

22 FROGNAL WAY

DESIGN & ACCESS STATEMENT

July 19



1.0 INTRODUCTION

This Design and Access Statement is submitted in support of the planning application and associated conservation area consent for the proposed works to the existing eastern boundary wall to No. 22 Froggnal Way, London NW3 6XE.

The proposed works comprise the repair of the existing boundary wall including the reinstatement of the missing brick courses, repointing and the infill of the existing gate openings to ensure the structural stability of this boundary wall. It is also proposed to form a new access point to the southern end of this wall to improve the access arrangement between the properties under the 'Right of Access' rights.

This Statement should be read in conjunction with the supporting documents which include existing and proposed drawings.

2.0 LOCATION AND CONTEXT

The site is located in Hampstead, approximately 250m to the south west of Hampstead London Underground station and is situated at the end of Froggnal Way.

22 Froggnal Way is currently under development and the works include the demolition of the existing property and the construction of a new family home on site (planning ref: 2015/3530/P).

The boundary wall that this application refers to forms part of the Eastern boundary wall with No.20 Perrin's Walk.



3.0 SITE DESCRIPTION

The boundary wall subject of this application is located in Conservation area and forms part of the eastern boundary with No. 20 Perrin's Walk. Attached to the boundary wall is an unused single storey brick structure outbuilding (Photo 3).

The existing boundary wall is in poor condition and requires repair works to ensure its structural stability and integrity.

There are two existing openings to this boundary wall that contribute to the lack of privacy between the two properties. The gates do not match in its aesthetics – metal gate (Photo 1) and the weathered timber board gate (Photo 2) – and have missing brick courses at high level.

The structure and boundary wall are raised in yellow stock bricks of some age, laid in lime mortar, although the upper part of the outbuilding is raised in mass-produced machine-made bricks, laid in cement mortar.



Photo 1: Metal gate – front view as viewed from No.22 Froggnal Way



Photo 2: Timber gate as viewed from No. 20 Perrin's Walk



Photo 3: Outbuilding as viewed from No. 22 Frogmal Way

4.0 DESIGN PROPOSAL

It is proposed to repair the boundary wall to ensure its structural stability and longevity and improve the existing access arrangement between the properties.

The structural stability of the boundary wall will be achieved by carefully rebuilding the existing piers to Structural Engineer's requirements, new brick piers will be introduced to provide the required support to currently bowing unstable sections of the brickwork wall.

The existing brickwork will be repaired and repointed with lime mortar, missing brick courses carefully reinstated using the salvaged/reclaimed bricks where possible.

As part of the repair works, it is also proposed to infill the existing gate openings between the two properties with the matching brickwork to improve the privacy and security between the two properties. A new timber gate is proposed to the south most end of the wall in line with the owner's 'Right of Access' rights that will improve the existing condition.

The gate design will be of a panelled timber construction and in keeping with the overall landscape scheme and aesthetics of the site (Ref.2018/4405/P).

