



Figure 1. View of no. 33 Willow Cottages, end of terrace, 2 storey over lower ground level

NO. 33 Willow Cottages

LISTED BUILDING CONSENT
DESIGN & ACCESS STATEMENT

October 2019

Prepared by adA Aoife Donnelly Architects

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Figure 1a. Historic view of terrace from no. 34-40, taken in 1962-64
sourced from Historic England archive



Figure 1. View from Willoughby Road corner with Willow Road, of gable to no.33 Willow Cottages

I Introduction: Design & Access Statement

This design and access statement accompanies a full Planning and Listed Building application for the remodelling and submerged side extension of the existing end of terrace cottage, at no. 33 Willow Road. The Cottage is a Grade 2 Listed Building, dating from 1866 and lies within the designated Hampstead Conservation Area. Hampstead has been described as host of a rural vernacular, in the English Heritage publication *Lost London 1870-1945*. The townscape has multiple examples of modest terraced cottages, a local typology of sorts.

The structure is a 2 storey over basement end of terrace brick building, its front elevation finished in stucco, with a curtilage of a deep front and side garden and shared rear access alley. As it is the end of terrace, the corner has articulated quoins, with stucco banding at first floor and decorative door surrounds.

This report is to be read in conjunction with the accompanying Heritage Statement by Robert Bevan of Authentic Futures, the Structural Design & Methodology Report prepared by Stephen Foster Associates and the Basement Impact Assessment prepared by RSK.

County:	Greater London Authority
District:	Camden (London Borough)
National Grid Reference:	TQ 26709 85863

I.2 Planning History

A lengthy pre-application process Ref 33 Willow Road - 2018/4701/PRE was carried out, refer Appendix 1

A previous application for listed building consent for a first phase to the lower level was granted consent in 2017 Application Ref: 2017/2513/L, refer Appendix 2, it was determined to combine these approved works with the current full application.

Prior to these, a 2014 pre-application statement was sought, included in Appendix 3

The proposal has been prepared in general accordance with the relevant policies of the Camden Local Plan 2017, the London Plan 2016 and the National Planning Policy Framework. This document is also prepared in line with Camden Basements Guidance.

Conservation Area Statement extract:

Willow Cottages (listed), a pretty group of nine cottages, built in the mid- 19th century. They are distinctive due to their pastel colours, long front gardens and unaltered boundary walls, windows and roof-lines. The paving in front of the terrace is red brick. 33-41 (Willow Cottages); 1,2&3(11). Listed 1974, note: interiors not inspected.*



Produced 27 Apr 2017 from the Ordnance Survey MasterMap (Topography) Database and incorporating surveyed revision available at this date.

The representation of a road, track or path is no evidence of a right of way. The representation of features as lines is no evidence of a property boundary.

0 10 20 30 40 50 Metres
1:1250
N
33, Willow Rd, London
NW3 1TN

Supplied by: **Stanfords 27 Apr 2017**
Licence: © Crown Copyright and
database rights 2017 OS100035409
Order Licence Reference: OI1118521
Centre coordinates: 526743 185868

2 Location Analysis

2.1 Location Plan at 1:1250 at A4 (redline indicates site boundary, blue fill indicates terrace of Willow Cottages)

2.2 Planning Policy context

The site forms the end of a terrace of 9 cottages and is within the designated Hampstead Conservation Area. No .33 is a Grade 2 Listed property. Please refer to the accompanying 'Planning report: Understanding & Significance' by Robert Bevan, Heritage Consultant, Authentic Futures, which sets out the Planning Policy context assesses the significance of the building in accordance with national planning policy guidance.

The proposal must be in general accordance with the relevant policies of the Camden Local Plan 2017, the London Plan 2016 and the National Planning Policy Framework.

2.3 Surrounding Building Uses

All surrounding buildings are in residential use, some are divided into separate flats and the remainder are in single occupation.

2.4 Transport & servicing issues:

The proposed works do not alter existing transport or servicing arrangements or issues, the cross-over to the pavement and vehicular and pedestrian access gates remain as is, with the vehicular gates replaced with matchboarded gates offering more security and privacy to the site and the hard standing crazy paved area replaced with a permeable grasscrete solution that nestles gently into the garden setting, allowing rainwater to percolate down through the permeable top layer of planted membrane and into the ground, before it drains to the highway, an improvement on the current situation. Access to public transport is unaltered with nearby tube lines serving the area, the nearest public transport node is Hampstead Heath overground station approx half a mile to the south east. Neither Willow Road or Willowby Road are on a bus route.



Figure 1.



Figure 2.



Figure 3.



Figure 4.



Figure 5.

Figure 1. View from Willoughby Road

Figure 2. View from Willoughby Road showing shed to be demolished and entrance to rear alley

Figure 3. View from rear shared alley showing rear elevation of lower ground floor

Figure 4. View from rear shared alley showing rear elevation of lower ground floor

Figure 5. View from higher up Willoughby Road



No. 33 Willow Cottages, extent of site

Figure 1. View from Willow Road of no.33 Willow Cottages, end of terrace, 2 storey over garden level, with original entrance door; windows and steps



Figure 2. View from Willow Road of terrace of 9 cottages forming Willow Cottages, 33 seen at farthest end.



