

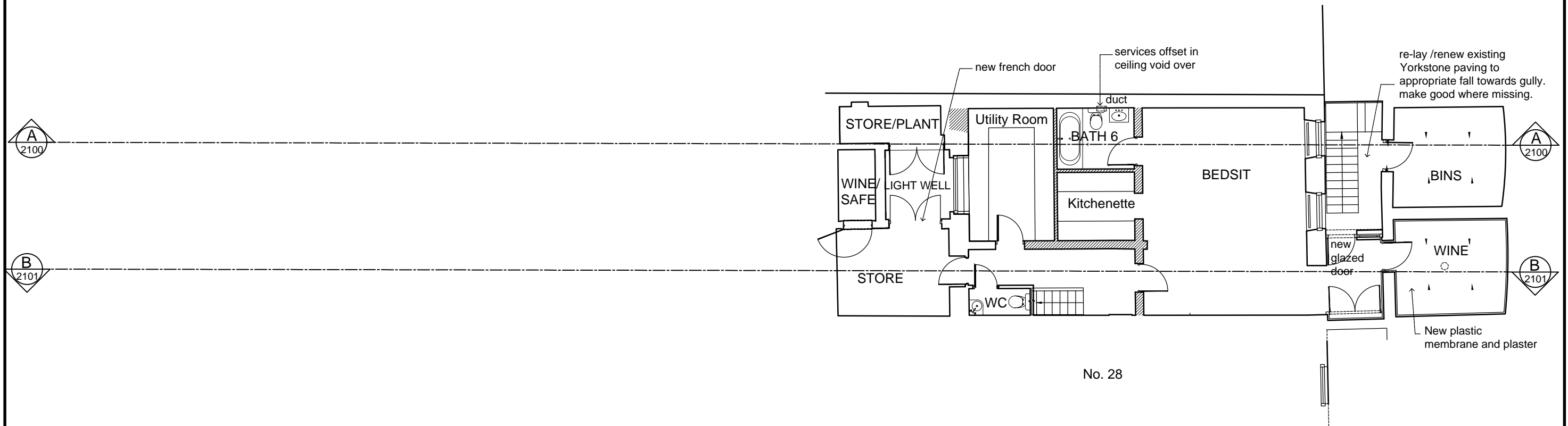
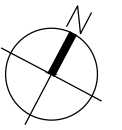
BASED ON SURVEY BY OTHERS

General notes:

1. Shading indicates new construction.
2. All existing bathroom, kitchen and sanitaryware fittings to be removed.
3. Original joinery to be recorded and set aside for resale where removal necessary.
4. No original door survived throughout the house. New door details to follow those of DIA drawings.
5. Fireplaces and hearth surrounds to be retained unless noted otherwise. Existing chimney flues to be unblocked and lined.
6. Existing services and drains removed and replaced throughout.
7. Overhaul and repair all windows/shutters and mouldings, including paneled aprons (except where stated as new items).
8. All rooms to be fitted with smoke/heat detectors and sounders at ceiling level with air sampling detection system in fire rooms.
9. Repair floor joists as necessary. Consult with Architect and Structural Engineer. Strengthen existing joists where new stone floor finish to be installed.
10. Provide new appropriately detailed and sized cornices of traditional design throughout to replace existing modern cornices.
11. All services and pipe routes to follow existing routes where possible to avoid additional notching of joists or removal of existing fabric.
12. All new doors to be timber 4 panelled doors of traditional Georgian detailing.

Notes on Lower Ground Floor:

- Internal doors: S/F new traditionally detailed painted SW door and architraves throughout except where indicated otherwise.



No. 28

0 1 2 3 4 5 10 (m)

No.	NOTES (STATUS: F. FEASIBILITY S. SKETCH DESIGN P. PLANNING B. BUILDING CONTROL D. DESIGN DEV / PRELIM M. MEASUREMENT T. TENDER C. CONSTRUCTION R. RECORD)	Rev	Date	Dwn	Auth	REVISIONS
1	For construction use only if status 'C' and checked against current revision	F	24/03/2014	TJB	ACS	General notes added, LGF floor level lowered by height of one step
2	All dimensions to be checked on site by contractor	E	10/03/2014	SZP	ACS	Ground floor Mews rear wall aligned with Mews walls above.
3	Do not scale from this drawing	D	17/02/2014	JXA	ACS	Re-submission of planning issue
4	Unless otherwise indicated all dimensions are in millimetres	C	10/01/2014	JXA	ACS	Reinstatement of existing light well
		B	05/09/2013	JXA	ACS	Planning Issue and alterations to layout
I	16/06/17 TOB ACS Basement extension removed	A	29/08/2013	JXA	ACS	Adding Notes and alterations to layout
H	12/02/15 ERH ACS Basement extension removed	-	30/07/2013	JXA	ACS	Initial Issue
G	25/06/14 TJB ACS Car stacker converted to Store					

DONALD INSALL ASSOCIATES LIMITED

CHARTERED ARCHITECTS
PLANNING CONSULTANTS

12 Devonshire Street London W1G 7AB Tel: 020 7245 9888 Email: london@insall-architects.co.uk

Job 27 John Street & 21 John's Mews

Title Proposed Lower Ground Floor Plan

Job	JS27.02	Status	P	
No	2000	Rev	I	
Scale (A3)	1:	1	2	5

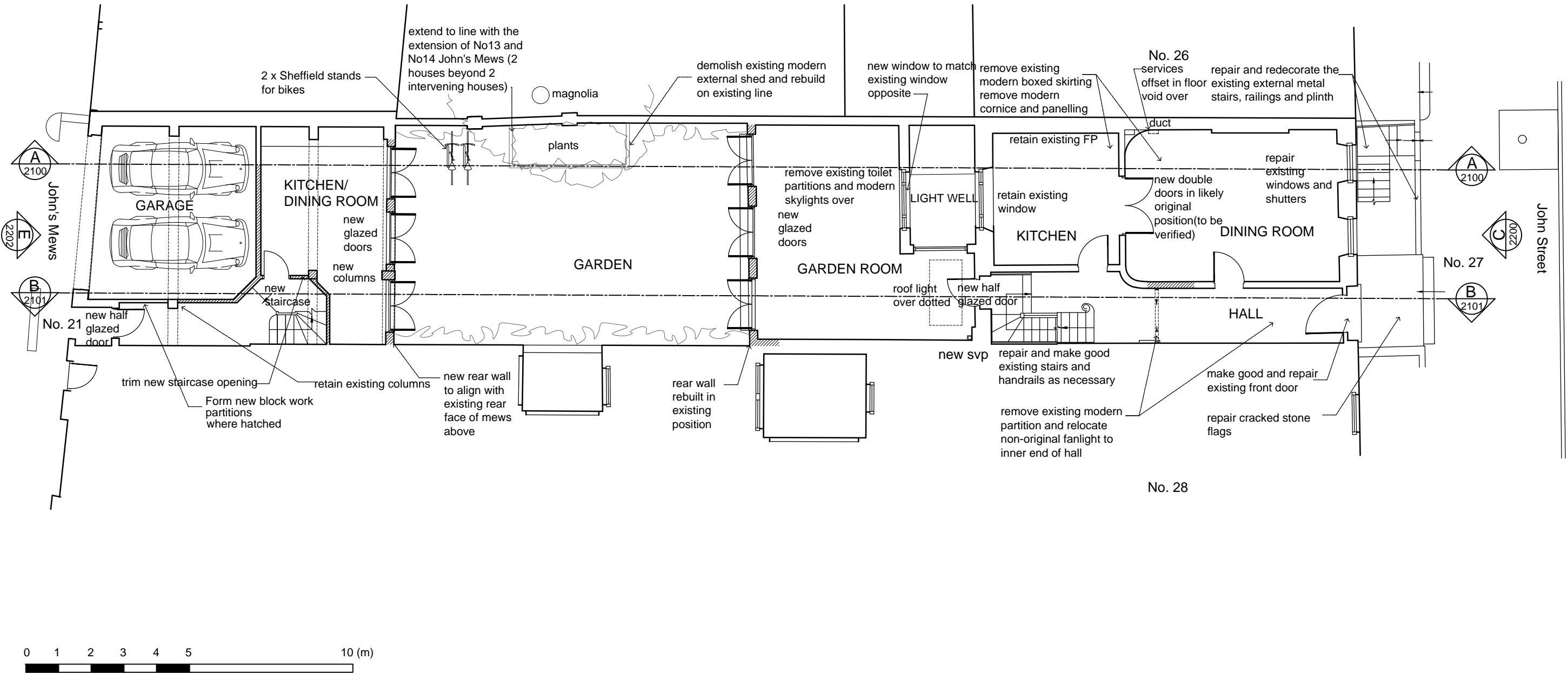
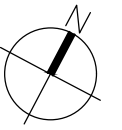
BASED ON SURVEY BY OTHERS

General notes:

1. Shading indicates new construction.
2. All existing bathroom, kitchen and sanitaryware fittings to be removed.
3. Original joinery to be recorded and set aside for resale where removal necessary.
4. No original door survived throughout the house. New door details to follow those of DIA drawings.
5. Fireplaces and hearth surrounds to be retained unless noted otherwise. Existing chimney flues to be unblocked and lined.
6. Existing services and drains removed and replaced throughout.
7. Overhaul and repair all windows/shutters and mouldings, including paneled aprons (except where stated as new items).
8. All rooms to be fitted with smoke/heat detectors and sounders at ceiling level with air sampling detection system in fine rooms
9. Repair floor joists as necessary. Consult with Architect and Structural Engineer. Strengthen existing joists as necessary.
10. Provide new appropriately detailed and sized cornices of traditional design throughout to replace existing modern cornices.
11. All services and pipe routes to follow existing routes where possible to avoid additional notching of joists or removal of existing fabric.
12. All new doors to be timber 4 panelled doors of traditional Georgian detailing.