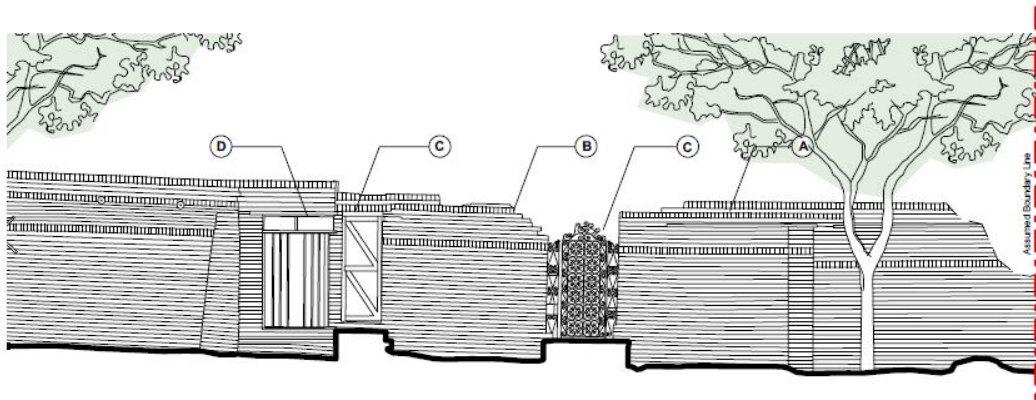


Image 1: Existing front elevation as viewed from No. 22 Frogmal Way

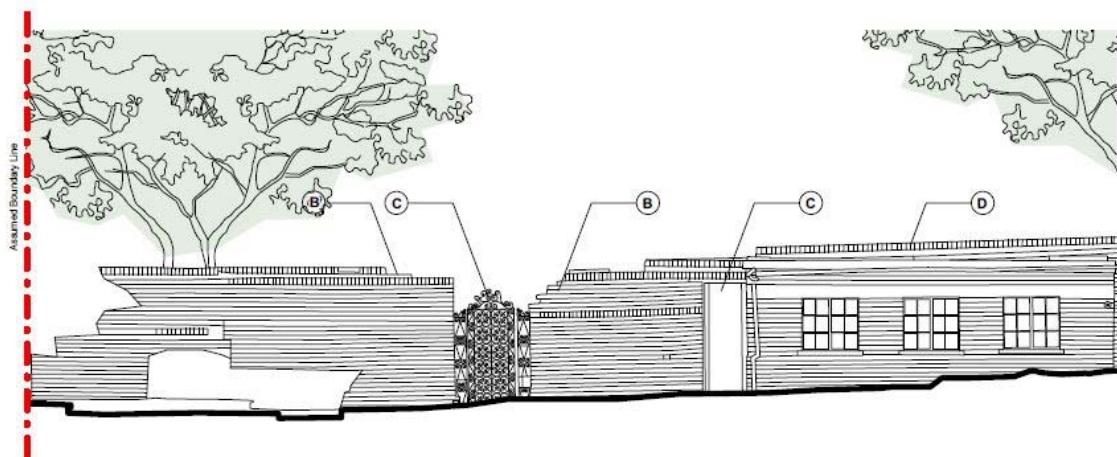


Image 2: Existing rear elevation as viewed from No.20 Perrin's Walk

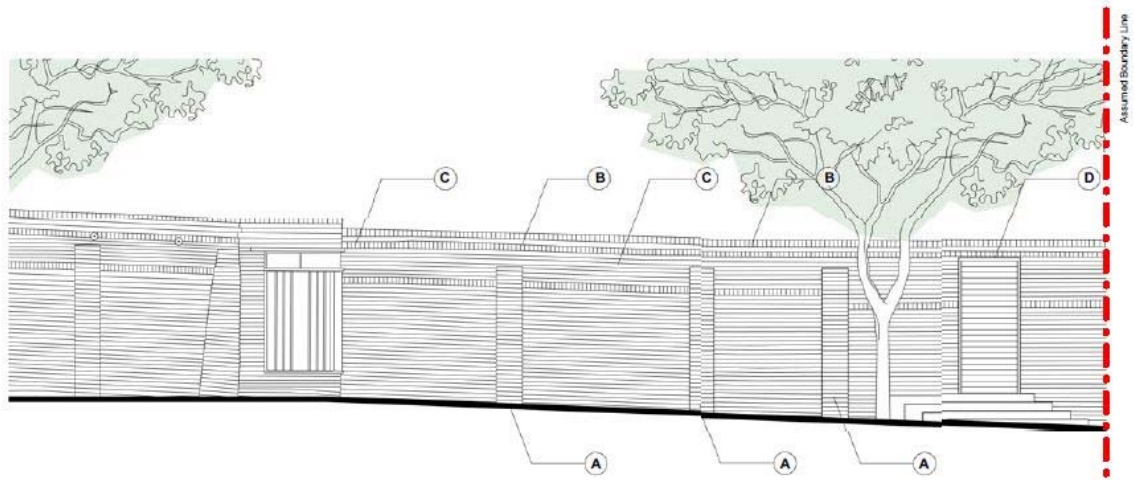


Image 3: Proposed front elevation as viewed from No. 22 Frogmal Way

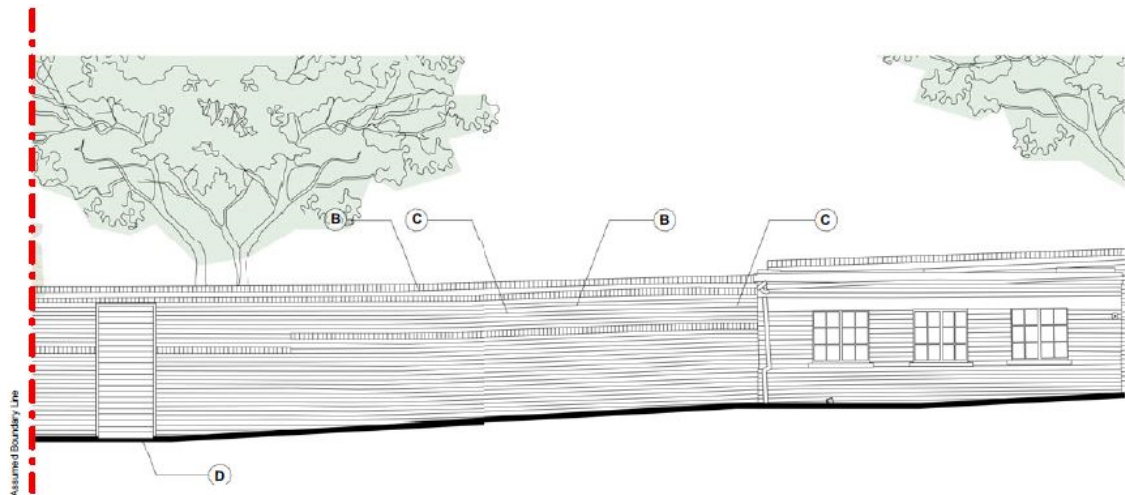


Image 4: Proposed rear elevation as viewed from No. 20 Perrin's Walk

5.0 EXISTING CONDITION

A Structural Inspection Report is included in support of this application, prepared by Price & Myers (ref: 23061 version 2, dated June 2018).