No. 33 Willow Cottages, extent of site

Figure 3. View from Willoughby Road of rear of no.33 Willow Cottages

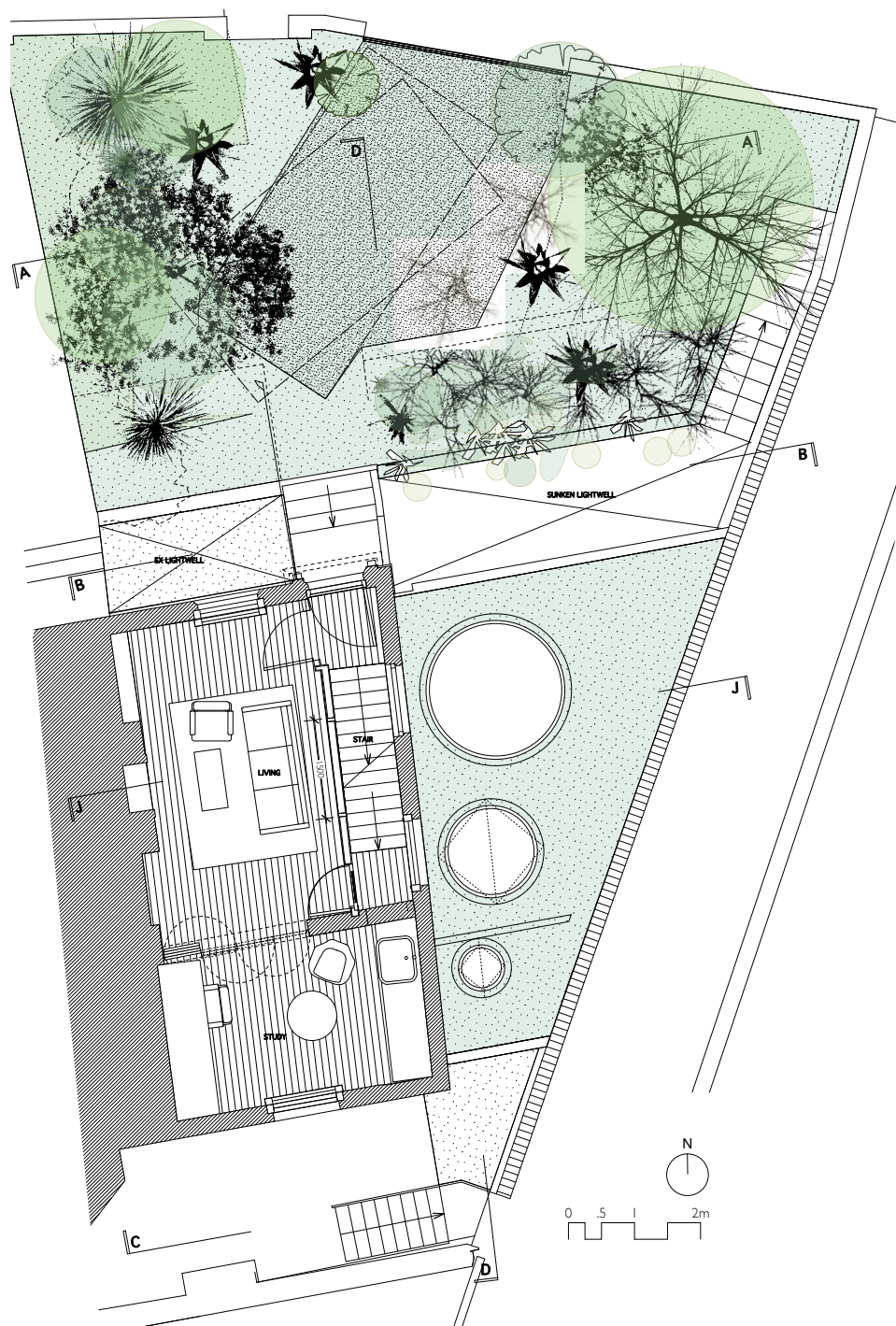


Figure 1. Proposed raised ground floor plan

3 Design Proposals

3.1 Client brief

The brief is to augment the existing cottage to render it appropriate for the client's young family, by the addition of a sensitive side extension. The proposal seeks to restore and internally re-imagine the existing Cottage, linking it at lower ground to a new high quality family kitchen space via two new structural openings in the gable, which is currently retaining the garden at this level and is damp, has previously been tied and in need of some structural remedial work, refer to Stephen Fosters' structural report, accompanying this application. A major part of the works is to undo the unsympathetic changes that have taken place largely during the C20th. The side extension will house a new kitchen/ living space and will balance and provide relief to the small cellular nature of the existing rooms. The interior of the house reveals the character of previous inhabitation, with a range of evidence of changes over the 150 year life of the structure.

The proposal seeks to preserve the original structure of the cottage by minimal intervention and reverse the unsympathetic works carried out in stages since the cottages' construction in the 1860's, in particular the works executed in the 1980's that sought to divide the structure into two separate flats. The proposal looks to repair the decayed fabric of the cottage and address the current poor condition of the lower ground floor, which is not fit for habitation by a young family and live in child carer at present. The intention is to relieve the sense of over-crowding internally through extending and simplifying the interior spaces to the existing structure, allowing them to become more useful.

The intention of the proposed works is to remodel the three existing floors of the cottage and to provide a discrete, submerged side extension that is limited in scale and presence. The new kitchen space will be lit from a series of three discrete circular roof-lights, whose pitch falls towards the existing gable, to address concerns regarding light spill, to conceal views in, block direct views of the light sources and direct light by night towards the gable and away from the street.

This will be coupled with a slender new light-well set out in line with the existing, original lightwell and of a lesser extent than several more substantial and varied examples found further along the terrace. A planted verdant and wild landscape is proposed with a contextually designed delicate guardrail in cast iron, reflecting the motifs of the Neo-Georgian window details with their margin glazing to the front elevation and recalling the St. Andrew's Cross design of previous guarding to the terrace of cottages' lightwells, revealed through our archive research, refer the Heritage Statement. This guardrail acts as a permanent mechanism to support the planting of native climbers and to conceal the top of the submerged side extension. The side extension is set back behind the building line, which helps to conceal it as viewed from higher up and across Willow Road.



1a.



1b.



1c.

Concealed nature of site and proposal

1. Views descending Willow Road along (cottages side) pavement approaching no. 33
 1a. taken outside no. 40
 1b. taken outside no. 36
 1c. taken outside no. 33, pedestrian gate to no. 33 in view

2. Views from the opposite pavement approaching no. 33 from higher up
 2a. taken opposite no. 43
 2b. taken opposite no. 37

