

Groupwork

Technical Note

Project	Greville Street
Title	Technical Note for Planning Response
Ref.	248
Rev.	A
Date	04.10.19

Introduction

The purpose of this Technical Note is to provide technical guidance regarding a minor material change to the consented scheme (Planning Ref. 2019/3565/P) to provide a stepped colonnade whilst retaining DDA access.

This note will address the following points:

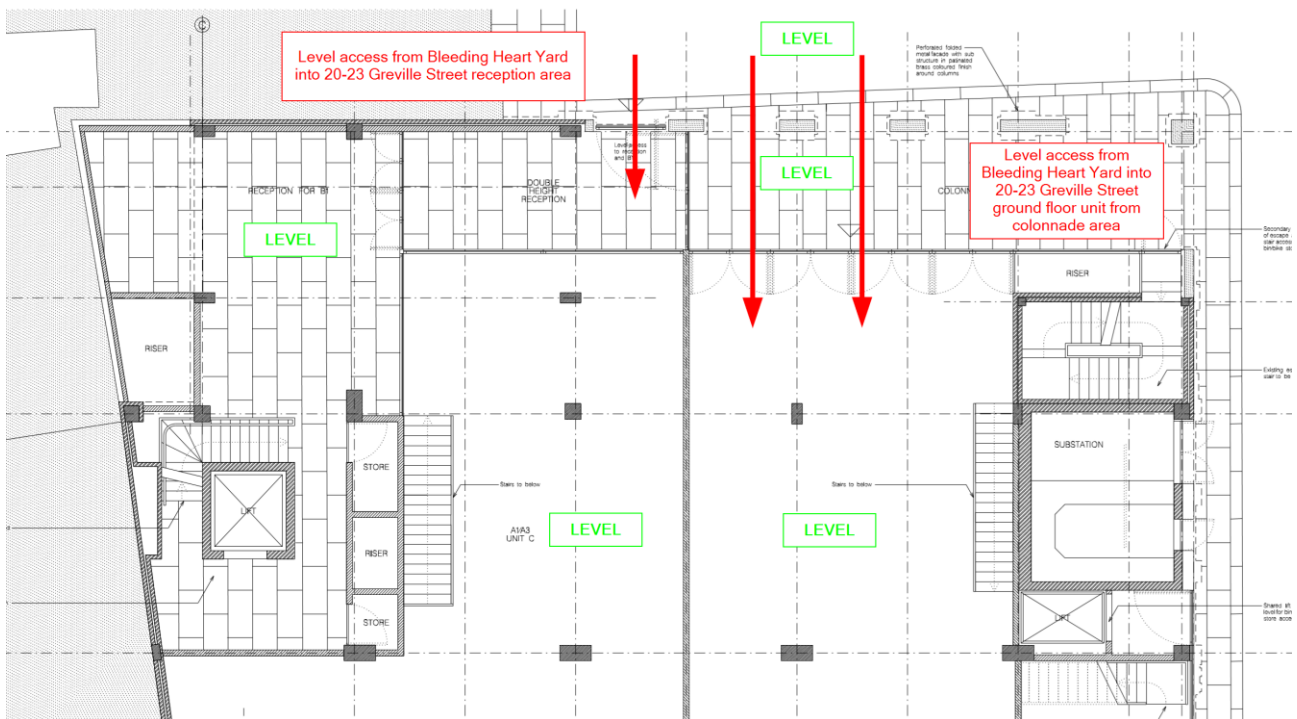
- Condition at planning (without a topographical survey)
- Condition post-planning (with a full topographical survey)
- Limitations in alternatives
- Proposals