Notes on Ground Floor:

- Internal doors: S/F new traditionally detailed timber door and architraves throughout except where indicated otherwise.



No.	NOTES (STATUS: F. FEASIBILITY S. SKETCH DESIGN P. PLANNING B. BUILDING CONTROL D. DESIGN DEV / PRELIM M. MEASUREMENT T. TENDER C. CONSTRUCTION R. RECORD)	Rev	Date	Dwn	Auth	REVISIONS
1	For construction use only if status 'C' and checked against current revision	F	24/03/2014	TJB	ACS	General notes added
2	All dimensions to be checked on site by contractor	E	10/03/2014	SZP	ACS	Ground floor Mews rear wall aligned with Mews walls above.
3	Do not scale from this drawing	D	17/02/2014	JXA	ACS	Re-submission of planning issue
4	Unless otherwise indicated all dimensions are in millimetres	C	05/09/2013	JXA	ACS	Reinstatement of existing light well, reduction in size of Mews extension
		B	05/09/2013	JXA	ACS	Planning Issue
I	22/06/17 TOB ACS Sheffield stands added	A	29/08/2013	JXA	ACS	Adding Notes and alterations to layout
H	12/03/15 ERH ACS Basement extension removed	-	30/07/2013	JXA	ACS	Initial Issue
G	25/06/14 TJB ACS Car stacker removed					

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CHARTERED ARCHITECTS
PLANNING CONSULTANTS

12 Devonshire Street London W1G 7AB Tel: 020 7245 9888 Email: london@insall-architects.co.uk

Job 27 John Street & 21 John's Mews

Title Proposed Ground Floor Plan

Job	JS27.02	Status	P	
No	2001	Rev	I	
Scale (A3)	1:	1	2	5

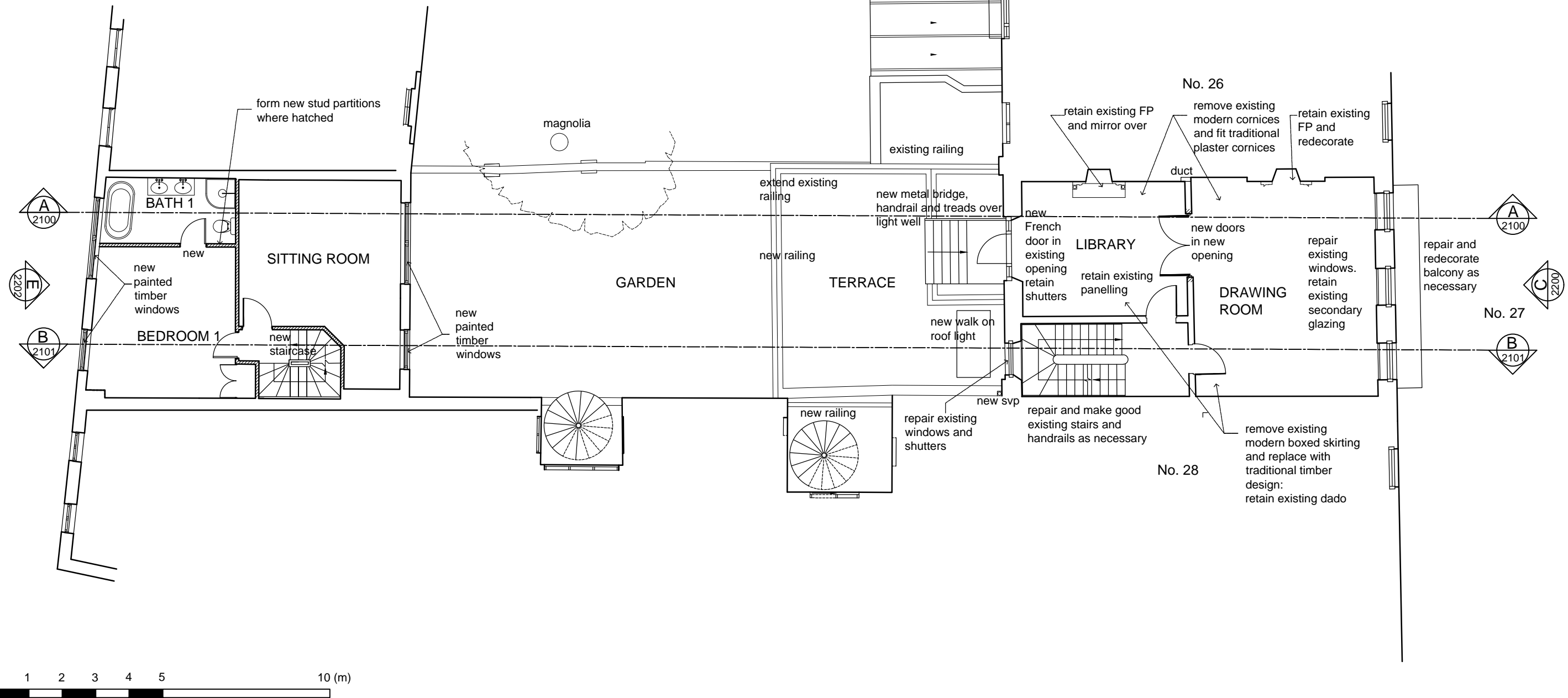
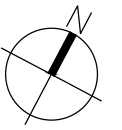
BASED ON SURVEY BY OTHERS

General notes:

1. Shading indicates new construction.
2. All existing bathroom, kitchen and sanitaryware fittings to be removed.
3. Original joinery to be recorded and set aside for resale where removal necessary.
4. No original door survived throughout the house. New door details to follow those of DIA drawings.
5. Fireplaces and hearth surrounds to be retained unless noted otherwise. Existing chimney flues to be unblocked and lined.
6. Existing services and drains removed and replaced throughout.
7. Overhaul and repair all windows/shutters and mouldings, including paneled aprons (except where stated as new items).
8. All rooms to be fitted with smoke/heat detectors and sounders at ceiling level with air sampling detection system in fine rooms
9. Repair floor joists as necessary. Consult with Architect and Structural Engineer. Strengthen existing joists where new stone floor finish to be installed.
10. Provide new appropriately detailed and sized cornices of traditional design throughout to replace existing modern cornices.
11. All services and pipe routes to follow existing routes where possible to avoid additional notching of joists or removal of existing fabric.
12. All new doors to be timber 4 panelled doors of traditional Georgian detailing.

Notes on First Floor:

- Internal doors: S/F new traditionally detailed timber door and architraves throughout the house except where indicated otherwise. 4 panelled painted SW door for mews.



No.	NOTES (STATUS: F. FEASIBILITY S. SKETCH DESIGN P. PLANNING B. BUILDING CONTROL D. DESIGN DEV / PRELIM M. MEASUREMENT T. TENDER C. CONSTRUCTION R. RECORD)	Rev	Date	Dwn	Auth	REVISIONS
1	For construction use only if status 'C' and checked against current revision	F	24/03/2014	TJB	ACS	General notes added
2	All dimensions to be checked on site by contractor	E	10/03/2014	SZP	ACS	Ground floor Mews rear wall aligned with Mews walls above.
3	Do not scale from this drawing	D	17/02/2014	JXA	ACS	Re-submission of planning issue
4	Unless otherwise indicated all dimensions are in millimetres	C	10/01/2014	JXA	ACS	Reinstatement of existing light well and new SVP
		B	05/09/2013	JXA	ACS	Planning Issue
		A	29/08/2013	JXA	ACS	Adding Notes and alterations to layout
		-	30/07/2013	JXA	ACS	Initial Issue
G	16/06/2017 TOB ACS General notes added					