3. View of site from directly opposite entrance gates

2a



2b



3



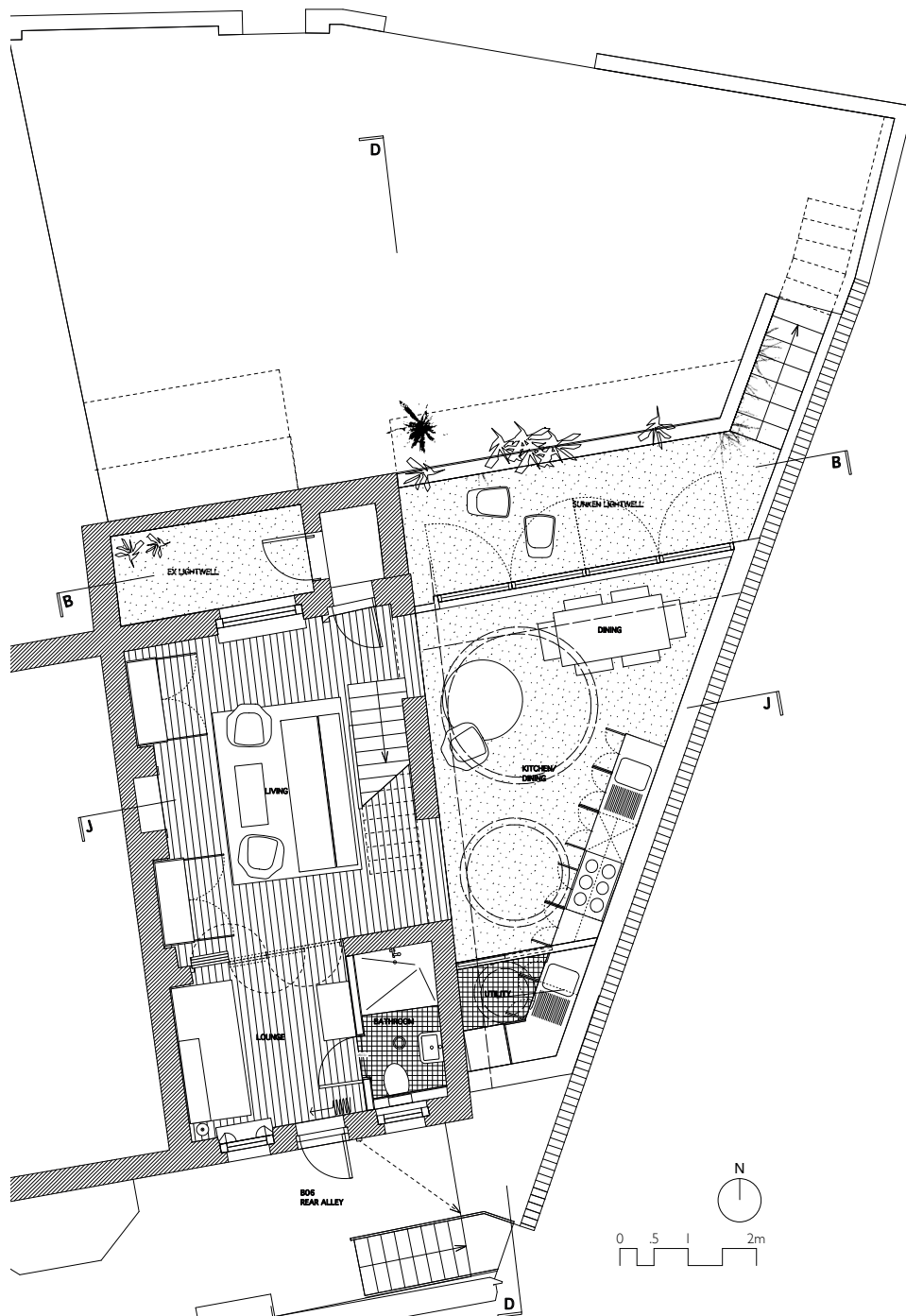


Figure 1. Proposed lower ground floor plan indicating new side extension

3.2 Proposed works to Lower Ground Floor

The proposed side extension will occupy the corner area of the site that became part of the curtilage of no. 33 in 1886. This extended area will provide support to the existing terrace structurally, provide upgraded family kitchen and living accommodation linked visually to the existing lower ground floor area and will improve the light quality of the existing spaces, act as a thermal barrier, improving the thermal comfort of the existing structure and help resolve structural and damp issues that exist currently, due to the submerged nature of the gable. The submerged side extension will be subordinate to the existing; respecting the original design and proportions of the building, including its architectural period and style.

To the existing area, a set of separating folding door seeks to re-instate the historic two-cell layout of the existing lower ground floor area along the down-stand beam visible. An access door, previously connecting the lower ground spaces to the front lightwell, has been closed up and a catflap inserted under the external steps, record drawings indicate that this door sat adjacent the main window to the front at lower level, again presumably during the works executed in the 1980's. The access to the existing light-well will be re-instated in a position matching that of the neighbours along the terrace. The new floor, comprised of a wet underfloor heating gypsum board layer on damp proof layer, with timber floating floor over, will be scribed around the historic front window.

Windows and shutters, which are currently in poor condition, have been confirmed as non-original, machined, later additions and will be replaced, detail can be furnished via condition. The external door to the rear alley with fanlight over and plain security bars to the fanlight, will be retained and upgraded sensitively.

These works aim to resolve issues of damp, remove non-original sections of internal wall, upgrade the existing wc and shower area to allow an accessible wetroom solution suited to use by ambulant disabled visitors or elderly relatives and involve removing the existing, non-original kitchen and local boxing out of servicing. New furniture elements will all be freestanding and have no impact on the historic fabric. The non-original floor tiles will be lifted. The manifold serving this system will be concealed under the existing stone steps to the main entrance door. The new combi boiler will be concealed in a cabinet to the utility area at the rear of the lower ground floor extension, and will be discretely vented to the roof through the wildflower planting. A new extractor fan over the kitchen hob will extract to a discrete stainless steel grille hidden in the green roof overhead. Foul drainage will connect to existing extended piping routes and discharge to the existing rear manhole and no additional service piping will be visible externally.



← Boundary wall reconstructed sympathetically

← Vehicle gates replaced and upgraded

← Proposed side extension position indicated by dashed white line concealed behind perimeter wall- green line indicates ground level forward of footprint

Figure 1. View of no.33 from corner of Willow & Willoughby Roads showing principle of largely submerged side extension

No. 33 Willow Cottages, extent of site



Footprint and depth of proposed side extension, dotted line indicates ground level, extension projects 1200mm above, in line with top of columns to boundary wall



Existing stepped lightwell, repeated along terrace, with varying depths as adjusted over time



Figure 1. View of no.33 from front garden, showing principle of partially submerged side extension



