



Reproduction in whole or in part is forbidden without written sanction of Resi.

All dimensions to be cross-checked on site prior to completing a Building Regulations package, structural engineering, the party wall process and construction.

Print to scale (as actual size)

NOTES		

Rev Notes			Date		
-	Planning issue			15/10/2019	
					ĺ
KEY			Во	oundary lines	
	Proposed wa <b>ll</b> s		Pr	oposed beam	
	Existing walls		Pr	oposed drainage	
	Existing removed		1.8	3m head he <b>i</b> ght	
[]	Proposed rooflight		1.5	5m head height	

#### JOB TITLE

Revision

Proposed first floor enlargement of balcony to roof terrace and all associated works at 6b Garlinge Road

### STATUS

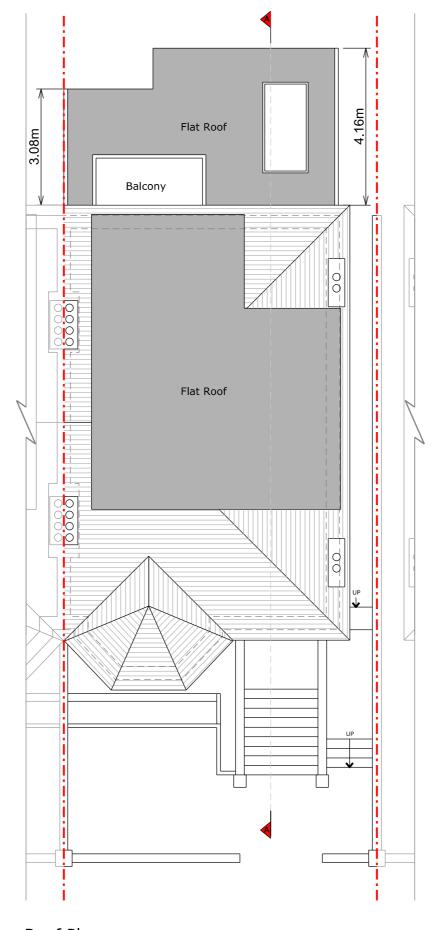
Planning

### DRAWING TITLE Existing Floor Plan

Lars Popken

HD HD		
<b>CHECKED</b> JD		

**DRAWING NO.** 1844 - 101

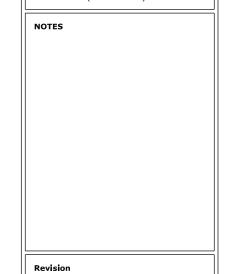




Reproduction in whole or in part is forbidden without written sanction of Resi.

All dimensions to be cross-checked on site prior to completing a Building Regulations package, structural engineering, the party wall process and construction.

Print to scale (as actual size)



KEY	- Boundary lines
Proposed walls	Proposed beam
Existing walls	— — Proposed drainage
Existing removed	— — 1.8m head height
Proposed rooflight	— — 1.5m head height

Date

15/10/2019

#### JOB TITLE

Rev

Planning issue

Proposed first floor enlargement of balcony to roof terrace and all associated works at 6b Garlinge Road

## STATUS

Planning

## DRAWING TITLE

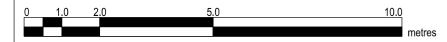
Existing Roof Plan

#### CLIENT

Lars Popken

1:100 at A3	<b>drawn</b> HD
OCT 2019	<b>CHECKED</b> JD
-/:	

DRAWING NO. 1844 - 102



Roof Plan



Rear Elevation



Reproduction in whole or in part is forbidden without written sanction of Resi.

All dimensions to be cross-checked on site prior to completing a Building Regulations package, structural engineering, the party wall process and construction.