DONALD INSALL ASSOCIATES LIMITED

12 Devonshire Street London W1G 7AB Tel: 020 7245 9888 Email: london@insall-architects.co.uk

Job 27 John Street & 21 John's Mews

Title Proposed First Floor Plan

CHARTERED ARCHITECTS
PLANNING CONSULTANTS

Job	JS27.02	Status	P	
No	2002	Rev	G	
Scale (A3)	1:	1	2	5

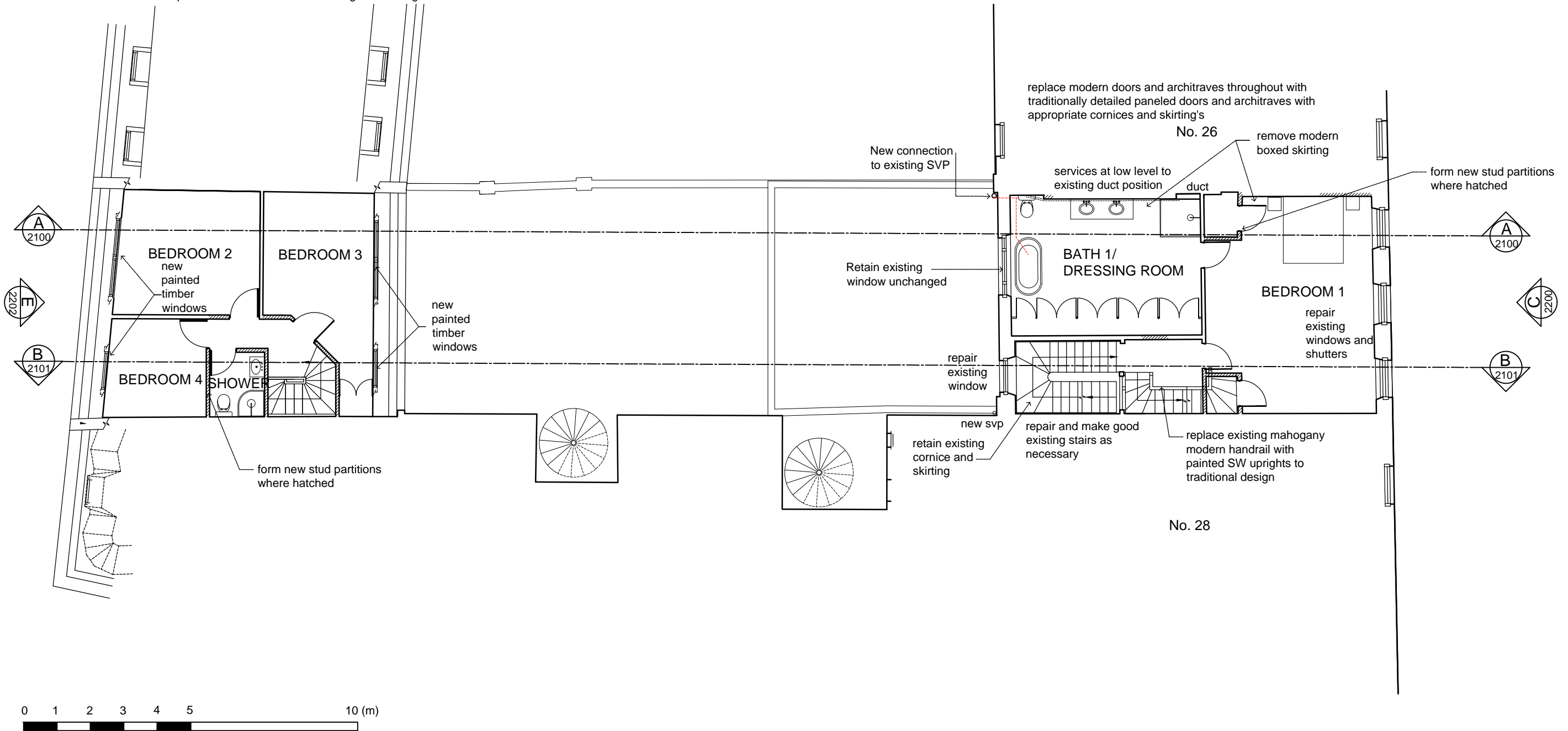
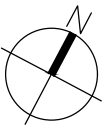
BASED ON SURVEY BY OTHERS

General notes:

1. Shading indicates new construction.
2. All existing bathroom, kitchen and sanitaryware fittings to be removed.
3. Original joinery to be recorded and set aside for resale where removal necessary.
4. No original door survived throughout the house. New door details to follow those of DIA drawings.
5. Fireplaces and hearth surrounds to be retained unless noted otherwise. Existing chimney flues to be unblocked and lined.
6. Existing services and drains removed and replaced throughout.
7. Overhaul and repair all windows/shutters and mouldings, including paneled aprons (except where stated as new items).
8. All rooms to be fitted with smoke/heat detectors and sounders at ceiling level with air sampling detection system in fine rooms
9. Repair floor joists as necessary. Consult with Architect and Structural Engineer. Strengthen existing joists where new stone floor finish to be installed
10. Provide new appropriately detailed and sized cornices of traditional design throughout to replace existing modern cornices.
11. All services and pipe routes to follow existing routes where possible to avoid additional notching of joists or removal of existing fabric.
12. All new doors to be timber 4 panelled doors of traditional Georgian detailing.

Notes on Second Floor:

- Internal doors: S/F new traditionally detailed painted SW door and architraves throughout except where indicated otherwise.



No.	NOTES (STATUS: F. FEASIBILITY S. SKETCH DESIGN P. PLANNING B. BUILDING CONTROL D. DESIGN DEV / PRELIM M. MEASUREMENT T. TENDER C. CONSTRUCTION R. RECORD)	Rev	Date	Dwn	Auth	REVISIONS
1	For construction use only if status 'C' and checked against current revision	F	24/03/2014	TJB	ACS	General notes added
2	All dimensions to be checked on site by contractor	E	10/03/2014	SZP	ACS	Ground floor Mews rear wall aligned with Mews walls above.
3	Do not scale from this drawing	D	17/02/2014	JXA	ACS	Re-submission of planning issue
4	Unless otherwise indicated all dimensions are in millimetres	C	10/01/2014	JXA	ACS	New proposed bath 1/ dresser room
		B	05/09/2013	JXA	ACS	Planning Issue
		A	29/08/2013	JXA	ACS	Adding Notes and alterations to layout
		-	30/07/2013	JXA	ACS	Initial Issue
G	16/06/2017 TOB ACS General notes added					

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12 Devonshire Street London W1G 7AB Tel: 020 7245 9888 Email: london@insall-architects.co.uk

Job 27 John Street & 21 John's Mews

Title Proposed Second Floor Plan

Job	JS27.02	Status	P	
No	2003	Rev	G	
Scale (A3)	1:	1	2	5

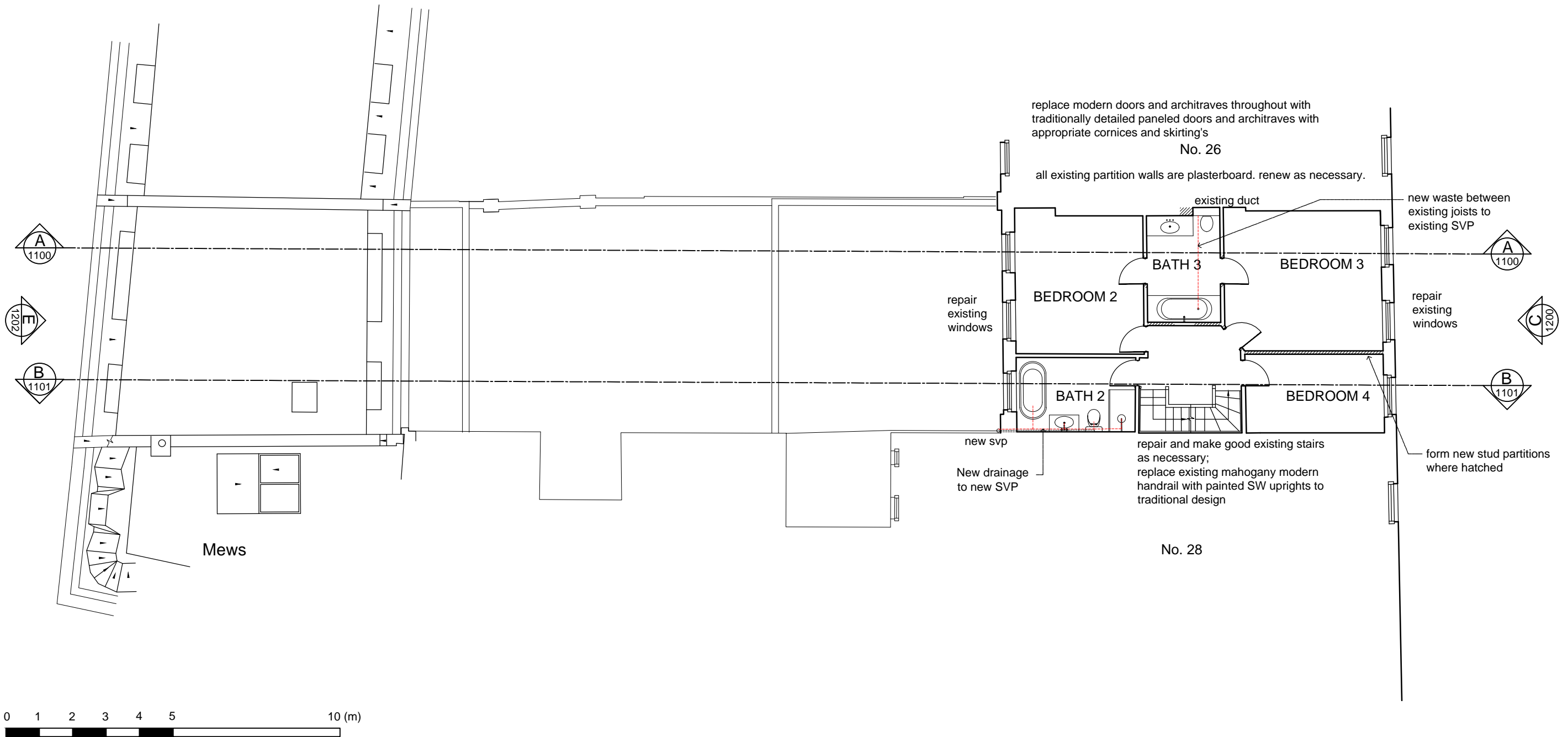
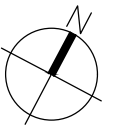
BASED ON SURVEY BY OTHERS

General notes:

1. Shading indicates new construction.
2. All existing bathroom, kitchen and sanitaryware fittings to be removed.
3. Original joinery to be recorded and set aside for reuse where removal necessary.
4. No original door survived throughout the house. New door details to follow those of DIA drawings.
5. Fireplaces and hearth surrounds to be retained unless noted otherwise. Existing chimney flues to be unblocked and lined.
6. Existing services and drains removed and replaced throughout.
7. Overhaul and repair all windows/shutters and mouldings, including paneled aprons (except where stated as new items).
8. All rooms to be fitted with smoke/heat detectors and sounders at ceiling level with air sampling detection system in fire rooms
9. Repair floor joists as necessary. Consult with Architect and Structural Engineer. Strengthen existing joists where new stone floor finish to be installed.
10. Provide new appropriately detailed and sized cornices of traditional design throughout to replace existing modern cornices.