Boundary wall reconstructed
lean to shed removed



Proposed side extension mass and posi-
tion indicated by white outline



Figure 1. View of no.33 from Willoughby Roads



No. 33 Willow Cottages, extent of site

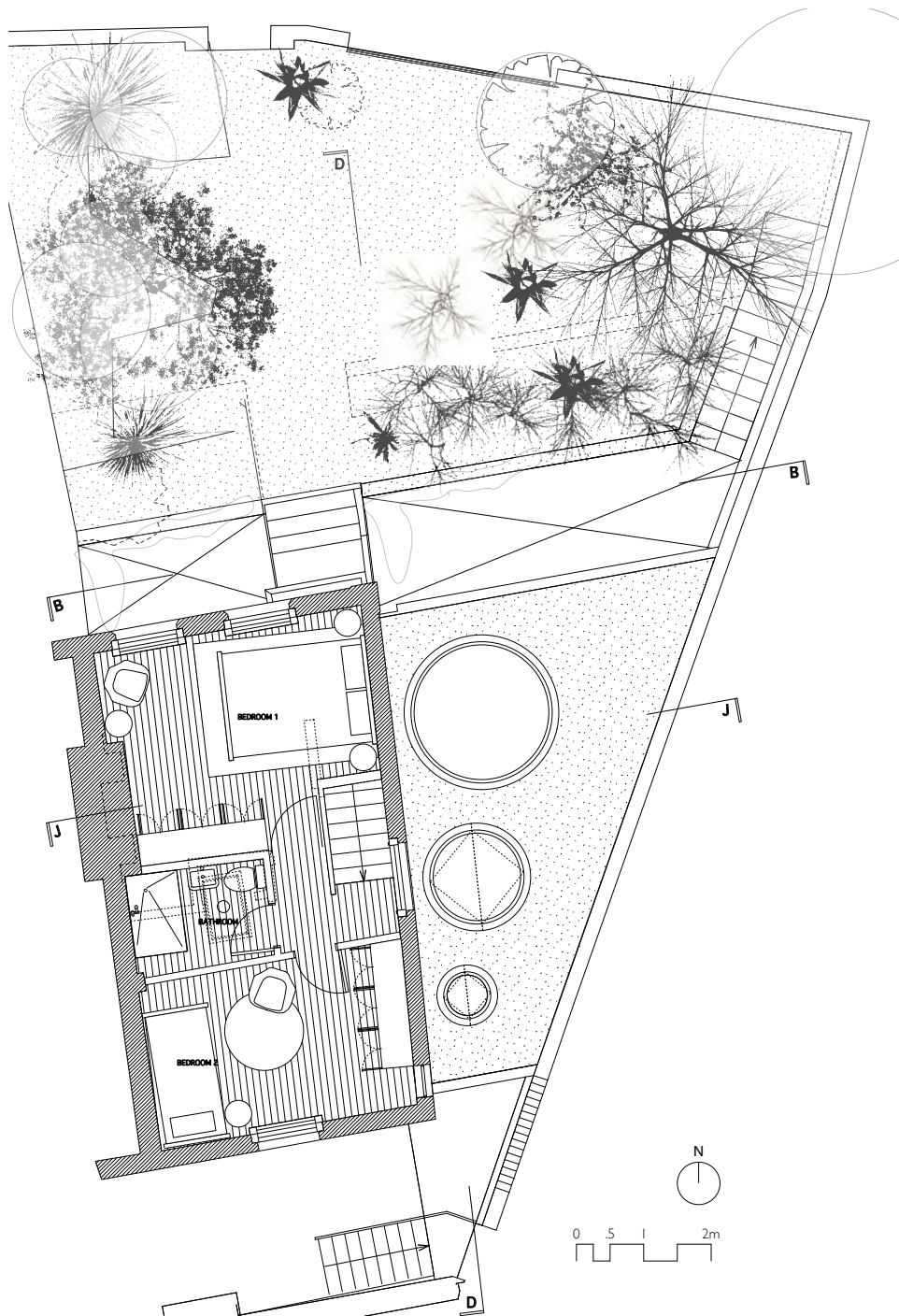


Figure 1. Proposed first floor plan

3.3 Proposed works to Raised Ground Floor

The works to the raised ground floor will chiefly be focussed on restoration and conservation works, bringing elements such as the windows sets, doors, floors, ceilings and walls back to their original condition. The spaces will become more open, allowing greater engagement with and enjoyment of the historic fabric of the house and will be used as family shared spaces, allowing study, repose and a painter's studio corner to the rear. Key to this is the removal of the insensitive bathroom added in during the 20thC and the restoration of the two cell relationship between the lounge and rear areas. The reconstructed dividing wall separating the new stair area from the living room, will contain a circular internal glazed screen allowing a visual connection between the stairwell and the living area, multiplying the motif referencing the original windows through the new interventions.

3.4 Proposed works to Upper/ First Floor

The works to the upper floor are centred on the removal of fragmented and ill-fitting service enclosures and boxings, awkward, built in cupboards and tight corners, and the definition of two clear and distinct bedroom spaces. A new carefully positioned family bathroom will be located under the ridge, discretely lit from above with a new, recessed tile flashing, conservation type Velux rooflight. The rooflight will not be visible from Willow Road and due to its low position to the rear face of the double pitched roof, is invisible from Willoughby and Willow Roads. This proposed change allows the removal of the insensitive wcs and associated fabric, visible pipe runs etc. at first floor and raised ground floor level and the serving of the family sleeping accommodation, more suited to use by a family group and young children.

3.5 Internal Stair

The internal stair has gone through a series of manipulations and alterations over the course of its varied history, as charted in the Heritage Statement accompanying this application, prepared by Robert Bevan. The current stair is non-original and compromised by remedial work done at stages, dampness as well as fire separation that allowed the use of the house as two separate flats. These result in a flight that is both interrupted, with its width varying, and in poor condition, with cracking in evidence in the lowest flight.

The proposal seeks to replace the stair connecting raised and lower ground floors with a new, elegant and carefully formed intervention, occupying the same position and width as that which it is replacing. The new flight will be formed of a slender section, folded metal plate with discrete structure beneath and delicate metal railings serving as balustrading, clearly reading as a reversible, distinct and contemporary addition.



Figure 1. View from Willoughby Road corner with Willow Road, of gable to no.33 Willow Cottages and terrace beyond. Reconstructed brick wall indicated in yellow, recent ironwork gate to be replaced outlined in red, refer Heritage report and drawings identifying Heritage value and photograph from 1980's on previous page. Proposed side extension concealed behind the brick wall, refer architectural existing & proposed



Figure 1. View of no.33 from corner of Willow & Willoughby Roads taken in 1986 showing newly constructed areas of boundary wall and Sycamore tree (now dead)



Figure 2. Showing severely damaged and leaning, split existing wall with dead tree trunk remaining

3.6 Building Exterior

The property is currently in a state of disrepair, the extent and scale of repairs is in line with the buildings age and shall be handled with a sensitive and light touch approach, in line with the design and conservation philosophy of minimal intervention. The gable wall forming the flank to the terrace of Willow Cottages, will have a series of local remedial works carried out, including the removal of redundant service-piping and alarm housing and repairs to cracking, refer to architectural and structural drawings. The proposal necessitates the raising of the cill of the low level, non original small window to the gable, salvaged brick to match the existing original gable fabric will be employed and lime based render used to both local sensitive repairs and infill areas. Refer to the conservation mark up sets which identify the date and heritage value of the various elements and mark ups noted on the existing set of architectural drawings.

