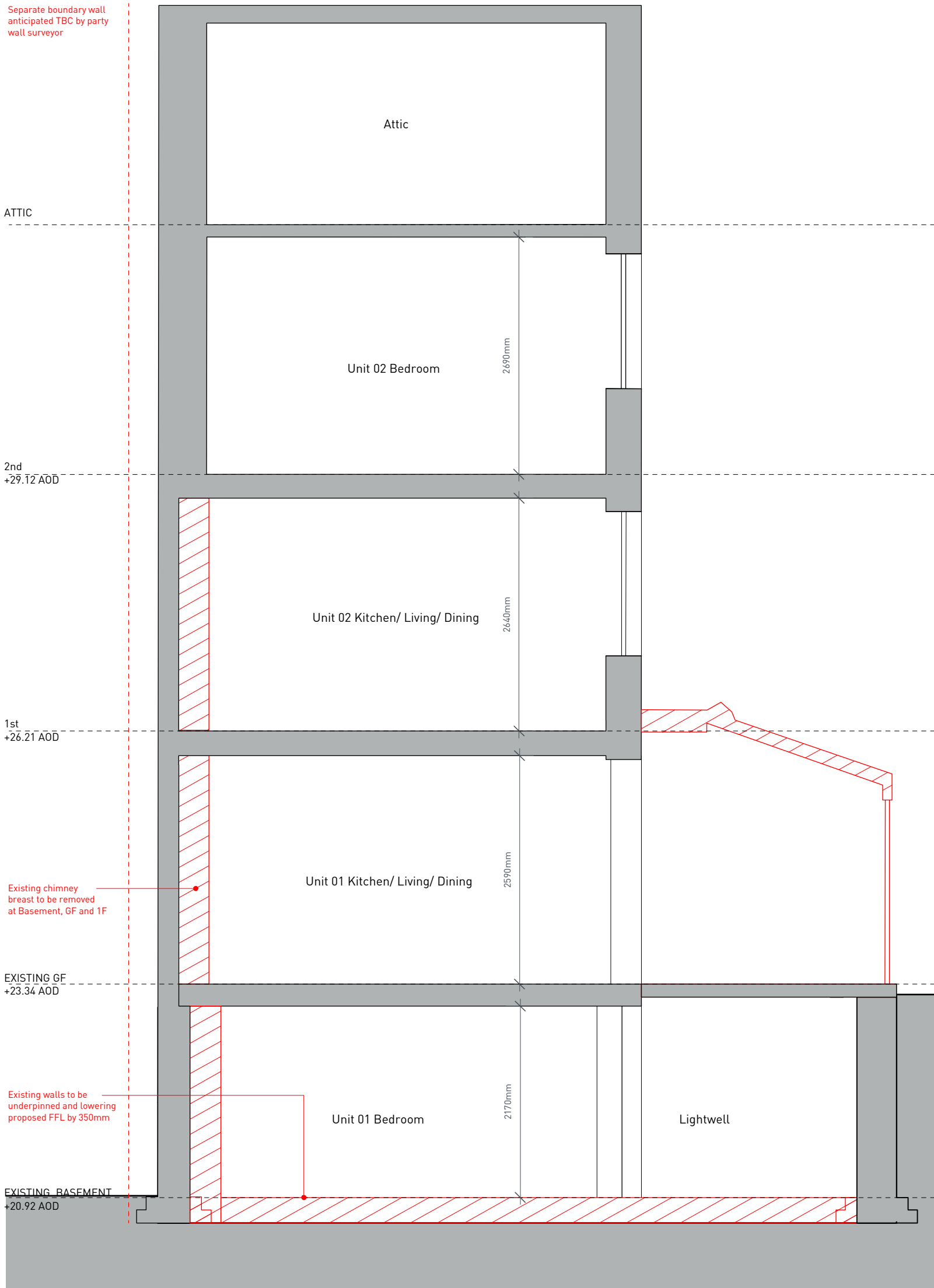
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Separate boundary wall anticipated TBC by party wall surveyor



ATTIC

2nd  
+29.12 AOD

1st  
+26.21 AOD

EXISTING GF  
+23.34 AOD

EXISTING BASEMENT  
+20.92 AOD

Existing chimney breast to be removed at Basement, GF and 1F

Existing walls to be underpinned and lowering proposed FFL by 350mm

P1 17.07.19 Change in Scale of DE.50

0.0 0.25 0.5 1.0 m

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CLIENT - BRITISH RETAIL CONSORTIUM

DEMOLITION SECTION CC  
STATUS - PLANNING

DRAWN	CHECKED	REVISION
BS	RB	P1
SCALE	DRAWING	DATE
1:50 @ A3	18010_DE.11	17.07.19