Print to scale (as actual size)

### NOTES

Materials:

Brickwork / Walls - Brick walls / white render

Pitched Roof - Slate tiles

Windows - White uPVC / timber windows

Doors - Black / white painted timber doors

RWP / Gutters / Fascia - White uPVC downplpes and fascias

demolished balcony - Steel balustrade

#### Revision

Rev Notes		Date
_	Planning issue	15/10/2019

## KEY

Proposed walls

- Boundary lines --- Proposed beam

Proposed drainage

— 1.5m head height

Existing walls

Existing removed - - 1.8m head height Proposed rooflight

### JOB TITLE

Proposed first floor enlargement of balcony to roof terrace and all associated works at 6b Garlinge Road

### STATUS

Planning

### DRAWING TITLE **Existing Elevation**

Lars Popken SCALE

<b>SCALE</b> 1:100 at A3	<b>drawn</b> HD
DATE OCT 2019	<b>CHECKED</b> JD

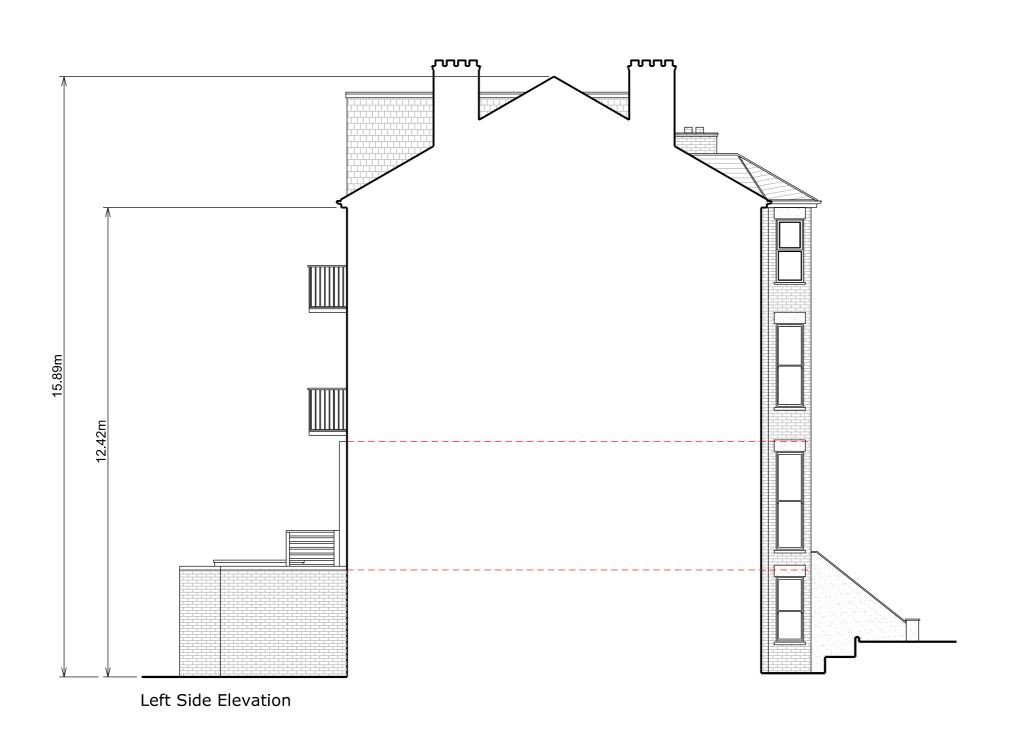
**DRAWING NO.** 1844 - 201

10.0





Rev	Notes	Date
-	Planning issue	15/10/2019





Reproduction in whole or in part is forbidden without written sanction of Resi.

All dimensions to be cross-checked on site prior to completing a Building Regulations package, structural engineering, the party wall process and construction.

Print to scale (as actual size)

#### NOTES

Materials:

Brickwork / Walls - Brick walls / white render

Pitched Roof - Slate tiles

Windows - White uPVC / timber windows

Doors - Black / white painted timber doors

RWP / Gutters / Fascia - White uPVC downplpes and fascias

demolished balcony - Steel balustrade

1				
ı	D		٠.	١.,
		ev		

Rev	Notes	Date
-	Planning issue	15/10/2019

### KEY

Proposed walls

Proposed rooflight

Boundary lines

Proposed beam

— 1.5m head height

Existing walls

Existing remov

Proposed drainage

Existing removed

- 1.8m head height

# JOB TITLE

Proposed first floor enlargement of balcony to roof terrace and all associated works at 6b Garlinge Road

