



GERALDEVE

Development Management (Camden Council)
2nd Floor, 5 Pancras Square
c/o Town Hall, Judd Street
London
WC1H 9JE



FAO: David Fowler

6th September 2019

Our ref: GBR/MSO/J10161

Your ref: PP-08133500

Dear Sir / Madam,

**Town and Country Planning (Control of Advertisements) Regulation 2007
Camden Market (Buck Street), 192-200 Camden High Street, London NW1 8QP
Application for Hoarding Advertisement Consent**

We write on behalf of our client, LabTech, to submit an advertisement consent application for hoarding at Buck Street Market, 192-200 Camden High Street, London NW1 8QP.

The site is being redeveloped in accordance with the planning permission reference 2018/3553/P, which was approved on 24th May 2019 for:

“Continued use of land as a market, consisting of a ground plus two level container market (sui generis) comprising retail, restaurant/cafe, hot food takeaway and ancillary management / storage uses with associated stalls, partial roof canopy, landscaping, lifts, seating and servicing areas for a temporary five year period.”

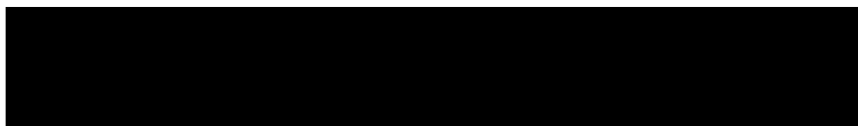
A number of non-material amendments have subsequently been submitted, and a number of approval of details applications have been submitted.

This application seeks approval to display hoarding panels, including graphics at ground floor level, whilst the construction phase is undertaken. Construction is due to start on site and LabTech would like to install signage on the hoarding boards, which seek to advertise the opening of the New Market.

Proposals

This application seeks advertisement consent for hoarding, including graphics for the area of the site fronting Camden High Street and Buck Street.

The location and size of the hoarding panels are identified within the submitted Design Pack, prepared by LabTech. The proposed hoarding design is also set out within the submitted Design pack. The proposed lettering sets out the name of the new Market and also phrases, which are considered to embody the ethos of the new market and reflect the Camden spirit. Further, the colours used mirror the colour scheme of new market. There will also be high-quality images of the Market.



The proposed materials are timber panels, frames and posts. The hoarding design will comprise vinyl paint wrapped to panels and doors coated in a graffiti proof layer, to enable cleaning with a spray and swipe solution.

The hoarding will not be illuminated.

Advertisement consent is therefore sought for:

“Display of advertisement hoarding in connection with the Buck Street Market development site”

On behalf of our client, we are seeking advertisement consent for the duration of the construction period until the Market is ready for opening. We have therefore applied for a period of one year, although LabTech are targeting an opening date ahead of this date.

Policy Considerations

Previous government guidance on outdoor advertisements was replaced by the National Planning Policy Framework (NPPF) in March 2012. Paragraph 67 notes that control over outdoor advertisements should be efficient, effective and simple in concept and operation and only those advertisements which will clearly have an appreciable impact should be subject to the local planning authority's detailed assessment. It continues that:

“Advertisements should be subject to control only in the interest of amenity and public safety, taking account of cumulative impacts”

Camden Local Plan Policy D4 states that:

“The Council will require advertisements to preserve or enhance the character of their setting and host building. Advertisements must respect the form, fabric, design and scale of their settings and host building and be of the highest standard of design, material and detail.”

Camden Planning Guidance ('CPG') (March 2019) 'Adverts' sets out that if an area has a mix of uses or is predominantly in commercial use, some poster or hoarding advertising may be acceptable where they satisfactorily relate to the scale of the host building or feature and its surroundings. It is further stated that the hoarding should be designed and positioned as an integral feature to the building.

The proposal does not present a risk to public safety and will not have a negative impact on the character of the surrounding area. Moreover, the proposal is for a temporary period only.

In line Policy D4 and CPG Adverts, it is considered that the proposed hoarding signage relates well to the character and design of new Market and also the appearance of this part of the Camden Town Conservation Area, as this part of Camden is a colourful area. As set out above, the hoarding panel design mirrors the colour scheme of the new Market.

The proposed signage would also assist in informing people and tourists visiting the area of the exciting new Market, which is due to open in the new year.

We consider that the proposals are in accordance with Camden Local Plan Policy D4 and Camden Planning Guidance Adverts.

Application Documentation

Accordingly, the following documents have been submitted via Planning Portal:

- Completed application form;
- Red line site location plan; and
- Hoarding Design Pack, including existing and proposed elevations and signage details, prepared by LabTech.



We trust that the information submitted is sufficient to validate this application and we look forward to confirmation of this shortly. If you have any queries, please contact Marnie Sommariva [redacted] or Gary Brook [redacted] of this office.

Yours faithfully



Gerald Eve LLP