Notes on Lower Ground Floor:

- Internal doors: S/F new traditionally detailed painted SW door and architraves throughout except where indicated otherwise.



No.	NOTES (STATUS: F. FEASIBILITY S. SKETCH DESIGN P. PLANNING B. BUILDING CONTROL D. DESIGN DEV / PRELIM M. MEASUREMENT T. TENDER C. CONSTRUCTION R. RECORD)	Rev	Date	Dwn	Auth	REVISIONS
1	For construction use only if status 'C' and checked against current revision					
2	All dimensions to be checked on site by contractor					
3	Do not scale from this drawing	D	16/06/2017	TOB	ACS	Amendments to notes
4	Unless otherwise indicated all dimensions are in millimetres	C	17/02/2014	JXA	ACS	Re-submission of planning issue
		B	10/01/2014	JXA	ACS	Amendments to ground floor mews roof
		A	29/08/2013	JXA	ACS	Adding Notes and alterations to layout
		-	30/07/2013	JXA	ACS	Initial Issue

DONALD INSALL ASSOCIATES LIMITED CHARTERED ARCHITECTS
 PLANNING CONSULTANTS
 12 Devonshire Street London W1G 7AB Tel: 020 7245 9888 Email: london@insall-architects.co.uk
 Job 27 John Street & 21 John's Mews
 Title Proposed Third Floor Plan

Job	JS27.02	Status	P	
No	2004	Rev	D	
Scale (A3)	1:	1	2	5

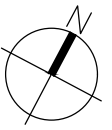
BASED ON SURVEY BY OTHERS

General notes:

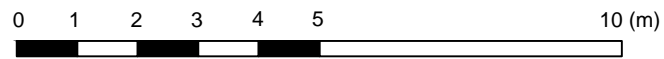
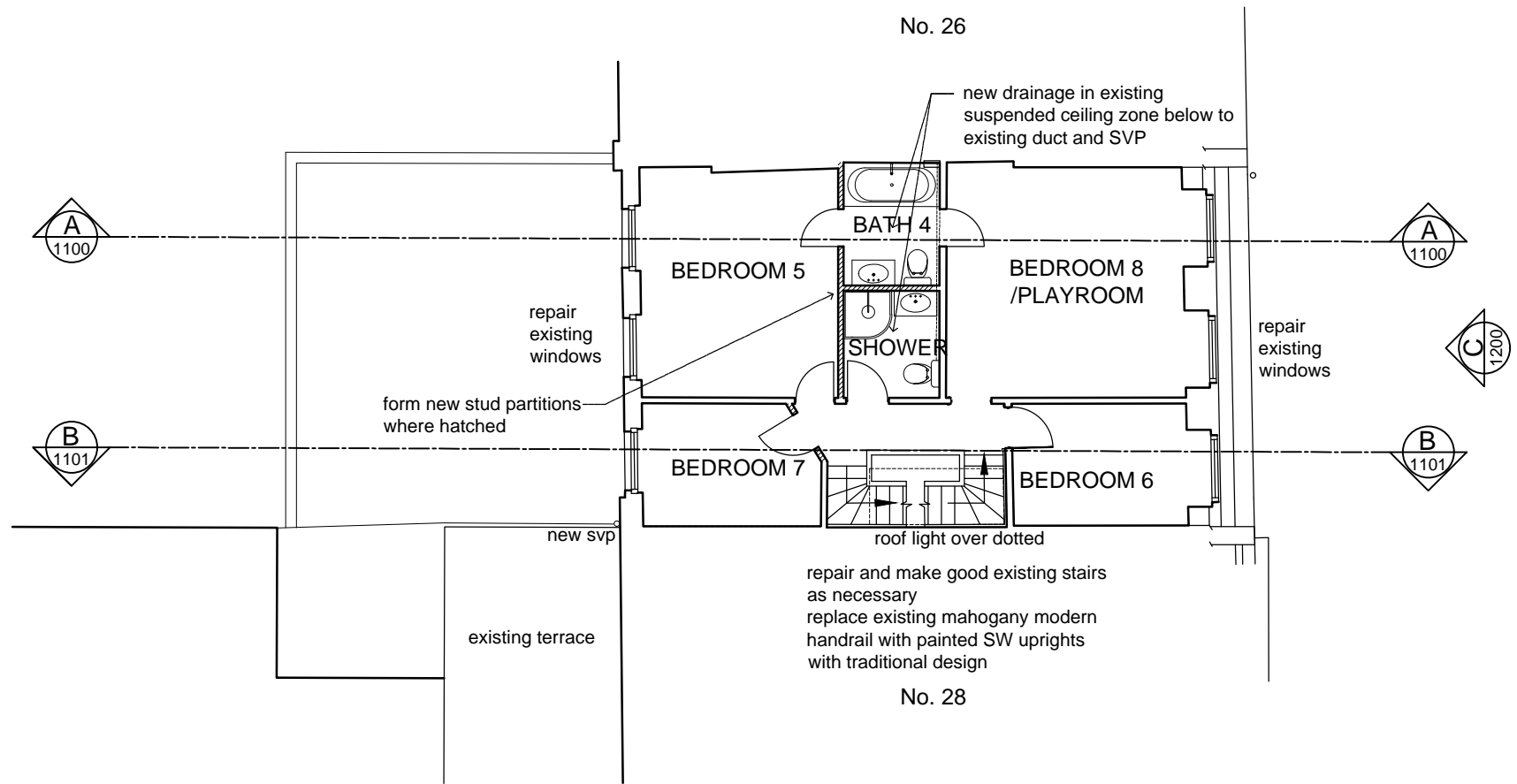
1. Shading indicates new construction.
2. All existing bathroom, kitchen and sanitaryware fittings to be removed.
3. Original joinery to be recorded and set aside for resale where removal necessary.
4. No original door survived throughout the house. New door details to follow those of DIA drawings.
5. Fireplaces and hearth surrounds to be retained unless noted otherwise. Existing chimney flues to be unblocked and lined.
6. Existing services and drains removed and replaced throughout.
7. Overhaul and repair all windows/shutters and mouldings, including paneled aprons (except where stated as new items).
8. All rooms to be fitted with smoke/heat detectors and sounders at ceiling level with air sampling detection system in fire rooms
9. Repair floor joists as necessary. Consult with Architect and Structural Engineer. Strengthen existing joists where new stone floor finish to be installed.
10. Provide new appropriately detailed and sized cornices of traditional design throughout to replace existing modern cornices.

Notes on Lower Ground Floor:

- Internal doors: S/F new traditionally detailed painted SW door and architraves throughout except where indicated otherwise.



replace modern doors and architraves throughout with traditionally detailed paneled doors and architraves with appropriate cornices and skirting's



No.	NOTES (STATUS: F. FEASIBILITY S. SKETCH DESIGN P. PLANNING B. BUILDING CONTROL D. DESIGN DEV / PRELIM M. MEASUREMENT T. TENDER C. CONSTRUCTION R. RECORD)	Rev	Date	Dwn	Auth	REVISIONS
1	For construction use only if status 'C' and checked against current revision					
2	All dimensions to be checked on site by contractor					
3	Do not scale from this drawing					
4	Unless otherwise indicated all dimensions are in millimetres	C	16/06/2017	TOB	ACS	Amendment to notes
		B	05/09/2013	JXA	ACS	Planning Issue
		A	29/08/2013	JXA	ACS	Adding Notes and alterations to layout
		-	30/07/2013	JXA	ACS	Initial Issue