3.7 Boundary Walls

The existing dangerously unstable and broken boundary wall, together with its footings and light-weight 1980's timber fence panels will be carefully taken down and the dead sycamore tree trunk that has caused it to be split, together with its associated roots etc., carefully removed. A new brick wall and sub-structure is proposed, refer to the Structural detail drawing in accompanying report. This new boundary treatment will be formed of salvaged London stock brickwork, one brick deep, formed in English Garden Wall bond, using a lime-based mortar to an agreed sample panel. The reconstructed boundary wall will be built up to a height to match that of the existing perimeter wall to Willoughby Road, ending with an additional brick on end course to the top, adding 100mm in height to the existing top of pier level.

The projecting live apple tree and honeysuckle will be cut back sensitively and protected where possible during the works.

3.8 Lightwells

Lightwells are part of the established character and grain of Willow Road and surrounding streets and specifically are present all along the Willow Cottages terrace itself. Due to the elongated front gardens of the terrace, these existing lightwells typically do not take up all or the majority of the garden area, however some examples along the row of cottages are deeper in plan and more extensive, with varying types of stepping down to the lower level.

The proposed new light-well is slender in scale, discrete and in line with the existing, mirroring its profile and providing a link for the family to the garden level, as established precedent further along the street and to the Willow cottages terrace. The light-well will not affect the relationship of the building and the street due to the distance which it is set back from the boundary wall to Willow Road and the fact that it is fully concealed by the Willoughby Road wall, standing at a



Figure 1. View of existing overgrown stepped lightwell to no.33 and along terrace of cottages with varying depth lightwells and several with separate stepped access to lower ground level



Figure 1. New timber vehicular gate and upgraded pedestrian gate in Amsterdam Green

height of 2100mm approx above pavement level.

The light-well will consume a small portion of the garden, and will be concealed by the character and landscape treatment of the front garden itself, wild and densely planted, coupled with the inclusion of permanent ironwork in the form of the guardrail to the light-well, all acting together to form a visual buffer from the street. The delicate ironwork recalls the metalwork railings and balconies of late-Georgian squares of London and the early 19thC houses of Hampstead, structures that were intended to support flowers and creepers, providing a connection to the landscape from the grand houses interiors. In this less urban setting, the function is to act as permanent screening to the largely hidden side extension as it emerges from the ground.

These bespoke delicate cast railings which will not cause harm to the appearance of the building rather amplify the motifs evident in the existing fenestration.

3.9 Gates

The existing outward-opening, metal double gates from 2016 will be removed and replaced with a micro-porous, heritage matt painted, hardwood close-boarded timber privacy bi-folding gate, formed of 4 panels supported by galvanised mild steel slender profile frames.

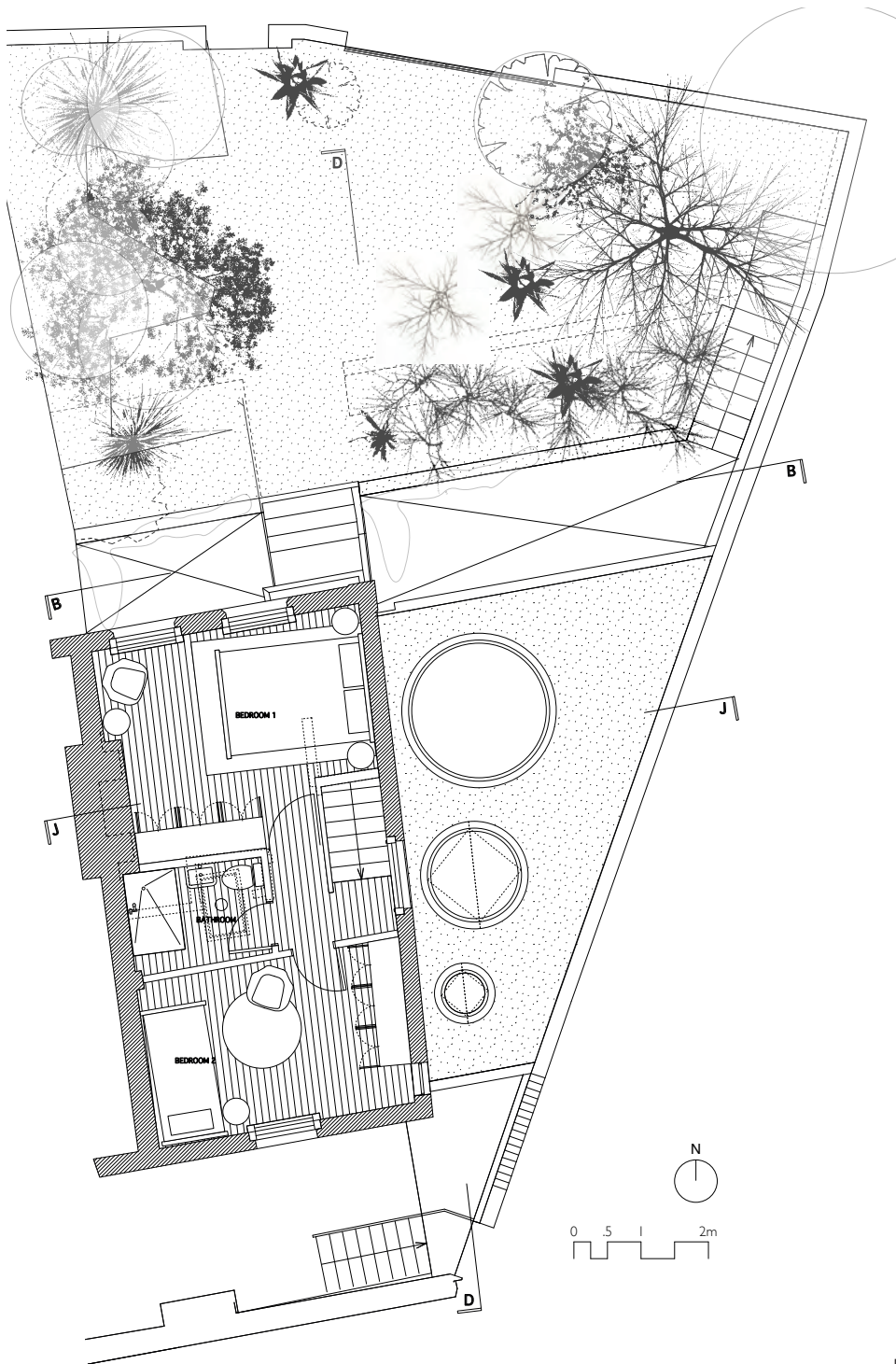
Remedial works to the existing pedestrian gate will be carried out, consisting of the stripping back and making good of the existing metal work, and the addition of a replacement flat galvanised steel arch in place of the non-original tubed version as existing, again the gate will be heritage matt paint finished.