The structural investigation has been carried out to assess the current condition of the boundary wall.

The report has identified key areas of the wall that are structurally unstable and require strengthening by either full rebuilding of the wall or by constructing new brick piers.

The overall condition of the wall was in need of repair and further repointing works were recommended using lime mortar.

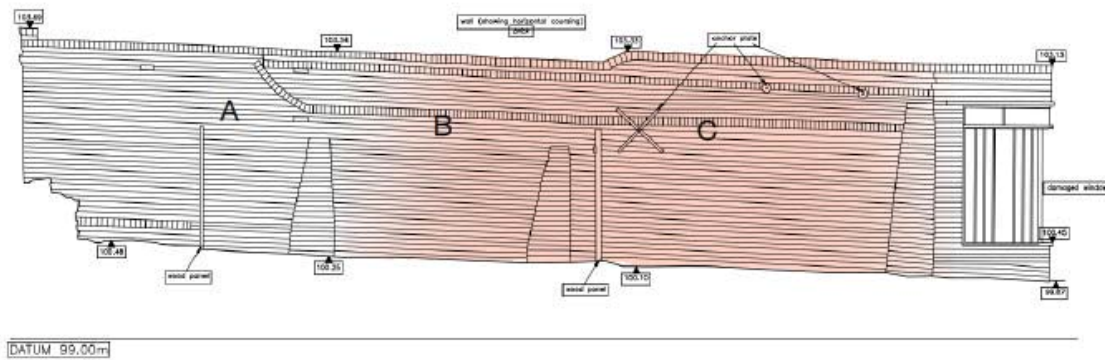


Image 5: North end of the boundary wall as viewed from No. 22 Frogmal Way. (Structurally unstable sections of the wall highlighted in red)