DONALD INSALL ASSOCIATES LIMITED

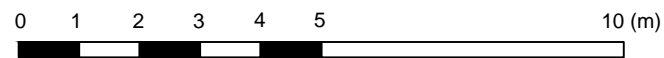
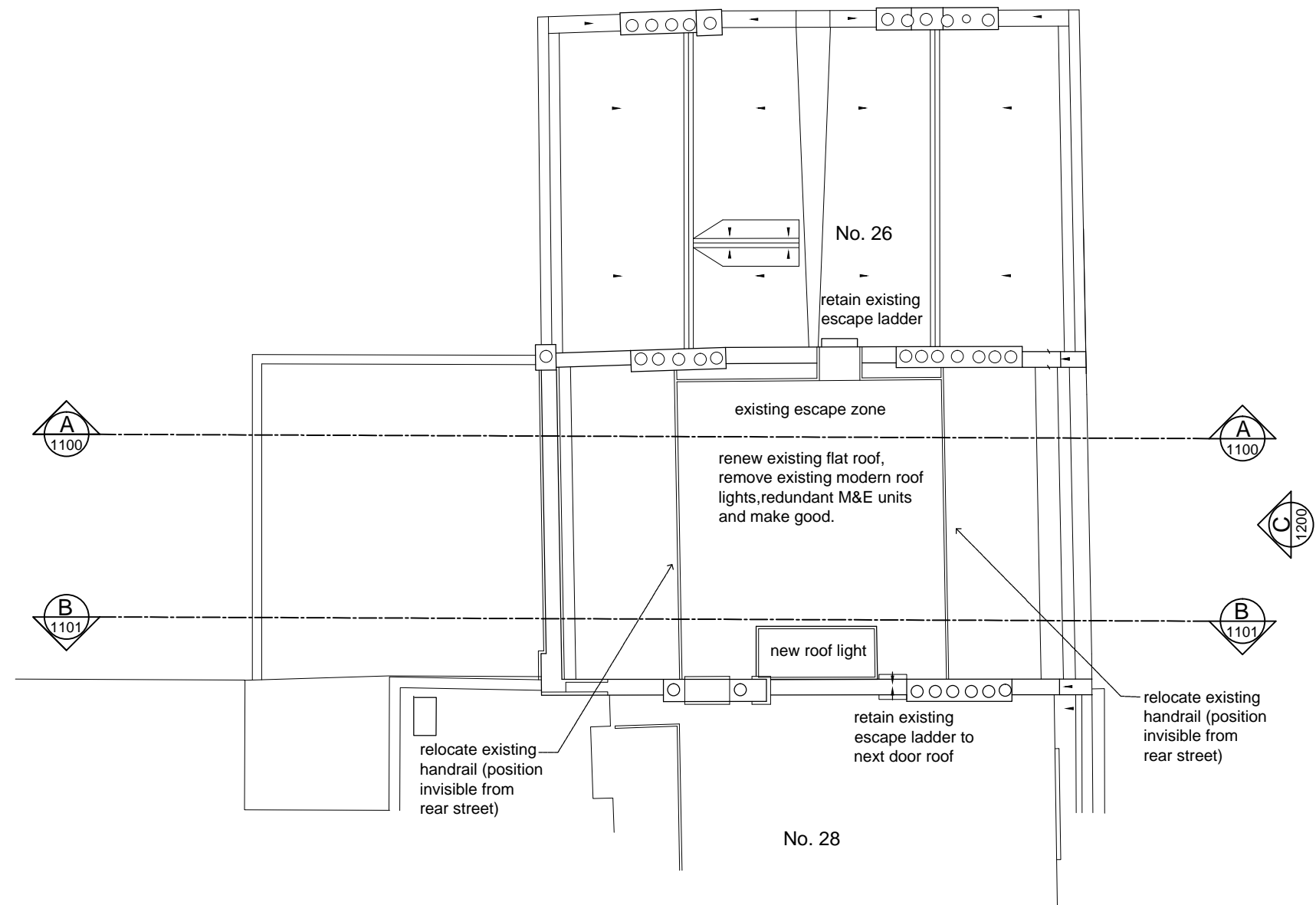
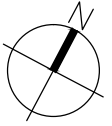
CHARTERED ARCHITECTS
PLANNING CONSULTANTS

12 Devonshire Street London W1G 7AB Tel: 020 7245 9888 Email: london@insall-architects.co.uk

Job 27 John Street & 21 John's Mews

Title Proposed Fourth Floor Plan

Job	JS27.02	Status	P
No	2005	Rev	C
Scale (A3)	1:	1	2
		5	



No.	NOTES (STATUS: F. FEASIBILITY S. SKETCH DESIGN P. PLANNING B. BUILDING CONTROL D. DESIGN DEV / PRELIM M. MEASUREMENT T. TENDER C. CONSTRUCTION R. RECORD)	Rev	Date	Dwn	Auth	REVISIONS
1	For construction use only if status 'C' and checked against current revision					
2	All dimensions to be checked on site by contractor					
3	Do not scale from this drawing					
4	Unless otherwise indicated all dimensions are in millimetres					
		B	05/09/2013	JXA	ACS	Planning Issue
		A	29/08/2013	JXA	ACS	Adding Notes and alterations to layout
		-	30/07/2013	JXA	ACS	Initial Issue

DONALD INSALL ASSOCIATES LIMITED

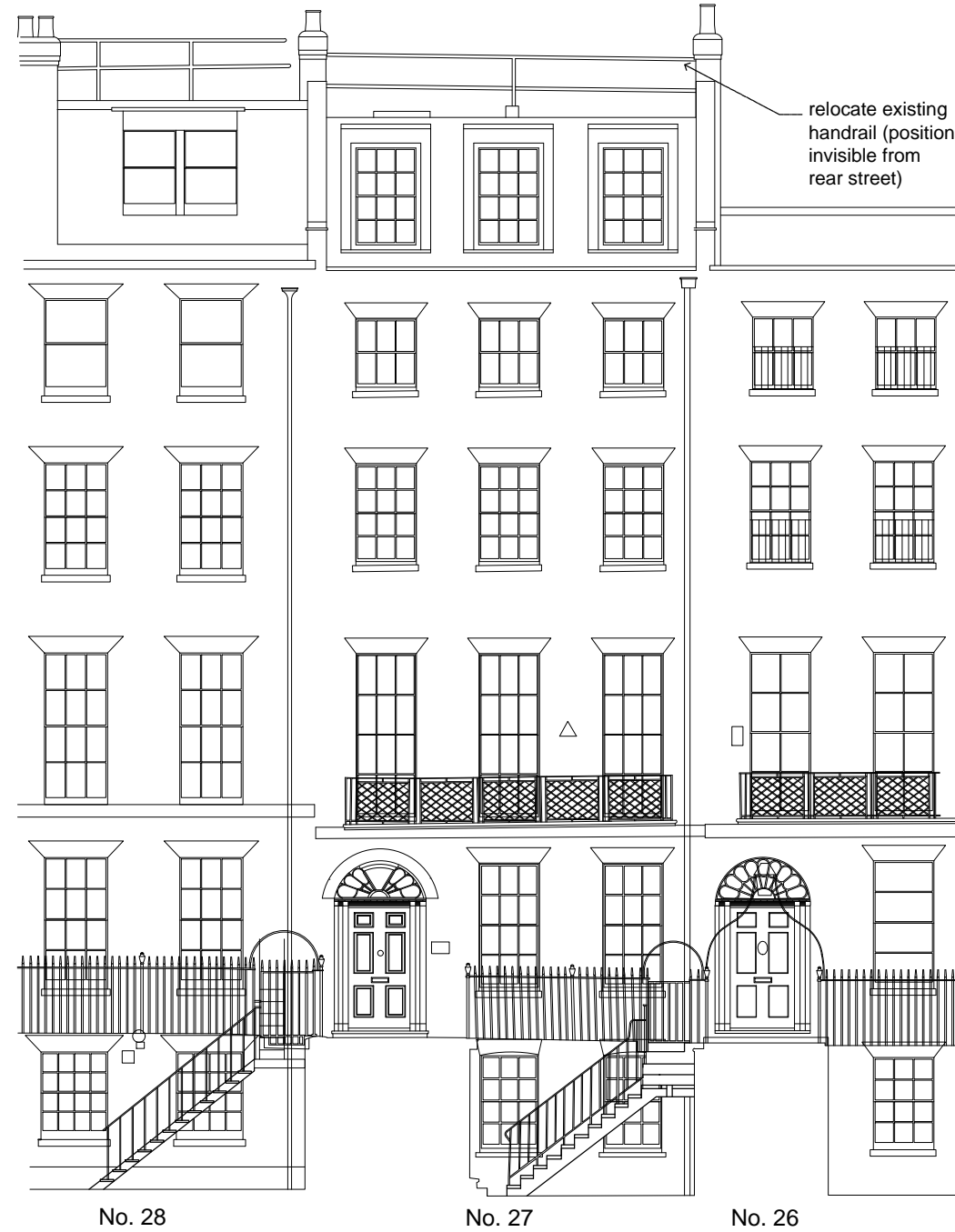
12 Devonshire Street London W1G 7AB Tel: 020 7245 9888 Email: london@insall-architects.co.uk

Job 27 John Street & 21 John's Mews

Title Proposed Roof Plan

CHARTERED ARCHITECTS
PLANNING CONSULTANTS

Job	JS27.02	Status	P	
No	2006	Rev	B	
Scale (A3)	1:	1	2	5



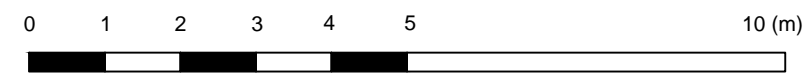
General Notes on Repairs:

- Brickwork**
- Carefully rake out damaged joints and re-point where necessary in matching mortar.
 - Carefully brush clean brickwork to remove moss and staining for small areas where necessary and soot down to match existing.
 - Replace mismatching brickwork with second hand bricks to match existing - sample must be approved by Architect: soot down any repairs to match existing.

- Stone**
- Carefully brush clean stonework - remove moss and stain and repoint as necessary.

- Leadwork**
- Carefully investigate roof leadwork once safe access is established, and repair/replace as necessary all in accordance with Lead Sheet Association's recommendations.

- Drainage**
- Remove redundant services.
 - Repair/replace damaged pipes as necessary.
 - Clear all the blockages
 - All the external rainwater and soil vent pipes are to be replaced in cast iron to match existing.
 - All internal soil vent pipes must be adequately sound insulated and properly concealed, and to follow existing service route where possible.