4 Technical Design

4.1 Design & Conservation Philosophy

The approach of minimal intervention will be taken, the objective being to retain as much as possible of the historic fabric and halt further decay. To preserve the authenticity and historic value of the property, intervention will be kept to a minimum and no further damage will be sustained by the historic building as part of these works. On opening up and inspection, the extent of damp remedials will be ascertained and an environmentally friendly approach appropriate to historic structures employed such as Preservation Treatments, low technology, Dryzone Hi-Lime Renovation Plaster; a highly effective and breathable renovation plaster.

Finishing will be to a high level, with an historic palate of colour and using low-voc and micro porous paints employed to the renewed lower ground area. No new service runs or pipes will be visible externally, the works will solely reuse existing service runs, routes and pipes within the existing structure and will be sensitively handled to the proposed.



4.2 Building Regulations

Building Regulations have been taken into account with this proposal and an approved officer will be appointed during the execution phase, to ensure compliance of any new gas device and the new combi boiler; underfloor heating and electrical installation. New circuits and fuse board will extend the existing electrical provision and serve the new space and layouts.

Arrangements regarding fire escape to the first and ground floors remain largely unchanged. Egress currently is possible to the rear shared sunken alleyway and via the shared steps up onto the public highway at Willoughby Road. Access can currently only be gained to the original front sunken courtyard/ light-well via the lower ground front sash window. This will be improved in the new arrangement, with the under stair external door on the existing lightwell side and the access to the new lightwell from the side extension and the garden beyond, via stepping.

Replacement of windows and door to the rear will improve the usability, thermal performance and air tightness of the cottage at the lower ground floor level and some local damp remedial works will also improve the internal air quality. The installation of a heated underfloor layer, on a damp proof membrane and beneath a new timber floating floor, will improve the comfort levels and increase the habitability of the basement/ lower ground level.

4.3 Accessibility

Accessibility will largely not be altered by the proposed works, but the level of accessibility will be improved via the installation of the opening to the underside of the original steps to the main entrance and raised ground level and the new steps down to the proposed lightwell set in line with the existing. It is the intention that the lower ground floor wetroom will serve an ambulant disabled person with a low threshold shower tray etc.

4.4 Sustainable Construction/ Environmental sustainability considerations

The new side extension will meet current Building Regulations Part L requirements, will have the knock on effect of upgrading the performance of the existing and will not place occupiers at risk or have any effects on the stability or bearing capacity of adjacent land generally, refer to the accompanying Basement Impact Survey and Structural Report. and will attempt to maximise passive benefits from the site. Having three external elevations, as the structure is end of terrace, allows the existing building to benefit from good natural light at the upper levels and from good natural and cross ventilation, reducing reliance on any mechanical support.

Rainwater run-off will be handled largely on site, with the planted wildflower roof attenuating and the increased areas of soft landscape and permeable surface including to the car parking space which is rendered permeable in the proposals, assisting in reduction of flow of rainwater run-off to the highway.

The material palette externally is enduring and requires little maintenance, the cast iron panels acting as a rainscreen with a fully insulated side extension behind. New glazed units to both the slender lightwell and the roof are double glazed, the new lightwell allowing ventilation of the side extensions and bringing natural light into the plan, thus reducing reliance on artificial lighting. In landscaping terms there will be an overall increased area of soft landscape that supports biodiversity and rainwater attenuation. The hard-standing, crazy paved, existing parking area will be replaced with a permeable grasscrete solution that nestles gently into the garden setting, allowing rainwater to percolate down through the permeable top layer of planted membrane and into the ground, before it drains to the highway, an improvement on the current situation. Finishes internally will be comprised of breathable paints, enduring Terrazzo surfaces, sustainably sourced natural timber flooring and fittings. Sanitary-ware and devices will all be water saving and electrically low energy fittings and appliances will be employed throughout.

4.5 Planning and Design Considerations

In line with Camden Planning Guidance for Basements and Lightwells, the proposal is designed to not cause undue harm to the amenity of neighbouring properties. The proposal will not have a detrimental impact on the groundwater environment, including ponds and reservoirs and will not have any effects on surface water run-off or ground permeability, refer the previous paragraph re attenuation and increased permeable surface and soft landscaping. The proposal will not harm the recognised architectural character of buildings and surrounding areas, including gardens and nearby trees, and seeks to preserve and enhance the conservation area character, refer to the accompanying Heritage Statement for an extended discussion of these points.

Size of development: the proposal does not constitute over development and is of an appropriate and discrete mass and scale, subservient to the existing structures.

5 Site Analysis & Landscape Proposals

5.1 Trees, landscape and biodiversity

The proposal seeks to address the current poor connections between the generous deep front landscape/ garden and the building interior in particular the current lower ground, which is currently dedicated to service use, kitchen, gas and electrical services and wc/ bathroom, this use of the rear 'extensions' formed in the 1930's was established in the last century. The proposal will conserve and amplify the biodiversity value of the site; via the native planting and the addition of the wildflower roof.

Although it is overlooked in part by neighbouring properties the garden acts as an oasis, serving as a counter to the tight internal and densely programmed spaces. Given the proposed family occupancy, with young children in residence, the garden with improved connection and relationship



Figure 1. Serpent water fountain ceramic, by C Magarshack, Well Walk Pottery, Willow Road

with the shared interior spaces of the ground and lower ground floors of the house, will become a key space or series of outdoor rooms. Privacy for the family shall be enhanced via planting and lightweight garden structures and devices, that allow activities such as play and outdoor study/ dining to take place. Planted with deciduous trees and climbers growing from a topography of dispersed smaller plants, flowers and ceramics, the gardens are inspired by those that spring naturally in ruinous or untouched corners of the city, especially those documented in R.S.R. Fitter's classic book, 'London's Natural History'.