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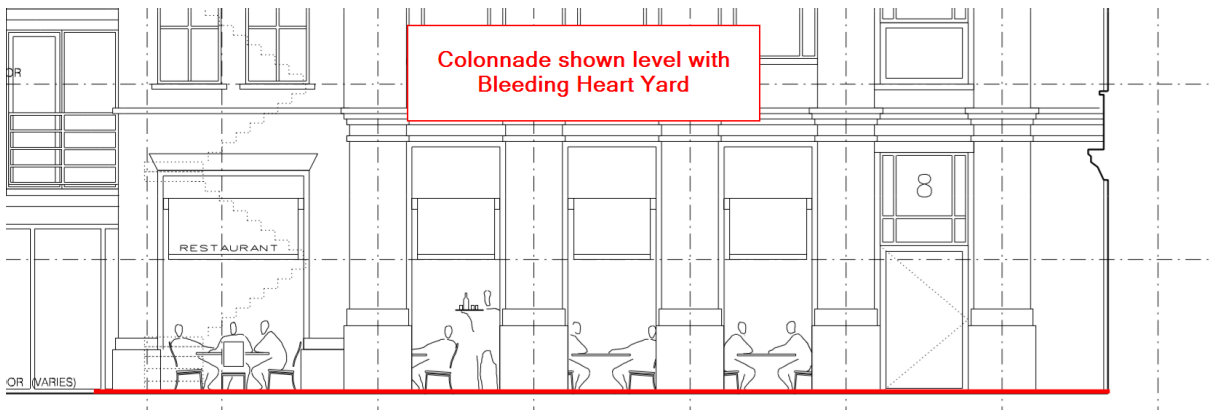
Condition at Planning

The below plan and elevation forms part of the approval documents. These were drawn without a full topographical survey of the existing building and floor levels within. The floor levels around and in Bleeding Heart Yard which abuts the site's southern boundary were crucially also not measured due to programmatic constraints.

The proposals assumed Bleeding Heart Yard and the ground floor level of 20-23 Greville Street were at a similar level, offering simple DDA access from the public realm into the building without increasing internal floor finish levels and thus decreasing floor to ceiling heights to usable areas.



Ground floor plan (248_501_Rev0) showing assumed level access from Bleeding Heart Yard into the development.



South elevation (248_603_RevN) showing assumed level access from Bleeding Heart Yard into the development.

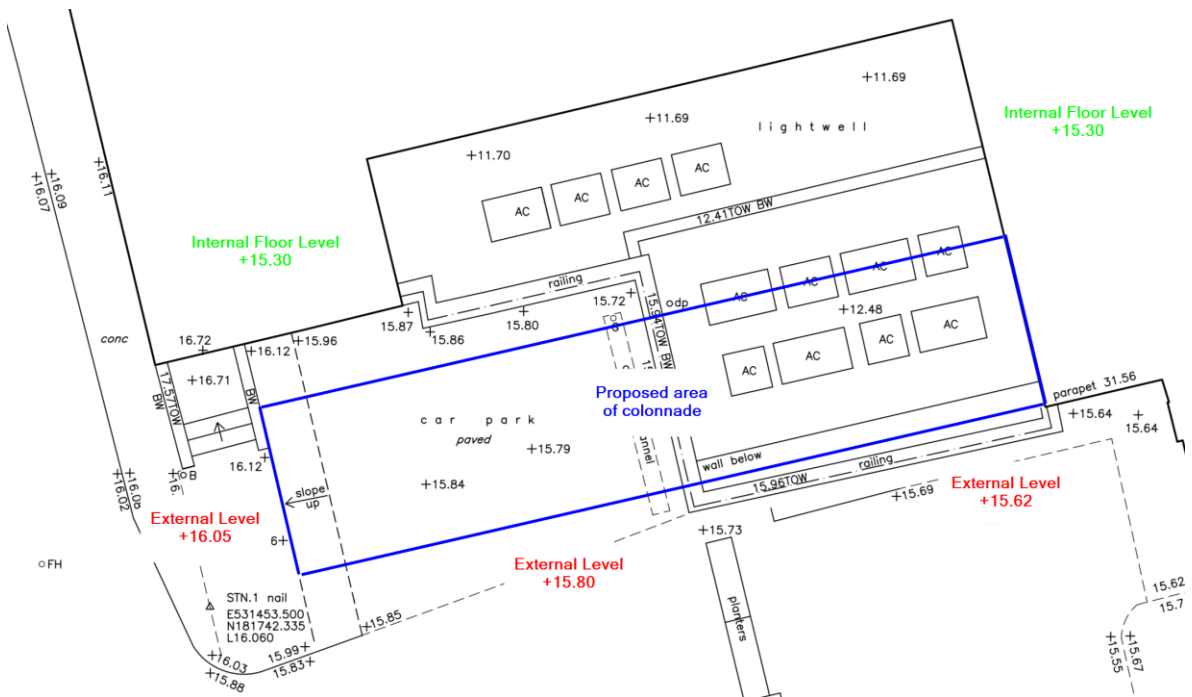
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Condition Post-Planning

The below plan and elevation are extracted from a measured internal and topographical survey undertaken by Matrix Surveys on 10th July 2019. The key differences from the assumed levels at planning and the actual are significant, giving rise to a difference in between 750-320mm.