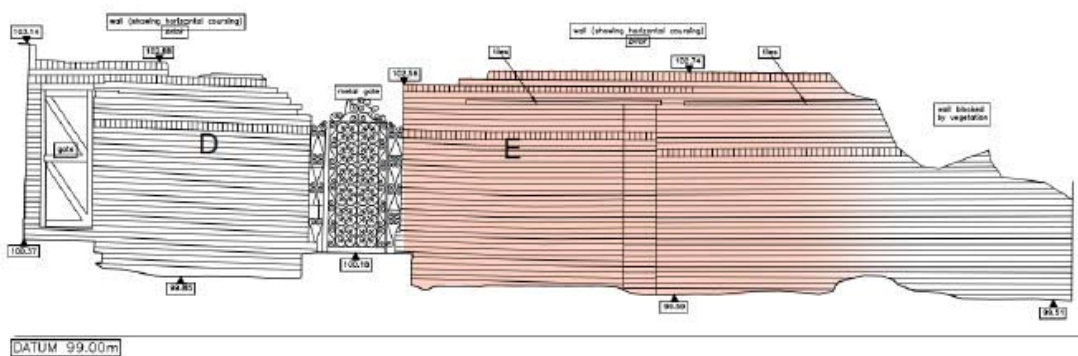


Image 6: South end of the boundary wall as viewed from No. 22 Frogmal Way. (Structurally unstable sections of the wall highlighted in red)

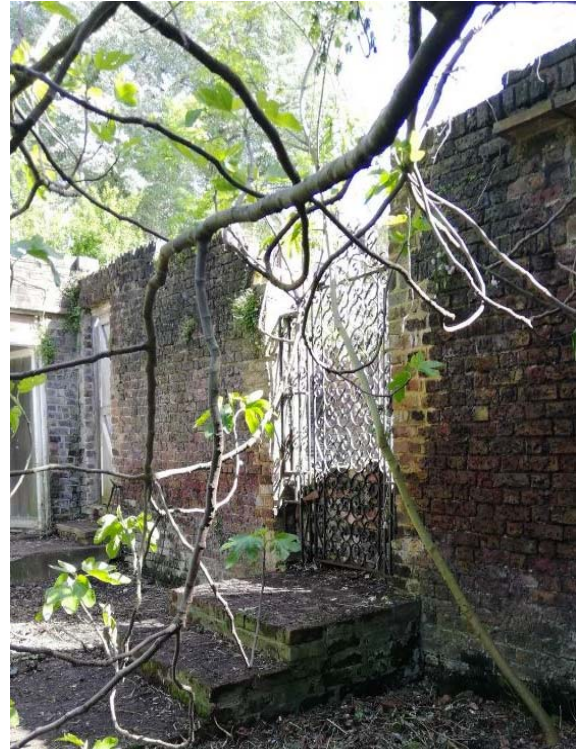


Photo 4 & 5: Outbuilding and existing boundary wall with unused gate openings as viewed from No. 22 Frognal Way



Photo 6: Boundary wall as viewed from No. 20 Perrin's Walk

6.0 CONCLUSION

It is evident that the brick boundary wall has been neglected for some time and is in need of repair. The existing gate openings have not been in use for a while and only undermine the privacy and security between the two properties.

The proposed repair works to the boundary wall will ensure the structural stability and longevity of the wall and the proposed new timber gate will improve the relation between the two properties to ensure privacy, security and ease of access under the 'Right of Access' rights.

The repair works to the boundary wall will be carefully carried out using salvaged/reclaimed bricks where possible with lime mortar. The design of the new gate will respect its setting within the Conservation area and will be in keeping with the aesthetics of the landscape scheme approved for this site (Ref.2018/4405/P).

7.0 ADDITIONAL DOCUMENTS

This Statement should be read in conjunction with the supporting documents which include existing and proposed drawings below:

- FGWO-(G)-001 Location plan
- FGWO-(G)-002 Site plan
- FGWO-E-(G)-100 Existing ground plan
- FGWO-E-(G)-300 Existing Elevation
- FGWO-P-(G)-100 Proposed plan
- FGWO-P-(G)-301 Proposed elevation