#### STATUS

Planning

## DRAWING TITLE

Existing Elevation

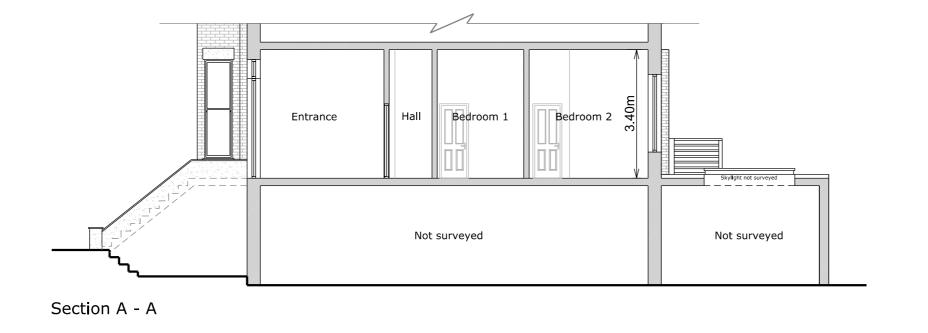
#### CLIENT

Lars Popken

scale 1:100 at A3	<b>DRAWN</b> HD
DATE OCT 2019	<b>CHECKED</b> JD

**DRAWING NO.** 1844 - 203

0 1.0 2.0 5.0 10.0 me

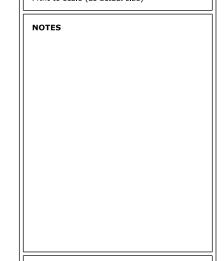




Reproduction in whole or in part is forbidden without written sanction of Resi.

All dimensions to be cross-checked on site prior to completing a Building Regulations package, structural engineering, the party wall process and construction.

Print to scale (as actual size)



-	Planning issue			15/10/2019
KEY			Во	oundary lines
	Proposed walls	_	Pr	oposed beam
	Existing walls		Pr	oposed drainage
	Existing removed		1.8	Bm head height
[]	Proposed rooflight		1.	5m head height

Date

#### JOB TITLE

Revision

Proposed first floor enlargement of balcony to roof terrace and all associated works at 6b Garlinge Road