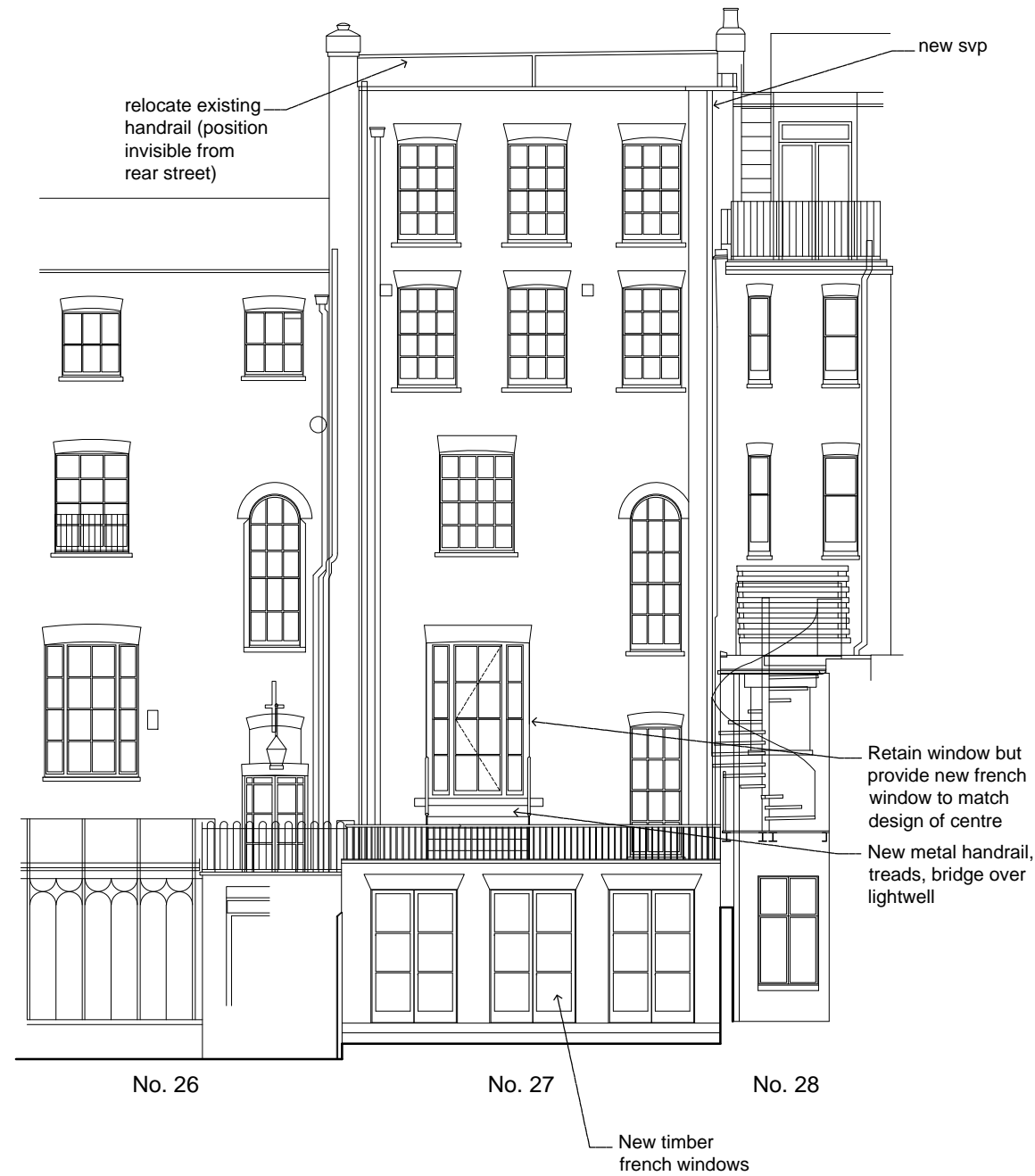


NOTES (STATUS: F. FEASIBILITY S. SKETCH DESIGN P. PLANNING B. BUILDING CONTROL D. DESIGN DEV / PRELIM M. MEASUREMENT T. TENDER C. CONSTRUCTION R. RECORD)					
For construction use only if status 'C' and checked against current revision					
All dimensions to be checked on site by contractor					
Do not scale from this drawing					
Unless otherwise indicated all dimensions are in millimetres					
	C	16/06/2017	TOB	ACS	Amendment to notes
	B	05/09/2013	JXA	ACS	Planning Issue
	A	29/08/2013	JXA	ACS	Adding Notes
	-	01/08/2013	AXT	ACS	Initial Issue
	Rev	Date	Dwn	Auth	REVISIONS

DONALD INSALL ASSOCIATES LIMITED
 12 Devonshire Street London W1G 7AB Tel: 020 7245 9888 Email: london@insall-architects.co.uk
Job 27 John Street & 21 John's Mews
Title Proposed Front Elevation

Job	JS27.02	Status	P	
No	2200	Rev	C	
Scale (A3)	1:	1	2	5

CHARTERED ARCHITECTS
PLANNING CONSULTANTS



General Notes on Repairs:

Brickwork

- Carefully rake out damaged joints and re-point where necessary in matching mortar.
- Carefully brush clean brickwork to remove moss and staining where necessary.
- Replace mismatching brickwork with second hand bricks to match existing - sample must be approved by Architect
- Soot down any repairs to match existing.

Stone

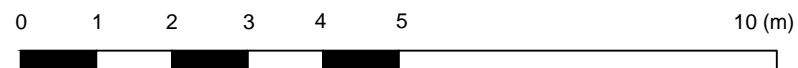
- Carefully brush clean stonework - remove moss and stain and repoint as necessary.

Leadwork

- Carefully investigate roof leadwork once safe access is established, and repair/replace as necessary all in accordance with Lead Sheet Association's recommendations.

Drainage

- Remove redundant services.
- Repair/replace damaged pipes as necessary.
- Clear all the blockages
- All the external rainwater and soil vent pipes are to be replaced in cast iron to match existing.
- All internal soil vent pipes must be adequately sound insulated and properly concealed, and to follow existing service route where possible.



NOTES (STATUS: F. FEASIBILITY S. SKETCH DESIGN P. PLANNING B. BUILDING CONTROL D. DESIGN DEV / PRELIM M. MEASUREMENT T. TENDER C. CONSTRUCTION R. RECORD)					
For construction use only if status 'C' and checked against current revision	F	16/06/2017	TOB	ACS	Amendment to notes
All dimensions to be checked on site by contractor	E	12/03/2015	ERH	ACS	Garden level lowered
Do not scale from this drawing	D	17/02/2014	JXA	ACS	Re-submission of planning issue
Unless otherwise indicated all dimensions are in millimetres	C	10/01/2014	JXA	ACS	New second floor window, additional french window on ground floor extension
	B	05/09/2013	JXA	ACS	Planning Issue
	A	29/08/2013	JXA	ACS	Adding Notes
	-	01/08/2013	AXT	ACS	Initial Issue
	Rev	Date	Dwn	Auth	REVISIONS

DONALD INSALL ASSOCIATES LIMITED

12 Devonshire Street London W1G 7AB Tel: 020 7245 9888 Email: london@insall-architects.co.uk

Job 27 John Street & 21 John's Mews

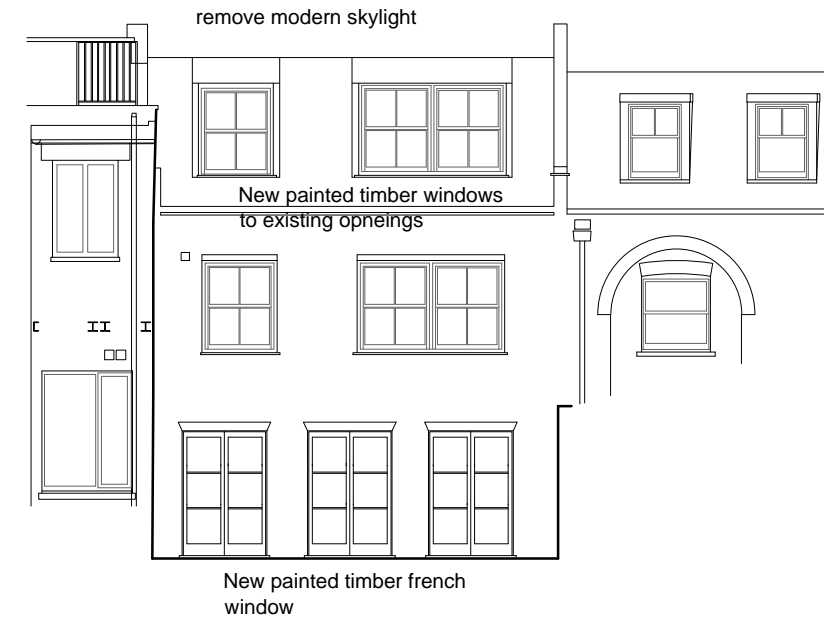
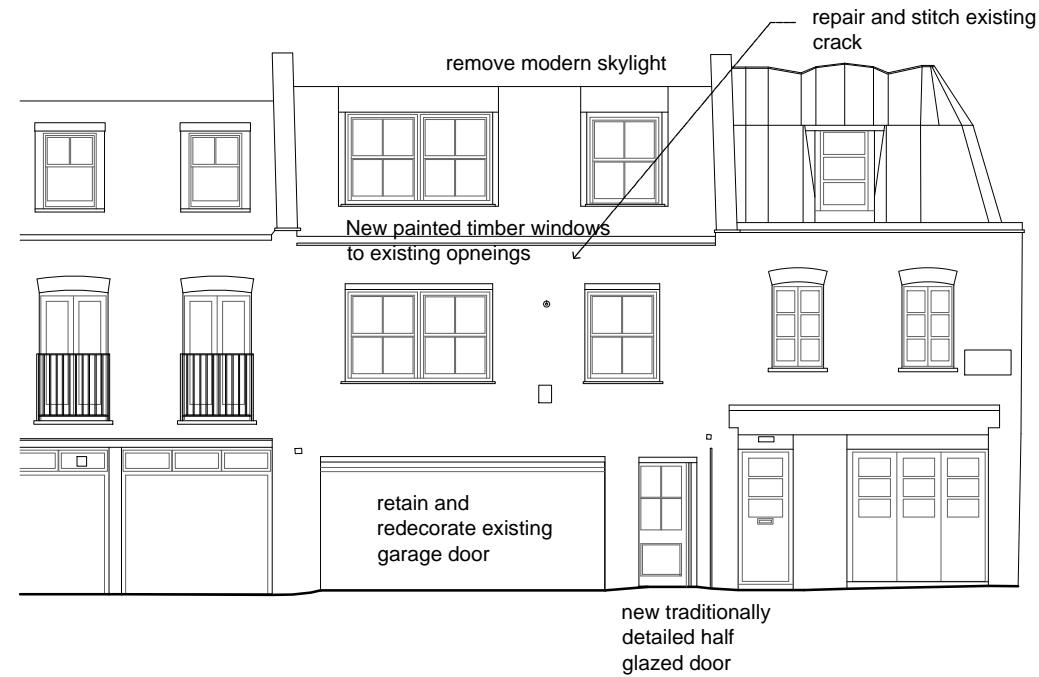
Title Proposed Rear Elevation