The new roof-light elements are set within a wild flower planted roof, which reads as an extension of the ground and garden. Their sculptural forms act as displaced art works within this slightly elevated ground plane. In their precious cast iron material form, they are set apart from standard proprietary items and are seen as jewels scattered within a bucolic garden sequence, composed of carefully selected plants, moments for repose and play, new and existing delicate cast ironmongery railings and dispersed artefacts/ artworks, the railings to the lightwell acting as permanent landscape structures that obscure the visibility of the largely submerged extension.

The landscape strategy draws on the secret garden atmosphere, which is represented by the serpent water fountain ceramic created by Christopher Magarshack, who for decades ran the Well Walk Pottery just moments up Willow Road. The new living roof treatment, wildflower meadow layer, extends the sense of a verdant landscape, helps mitigate rainwater overflow via water attenuation, improves the percentage of garden remaining. A sensitive approach will be taken to the landscaping and native species employed to supplement the existing planting that can be retained during and after the works.

5.2 Daylight & sunlight issues

The proposed side extension does not have adverse effects on neighbouring properties, being set away from the nearest neighbour on the terrace by no.33 itself. The addition is effectively concealed by the gable to no.33 and as such does not cast any shadows onto the adjacent properties. From the Willoughby road side, the extension is concealed behind the boundary wall.

5.3 Area schedule (existing & proposed) as shown on site plan

Proposed area of side extension: footprint =24.3 sqm, GIA=21 sqm
 Existing area lower ground floor: GIA=28 sqm
 Existing area ground floor: GIA=28 sqm
 Existing area first floor: GIA=28 sqm

GIA: Gross Internal Area

SQM: Squared Meters



Figure 2. above: garden wall and new gate will obscure new extension

5.4 Basements SPD Garden Area calculation:

38.8 sqm of existing garden or **37%** developed by the proposed extension
105.21 sqm = area of existing garden area (including footprint of timber garden shed) including hard crazy paved vehicular parking area

67.01 sqm = area of proposed garden area remaining (excluding new steps down, lightwell) as soft landscape with permeable grasscrete vehicular parking space

as set out on proposed site drawing 055_PP_00

5.5 Design Team:

- a Aoife Donnelly **adA**, Architect and principal contact, experienced in listed building work and adaptive reuse of existing buildings, Anthony Burgess Foundation at the Engine House, Chorlton Mill- Grade 2 listed setting in Manchester; Ely House Georgian Grade 1 Listed Building & Stables, Dublin, Joseph's Cottage, Wicklow Mountains National Park listed Shephard's Cottage, RIAI Heritage award winner
- b Stephen Foster, **Foster Structures**, Structural Engineer, experienced in working with sensitive conservation contexts in a contemporary and sensitive manner
- c Robert Bevan, **Authentic Futures**, Heritage Consultant, Writer, Architectural Critic
- d **RSK**, Basement Impact Assessment specialist input

6 Precedent

6.1 Design Precedent

Separate examples of precedent set out over the following pages illustrate the design intent/ inspiration, which range from similarly sensitive and listed building/ conservation area contexts in London, to the St. Ives Barbara Hepworth studio, so important to the client.

6.2 Local Area precedent

A series of local planning precedents found close to the site illustrate the breath of what has been allowed previously within Camden and demonstrates the diversity of extensions and alterations that have been premitted in the immediate conservation area. Several of these examples are additions to Listed Buildings, eg. Flask Walk immediately higher up Willow Road, Grade 2 Listed House and Romney's House, Grade 1 Listed. Several examples date from the past decade.

7 Design Development

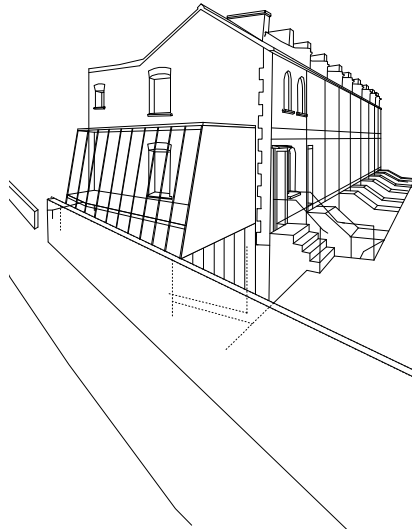
7.1 Pre-Application

During the extended pre-application process, refer to appendix 1, a series of six outline options were tabled for discussion.

Proposals ranged in terms of massing and scale, the most modest being a discrete side-extension accessed internally via a new structural opening to the lower ground level in the gable wall and lit from a slender front lightwell. This option proposes to extend the family accommodation and support the current needs of the young family on a single floor level.

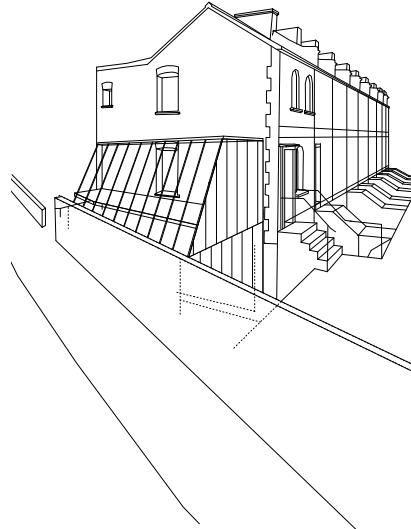
Feedback was requested on the following principles, to proceed to the stage of meaningful pre-planning consultation with neighbours to the terrace and eventually to full planning and listed building submissions.