### STATUS

Planning

### DRAWING TITLE

Existing Section A - A

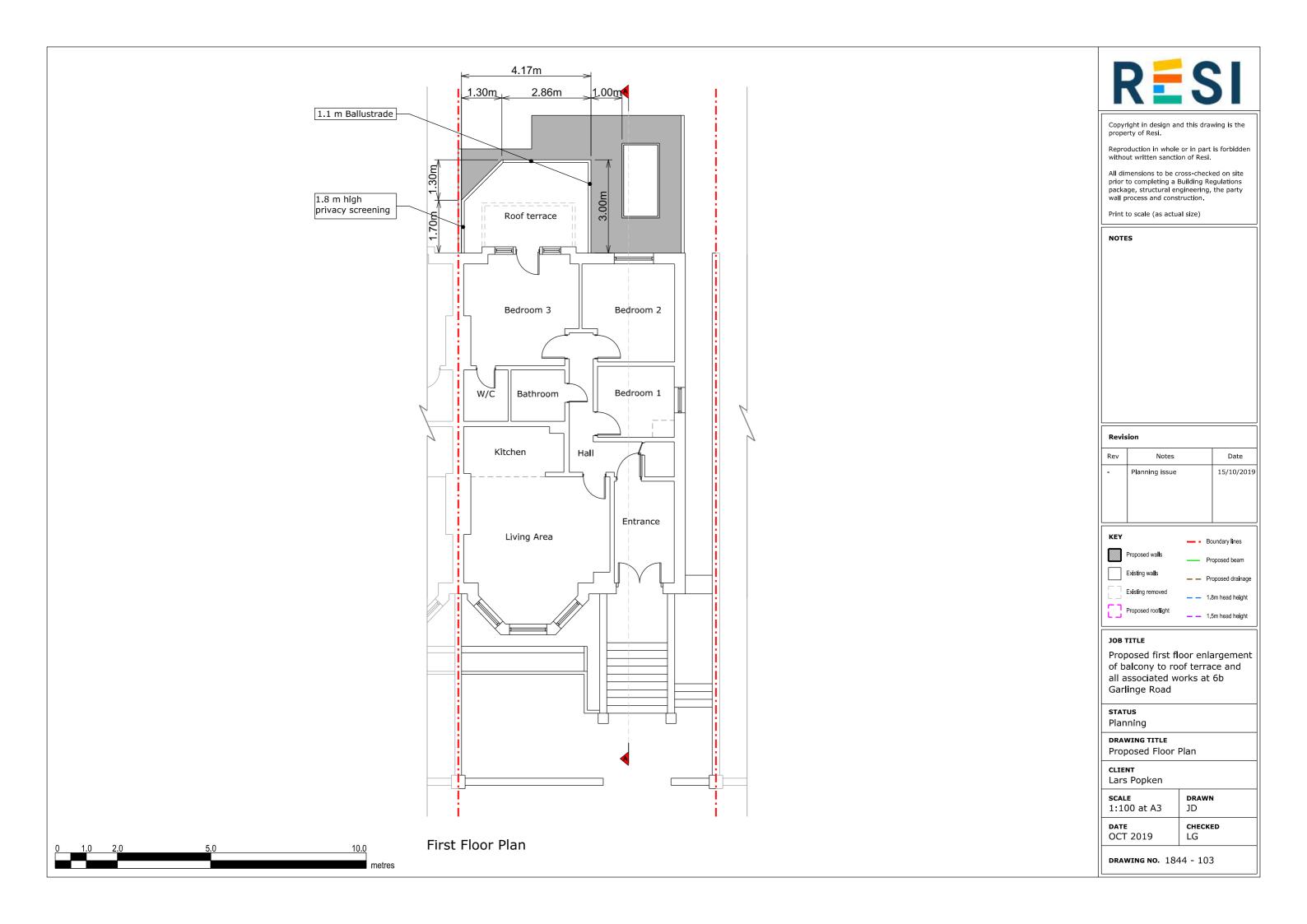
#### CLIENT

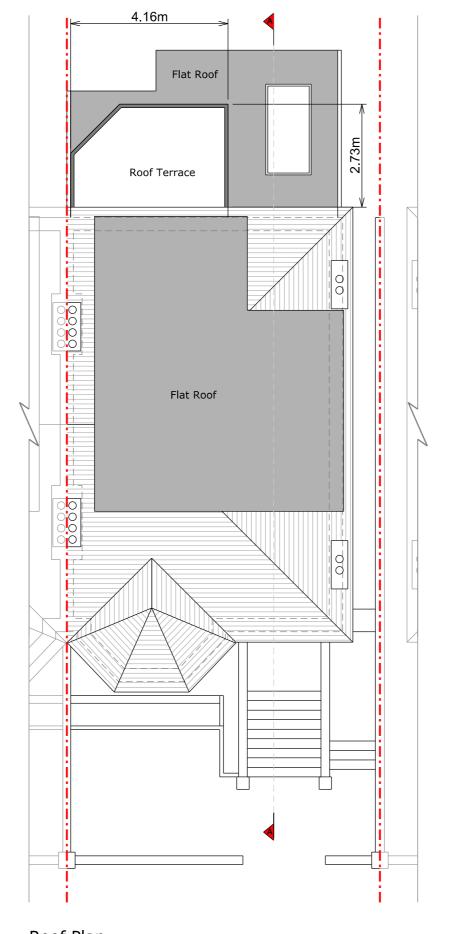
Lars Popken

<b>SCALE</b> 1:100 at A3	<b>DRAWN</b> HD
DATE OCT 2019	<b>CHECKED</b> JD

**DRAWING NO.** 1844 - 301

0 1.0 2.0 5.0 10.0 me



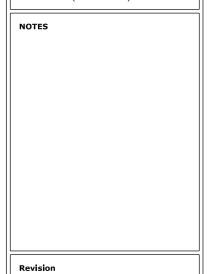




Reproduction in whole or in part is forbidden without written sanction of Resi.