Elevation C from Matrix Surveys' measured survey (10.07.19) showing difference of between 750-320mm in external and internal floor level in Bleeding Heart Yard.



Topographical survey plan from Matrix Surveys' measured survey (10.07.19) showing difference of between 750-320mm in external and internal floor level in Bleeding Heart Yard.

The above images highlight the difference in floor level if step-free access is to be offered from Bleeding Heart Yard into the development, importantly making it unviable – explored below.

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Limitations

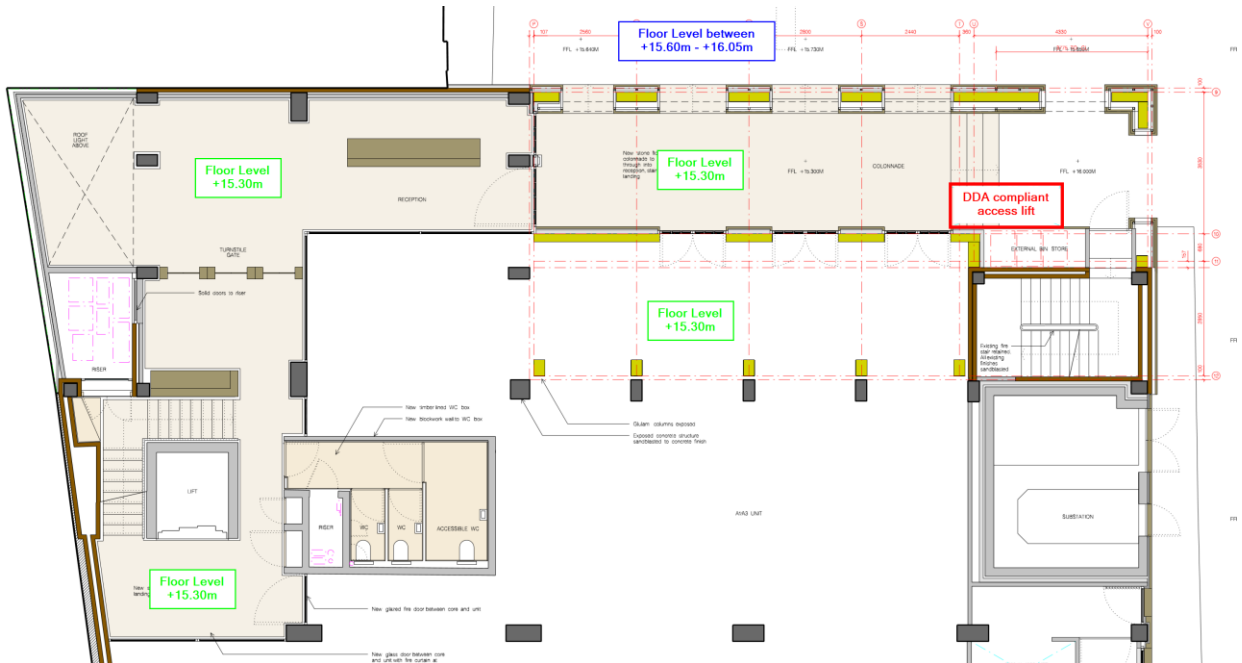
If the planning approved level access were to be implemented, the following issues would arise:

- DDA access to ground floor – an increase in the ground floor level by 320mm would remove level access from Greville Street into the commercial fronting unit, contradicting the planning approved proposals to reintegrate the building with its street frontage.
- Floor to ceiling heights – all reception areas would be reduced to 2.38m (from 2.7m) under slab and crucially 2.08m (from 2.4m) under beam. This is clearly in disagreement with Camden's design standards to ensure floor to ceilings achieve 2.5m throughout. Furthermore, this creates limitations in the suitability of A1/A3 area for potential tenants which would be considered to oppose Camden's desire for new commercial floorspace.
- Stepped access to basement level – the increase of the ground floor level by 320mm would necessitate an additional 2 stairs from basement level into the reception area. Decreasing this exit route by 500mm (2x250mm steps) to 750mm would make the remaining passing space unable to satisfy Regulations. Furthermore, as 1 of 2 fire exits, this route must be kept to the maximum width possible to satisfy Regulations and standards accepted by LFB.
- Ramped access – adding ramped access into the colonnade area would limit significantly the ability to offer practicable level seating to the ground floor A1/A3 unit, decreasing from the scheme's original objective of allowing an extension of the public realm in Bleeding Heart Yard to extend into the new colonnade.