CHARTERED ARCHITECTS
PLANNING CONSULTANTS

Job	JS27.02	Status	P
No	2201	Rev	F
Scale (A3)	1:	1	2 5

notes on windows in Mews

- remove existing boarding and replace with lead
- remove existing modern metal windows and replace with new sash windows with traditionally detailed painted timber double glazed windows



General Notes on Repairs:

Brickwork

- Carefully rake out damaged joints and re-point where necessary in matching mortar.
- Carefully brush clean brickwork to remove moss and staining where necessary.
- Replace mismatching brickwork with second hand bricks to match existing - sample must be approved by Architect
- Soot down any repairs to match existing.

Stone

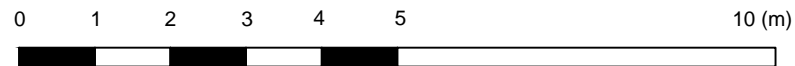
- Carefully brush clean stonework - remove moss and stain and repoint as necessary.

Leadwork

- Carefully investigate roof leadwork once safe access is established, and repair/replace as necessary all in accordance with Lead Sheet Association's recommendations.

Drainage

- Remove redundant services.
- Repair/replace damaged pipes as necessary.
- Clear all the blockages
- All the external rainwater and soil vent pipes are to be replaced in cast iron to match existing.
- All internal soil vent pipes must be adequately sound insulated and properly concealed, and to follow existing service route where possible.



No.	NOTES (STATUS: F. FEASIBILITY S. SKETCH DESIGN P. PLANNING B. BUILDING CONTROL D. DESIGN DEV / PRELIM M. MEASUREMENT T. TENDER C. CONSTRUCTION R. RECORD)	Rev	Date	Dwn	Auth	REVISIONS
1	For construction use only if status 'C' and checked against current revision					
2	All dimensions to be checked on site by contractor					
3	Do not scale from this drawing	D	12/03/2015	ERH	ACS	Garden level lowered slightly.
4	Unless otherwise indicated all dimensions are in millimetres	C	10/03/2014	SZP	ACS	Ground floor Mews rear wall aligned with Mews walls above.
		B	05/09/2013	JXA	ACS	Planning Issue
		A	29/08/2013	JXA	ACS	Adding Notes
		-	01/08/2013	AXT	ACS	Initial Issue

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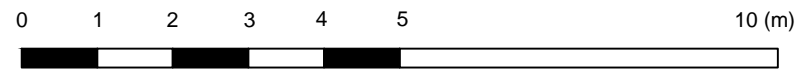
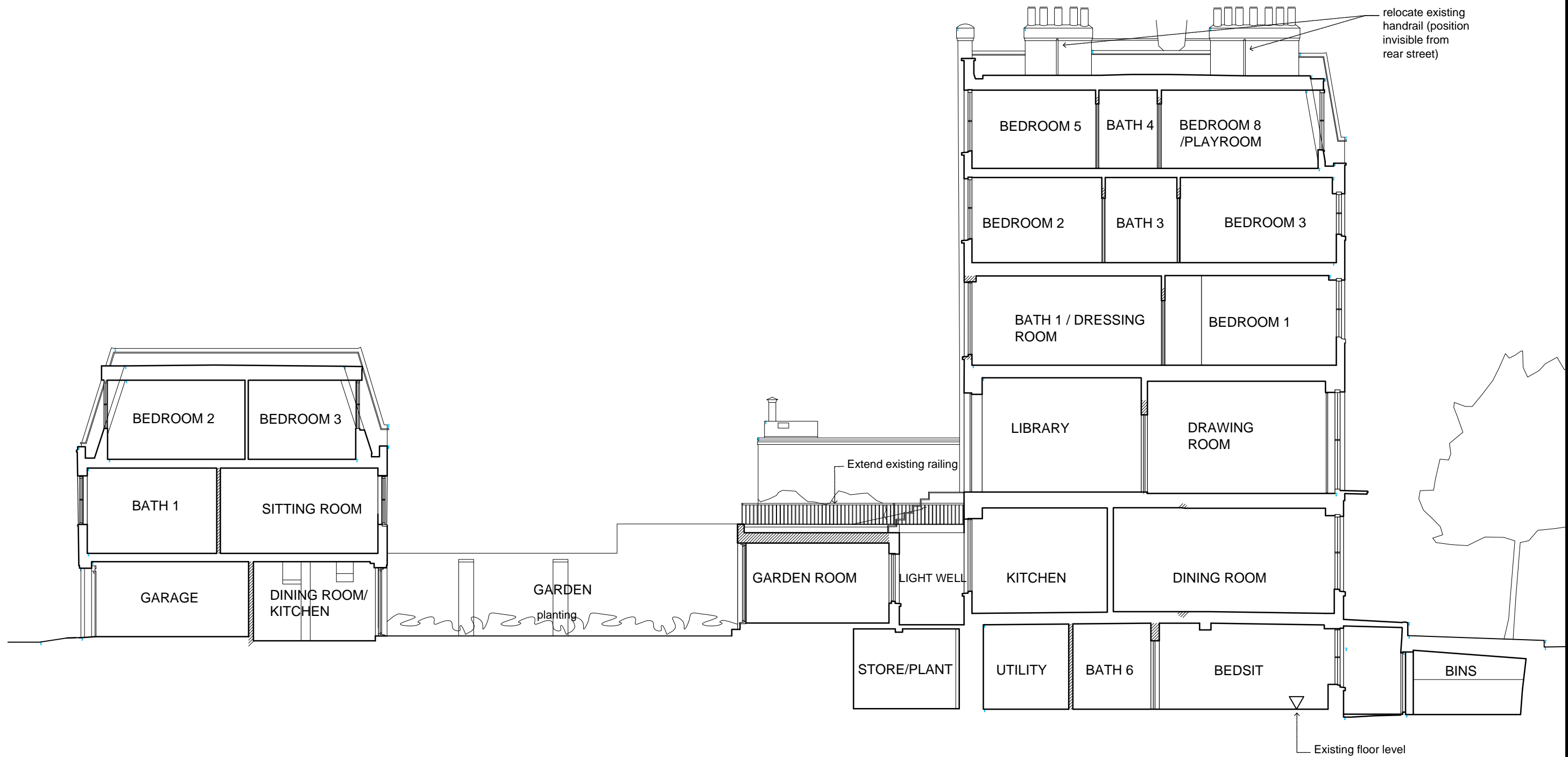
CHARTERED ARCHITECTS
PLANNING CONSULTANTS

12 Devonshire Street London W1G 7AB Tel: 020 7245 9888 Email: london@insall-architects.co.uk

Job 27 John Street & 21 John's Mews

Title Proposed Front & Rear Mews Elevation

Job	JS27.02	Status	P
No	2202	Rev	D
Scale (A3)	1:	1	2
		5	



0. NOTES (STATUS: F. FEASIBILITY S. SKETCH DESIGN P. PLANNING B. BUILDING CONTROL D. DESIGN DEV / PRELIM M. MEASUREMENT T. TENDER C. CONSTRUCTION R. RECORD)						
For construction use only if status 'C' and checked against current revision	F	24/03/2014	TJB	ACS	Lower ground floor level lowered by height of one step	
All dimensions to be checked on site by contractor	E	10/03/2014	SZP	ACS	Ground floor Mews rear wall aligned with Mews walls above.	
Do not scale from this drawing	D	17/02/2014	JXA	ACS	Re-submission of planning issue	
Unless otherwise indicated all dimensions are in millimetres	C	10/01/2014	JXA	ACS	Reinstatement of existing light well, reduction in size of Mews extension	
	B	05/09/2013	JXA	ACS	Planning Issue and alterations to ceiling heights	
	A	29/08/2013	JXA	ACS	Adding Notes and alterations to ceiling heights, room sizes etc.	
12/03/15 ERH ACS Basement extension removed	-	01/08/2013	AXT	ACS	Initial Issue	
25/06/14 TJB ACS Car stacker converted to garage and store						
	Rev	Date	Dwn	Auth	REVISIONS	