All dimensions to be cross-checked on site prior to completing a Building Regulations package, structural engineering, the party wall process and construction.

Print to scale (as actual size)



-	Planning issue		15/10/2019
	•		
KEY		 Во	oundary lines
	Proposed walls	 Pr	oposed beam
	Existing walls	 Pr	oposed drainage
	Existing removed	 1.8	Bm head height
[]	Proposed rooflight	 1.5m head height	

Date

#### JOB TITLE

Rev

Proposed first floor enlargement of balcony to roof terrace and all associated works at 6b Garlinge Road

#### STATUS Planning

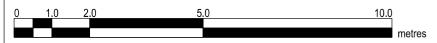
## DRAWING TITLE

Proposed Roof Plan

Lars Popken

JD
CHECKED LG

**DRAWING NO.** 1844 - 104



Roof Plan



Rear Elevation



Reproduction in whole or in part is forbidden without written sanction of Resi.

All dimensions to be cross-checked on site prior to completing a Building Regulations package, structural engineering, the party wall process and construction.

Print to scale (as actual size)

### NOTES

Materials:

Privacy screening - Opaque glazing panels with steel frame / steel balustrade

#### Revision

	Rev	Notes	Date	
	-	Planning issue	15/10/2019	
ı				ı

KEY

- Boundary lines Proposed walls --- Proposed beam

Existing walls

Proposed rooflight

 Proposed drainage Existing removed - - 1.8m head height

JOB TITLE

Proposed first floor enlargement of balcony to roof terrace and all associated works at 6b Garlinge Road

1.5m head height

#### STATUS

Planning

## DRAWING TITLE

Proposed Elevation

Lars Popken

<b>SCALE</b> 1:100 at A3	<b>DRAWN</b> JD
DATE	CHECKED
OCT 2019	LG

**DRAWING NO.** 1844 - 204

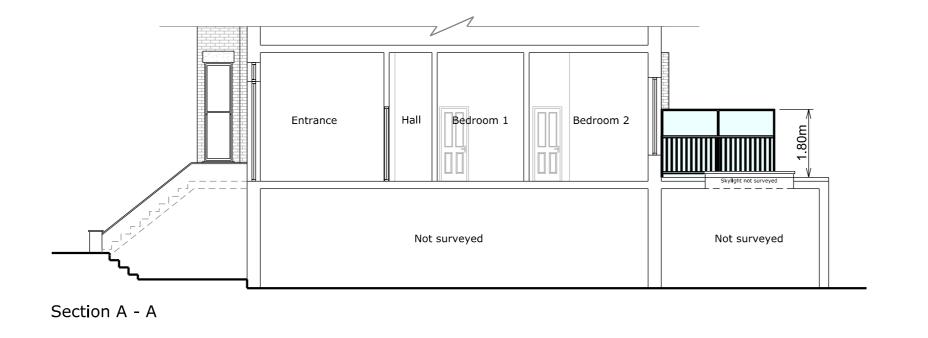
10.0





Rev	Notes	Date
-	Planning issue	15/10/2019







Reproduction in whole or in part is forbidden without written sanction of Resi.

All dimensions to be cross-checked on site prior to completing a Building Regulations package, structural engineering, the party wall process and construction.

Print to scale (as actual size)

NOTES		

Rev	Notes			Date
-	Planning issue			15/10/2019
KEY			Во	oundary lines
	Proposed walls	_	Pr	oposed beam
	Existing walls		Pr	oposed drainage
	Existing removed		1.8	3m head height
	Proposed rooflight		1.5	5m head height

#### JOB TITLE

Revision

Proposed first floor enlargement of balcony to roof terrace and all associated works at 6b Garlinge Road

#### STATU

Planning

### DRAWING TITLE

Proposed Section A - A

#### CLIENT

Lars Popken

<b>SCALE</b> 1:100 at A3	<b>DRAWN</b> JD
DATE	<b>CHECKED</b>
OCT 2019	LG

**DRAWING NO.** 1844 - 302

0 1.0 2.0 5.0 10.0