

Apt

Information in support of NMA

Medius House

Project Medius House	Project Number 18013	Date 01/09/19
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Document Number	Document Title	
Revision Description		

Introduction

This document is issued in support of a Non-material Amendment application related to the Medius House planning permission (Ref: 2017/0618/P).

Medius House, is a residential building with retention of the existing facade, will provide 18 affordable housing units and is part of a wider planning permission with Castlewood House.

Since planning permission was granted, the design has developed through coordination of the different disciplines and changes are proposed to the consent. The proposed changes include:

- 1. Ground floor external envelope changes;
- 2. Revised building height due to change in build-ups to comply with Part B Building Regulation changes.

Illustrative view -
Consented scheme



Changes to Ground Floor

Since the approval of planning permission 2017/0618/P the ground floor retail front has been developed to accommodate the consented A1 to A3 use class requiring louvres at high level ground floor for air intake for a future retail use.

The design has been developed to be very similar to the ground floors in the neighbouring buildings with louvres above the signage zone.



01. Consented New Oxford Street Elevation
02. Proposed New Oxford Street Elevation
03. Proposed view of retail frontage

Building Height

In accordance with the November 2018 amendment to the Building Regulations, the use of combustible material in the external walls of the building is no longer permitted.

As a result, all materials which form part of the external wall, or specified attachments such as balconies, must achieve European Classification A1 or A2-s1, d0 as defined in BS EN 13501. Materials should either be tested and demonstrated to achieve the above classifications, or be classified as Class A1 without testing by the European Commission Directive 1996/603/EC.

Any insulation to an inverted roof build up that is formed from combustible material presents a significant fire hazard and therefore must be adequately encapsulated to reduce the risk of it being involved in a fire. To achieve this, a build-up of minimum 50mm depth of pea shingle or similar is required directly above the insulation, in addition to any pavers or other non-combustible material provided above, as pavers do not provide a continuous barrier to prevent flaming particles from dropping through to the insulation below.

01. Consented New Oxford
Street elevation
02. Proposed New
Oxford Street elevation



Building Height

Due to Building Regulation changes, as described, terraces build-up and enhancement of the fire protection system within Medius House requires increased ceiling zones and consequently the building height by 65mm at the Pod Level.

The terraces and FFL's from Level 05 above have been adjusted to impact the minimum on the overall building height.

01. Consented view from New
Oxford Street
02. Proposed view from
New Oxford Street