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Proposals

The applicant wishes to significantly improve the existing building's current access arrangements by adding DDA access into the new reception area off Bleeding Heart Yard. The DDA access is offered via a retractable lift travelling 750mm from street to colonnade level.



Proposed ground floor plan showing floor levels at reception, ground and colonnade areas and location of DDA lift.

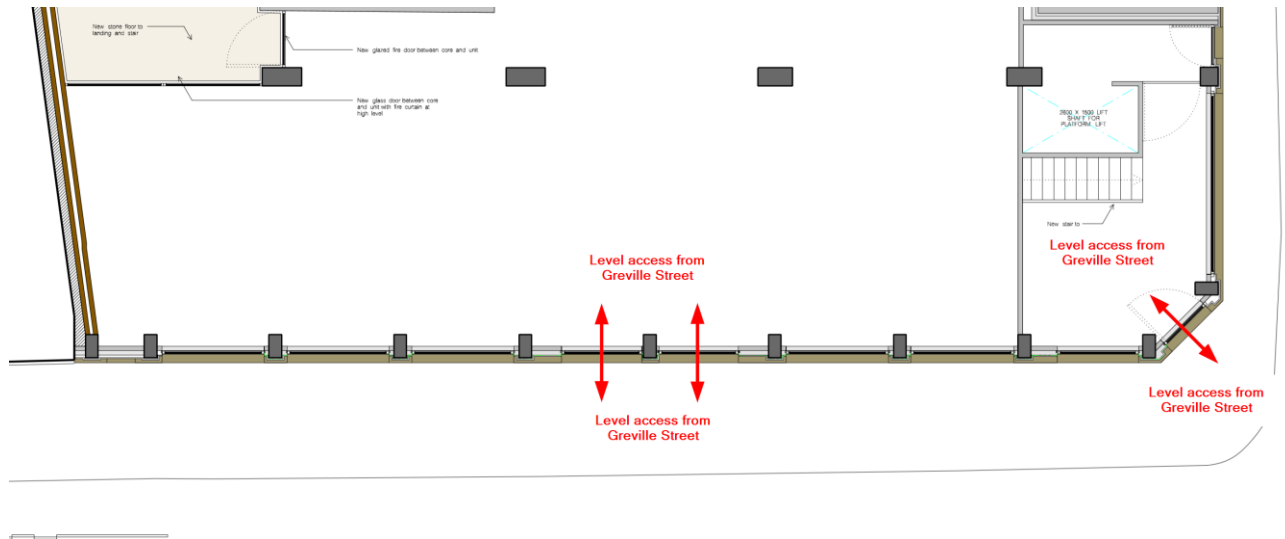
The bespoke DDA lift is used throughout London to adapt existing and new buildings for providing DDA accessibility. Within Camden, the Kimpton Fitzroy Hotel on Russell Square successfully uses the lift in an external setting to provide DDA accessibility into the upper ground floor entry level.



Sesame access lift retractable stair used in an external condition with easily accessible controls.

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The proposals will look to maintain the current floor level which will offer DDA access from Greville Street directly into ground floor units opening the street frontage. It is a significant component of the design to allow level access into the new ground floor unit, promoting accessibility for any new public spaces. The central core will preserve the current condition and exit widths, meeting Regulation and the proposed fire exit strategy.



Level access shown from Greville Street into ground floor of proposal, opening the street frontage and offering increased access to all building users.

Conclusions

This technical note has compared the planning approved drawings to those produced by a full measured survey. In doing so, level access as offered at the planning stage becomes unviable for a Building Regulation compliant scheme. Furthermore, key components to the planning approved design namely opening and activating the Greville Street frontage with a new commercial unit with workable internal floor to ceiling heights is unachievable.

Considering the above, it is therefore recommended that offering DDA access and significantly improving upon the current access arrangements via an accessible and compliant low rise occasional lift meets all relevant policy.