- a. Principle of the largely subterranean side extension
- b. Principle of the use of the roof to this space as a terrace with discrete guardrails accessed from the existing window to the gable
- c. Principle of lightwell forward of new footprint, as is characteristic of the terrace
- d. Principle of more 'extravagant' addition as suggested in 2014 LPA 2014/3274/PRE (refer appendix 4)



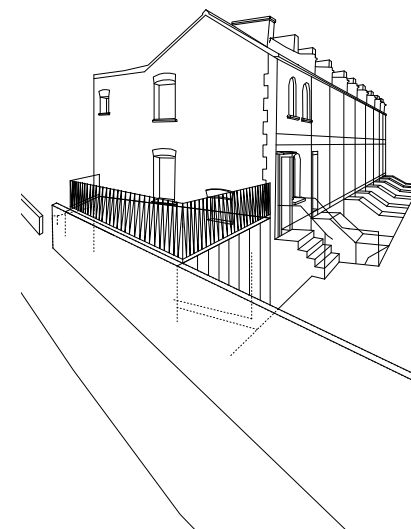
OPTION A1

KEY ATTRIBUTES:
Slender, largely glazed addition to gable of terrace to accommodate studio space on slender mezzanine within over kitchen family space, accessed from ground floor level



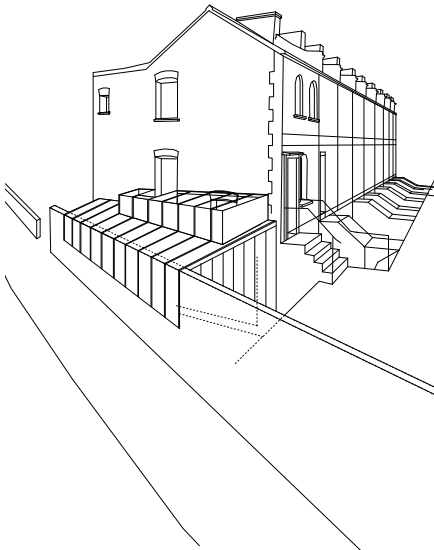
OPTION A2

KEY ATTRIBUTES:
Reduced height and volume, slender, largely glazed addition to gable of terrace to accommodate studio space on slim mezzanine within over kitchen family space, accessed from ground floor level



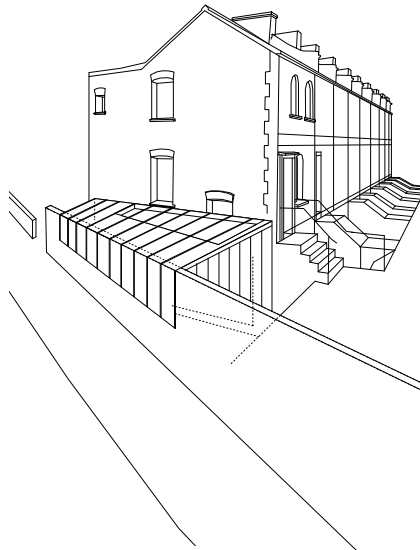
OPTION B

KEY ATTRIBUTES:
Low level garden side extension with roof terrace & discrete, fine planted metal ballustrading, accessed from gable window



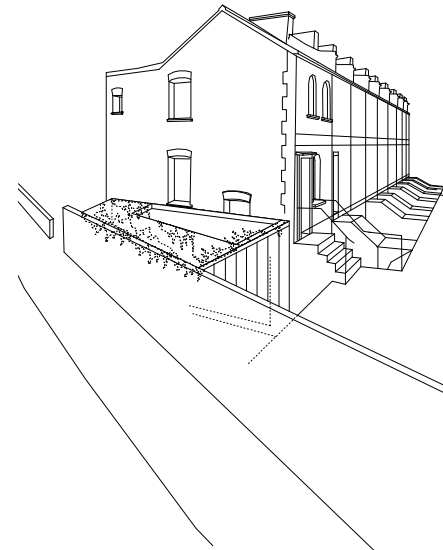
OPTION C

KEY ATTRIBUTES:
Low level garden side extension with standing seam lead or zinc roof and rooflight, wrapping down and tucking into brick joints
Roof lifts to accommodate taller rooflight and dips to reach window sill in gable
*no increase to Willoughby road boundary wall



OPTION D1

KEY ATTRIBUTES:
Low level garden side extension with standing seam lead or zinc roof and rooflight, wrapping down and tucking into brick joints
*no increase to Willoughby road boundary wall



OPTION D2

KEY ATTRIBUTES:
Low level garden side extension with planted roof and rooflight, fully concealed behind garden wall
*no increase to Willoughby road boundary wall

e. Principle of stepped landscape to allow a better relationship with the lower ground level both of existing and proposed areas

f. Nature of roof, material language, relationship with boundary wall

7.2 Pre-Application Feedback

The process concluded that a largely submerged side extension could be acceptable, refer Appendix 3 for correspondence. It was therefore agreed to proceed to RIBA Stage 3 and to carry out consultation with the neighbours along the terrace of cottages.

7.3 Preferred Design

The Side Extension (Pre-App Option D2- the most discrete option) was then carried forward through a series of detailed iterations, which tested various solutions around the rooflight elements to the new family kitchen/ dining space.

7.4 Hampstead and St. Ives, the artists of the 20's & 30's

Throughout this process the work of Barbara Hepworth and her own studio space in St Ives, were brought into the conversation. The client is deeply connected to St Ives and Barbara Hepworth's work and studio spaces, having been introduced to them as a child by her artist father. The desire to bring aspects of this powerful body of work into the Hampstead context, to connect the geographically separated but historically linked sites (Hepworth moved from Hampstead to Cornwall with Ben Nicholson and their young children in the 1930's), was taken closely into account.

A series of solutions comprising single, a pair or a cluster of familial forms emerging from the roofscape as sculptural, light transmitting elements, was tested and is described in the following pages.

The beautiful biomorphic forms of Barbara Hepworth and this era generated sculptural, precious and pure forms with harmonious spatial arrangements and this sensitivity is as appropriate in the verdant landscape of no 33 Willow Road as in the rural landscapes of Cornwall.

The work embodied tactility, material richness, lyrical and poetic shapes that evolved from consideration of the human body in relation to nature. Apertures allowed you to see the landscape through the form- perforations to the enclosure of the side extension to no. 33 e.g. rooflights, do the same, offering views to the sky and a link to natural elements, whilst being sensitive of the conservation area context and the necessity to limit views in and light spill out.

7.5 Consultation with neighbours

Two phases of consultation were held at the site with all neighbours to the terrace invited to participate and their feedback and comments sought. The rich archive research was shared and the varied history of the site and terrace discussed at length as well as the proposed scheme and alterations themselves. The first consultation session was held just at the point of lodging the pre-application submission to Camden in Autumn 2018. The second consultation session was held on September 6th 2019.



Figure 1. Barbara Hepworth, Six Forms (2 x 3) 1968



Figure 1. left: submerged side extension
with wildflower roof



Figure 1. above: garden wall and new gate will obscure new extension