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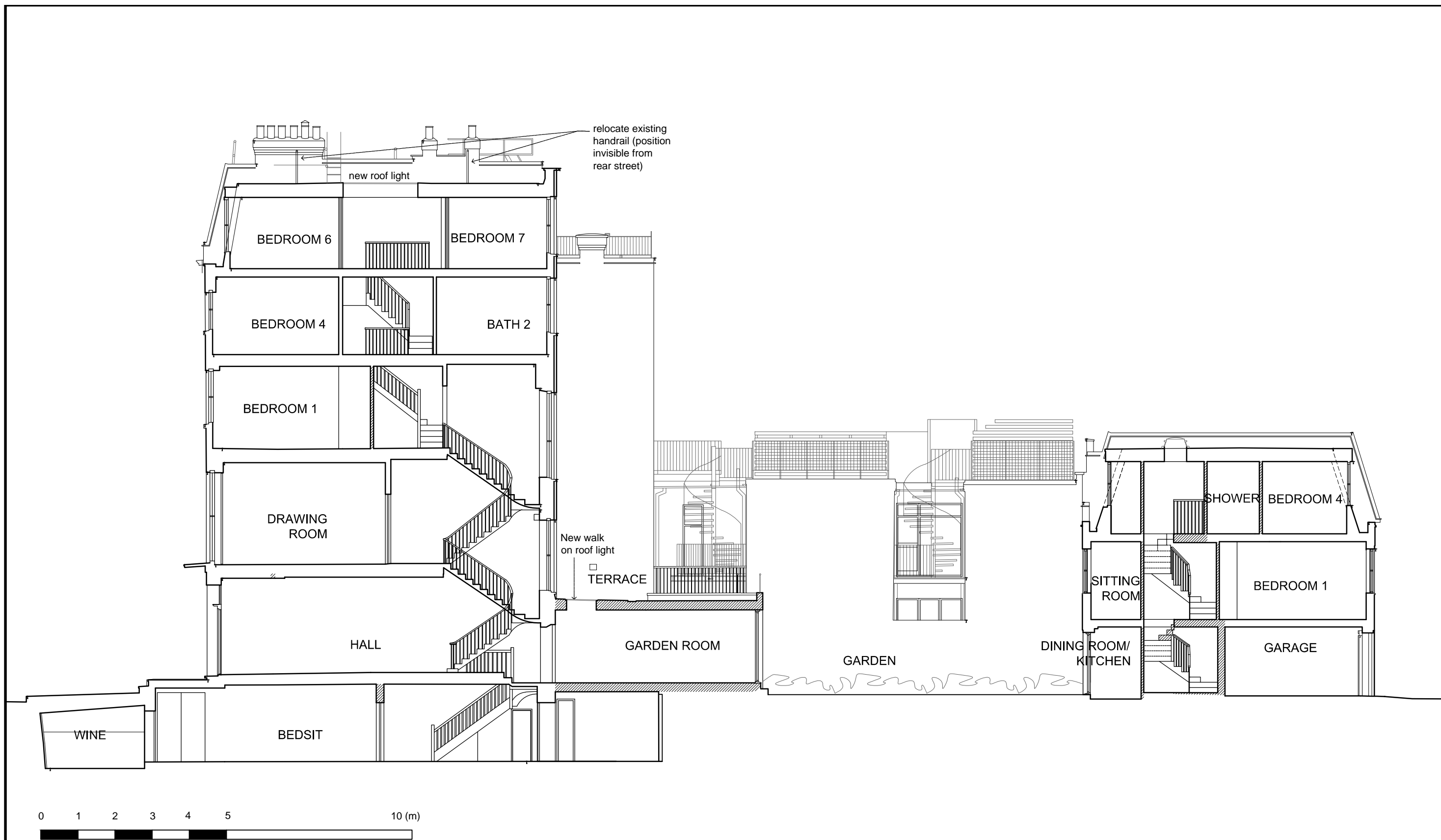
12 Devonshire Street London W1G 7AB Tel: 020 7245 9888 Email: london@insall-architects.co.uk

Job 27 John Street & 21 John's Mews

Title Proposed Section A

**CHARTERED ARCHITECTS
PLANNING CONSULTANTS**

Job	Status
JS27.02	P
No	Rev
2300	H
Scale (A3)	1: 1 2 5



No.	NOTES (STATUS: F. FEASIBILITY S. SKETCH DESIGN P. PLANNING B. BUILDING CONTROL D. DESIGN DEV / PRELIM M. MEASUREMENT T. TENDER C. CONSTRUCTION R. RECORD)	Rev	Date	Dwn	Auth	REVISIONS
1	For construction use only if status 'C' and checked against current revision	F	24/03/2014	TJB	ACS	Lower ground floor level lowered by height of one step
2	All dimensions to be checked on site by contractor	E	10/03/2014	SZP	ACS	Ground floor Mews rear wall aligned with Mews walls above.
3	Do not scale from this drawing	D	17/02/2014	JXA	ACS	Re-submission of planning issue
4	Unless otherwise indicated all dimensions are in millimetres	C	10/01/2014	JXA	ACS	Amendments in size of Mews extension
		B	05/09/2013	JXA	ACS	Planning Issue and alterations to ceiling heights
		A	29/08/2013	JXA	ACS	Adding Notes and alterations to ceiling heights, room sizes etc.
H	12/03/15 ERH ACS Basement extension removed	-	01/08/2013	AXT	ACS	Initial Issue
G	25/06/14 TJB ACS Car stacker converted to garage and store					

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Job 27 John Street & 21 John's Mews

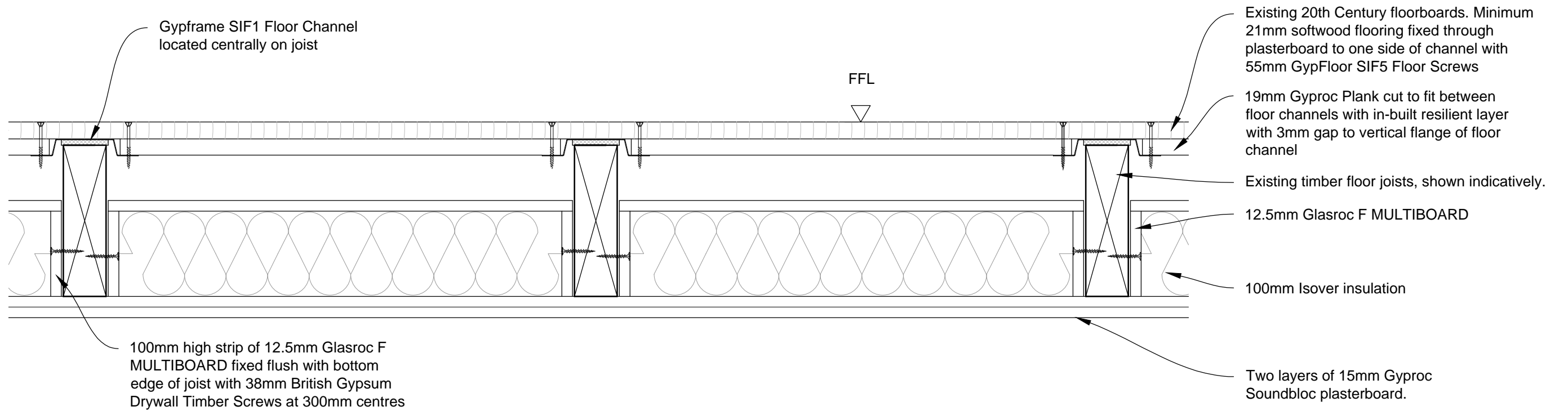
Title Proposed Section B

CHARTERED ARCHITECTS
PLANNING CONSULTANTS

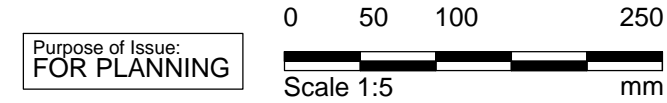
Job	JS27.02	Status	P	
No	2301	Rev	H	
Scale (A3)	1:	1	2	5

Specific Drawing Notes:

- Details are subject to opening up and site inspection by the Architect, floor joists are shown indicatively.
- Detail indicatively shows floor between bedrooms
- Installation of British Gypsum Acoustic products are to be to manufacturer's details and guidance.
- Gypframe SIF2 Floor Channel in place of SIF1 where joist is within 30mm of wall



01 Proposed Floor/Ceiling Section
3401 1:5 @ A3



Notes:

- Any dwg format drawing is to be read only in conjunction with and at the scale of the accompanying pdf.
- Status 'C' drawing (Construction): All dimensions are to be checked on site by the contractor, scaling is for Planning purposes only. Unless otherwise indicated, all dimensions are in millimeters. All information on this drawing is to be read in conjunction with the relevant Donald Insall Associates specification and trade contractors' drawings and information by specialists.
- In the event of any query, please contact us immediately.
- This drawing contains survey information by others and is to be used solely for the purposes for which it was issued.

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Rev	Date	Dwn	Auth	Revision
-	16/06/17	TOB	ACS	ISSUED FOR PLANNING

Drawing Status
F Feasibility
S Sketch Design
D Design
P Planning
B Building Control
W Working Drawing
M Measurement
T Tender
C Construction
R Record

Job Title:
27 John Street, London

Drawing Title:
**Party Floor/Ceiling Detail
As Proposed**

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Project	JS27	No	3401
Scale		Status	Rev
(A3)	1: 5	P	-