

David Clulow

OPTICIANS

|Hampstead|
|Golden square|
|UK|

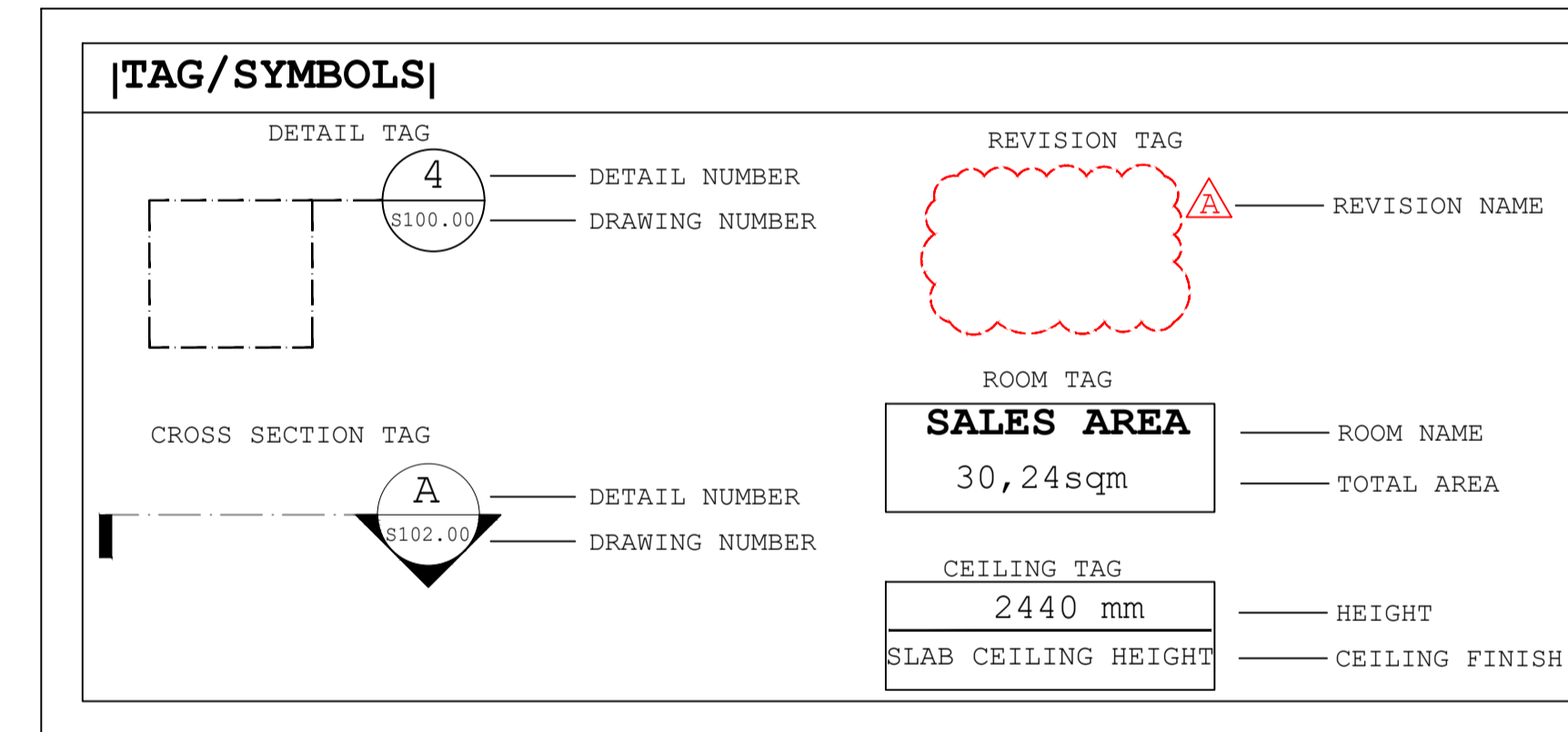
|Submission|
|13/08/2019|

|REV B|
|17/09/2019|

[LIST OF DRAWING]		REQUIRED PACKAGE	REVISION SET B33				
DWG NO.	DRAWING TITLE		A	B	C	D	E
			12/09 2019	17/09 2019			
GENERAL							
G000	TS_COVER SHEET	<input checked="" type="checkbox"/>					
G000.01	TS_INDEX	<input checked="" type="checkbox"/>					
G000.02	TS_SITE PLAN_LOCATION PLAN	<input checked="" type="checkbox"/>					
SURVEY							
S100.00	TS_EXISTING_FLOORING PLAN_GROUND FLOOR						
S100.01	TS_EXISTING_FLOORING PLAN_FIRST FLOOR						
S101.00	TS_EXISTING_CEILING PLAN_GROUND FLOOR						
S101.01	TS_EXISTING_CEILING PLAN_FIRST FLOOR						
S102.00	TS_EXISTING_CROSS SECTION A-B						
S102.01	TS_EXISTING_CROSS SECTION B						
S103.00	TS_EXISTING_STOREFRONT 1						
S103.01	TS_EXISTING_STOREFRONT 2						
PROPOSAL							
P200.00							
P201.00							
P202.00							
P203.00							
ARCHITECTURAL PLANS_DEMOLITION WORK							
D300.00	TS_DEMOLITION WORK_FLOORING PLAN						
D301.00	TS_DEMOLITION WORK_CEILING PLAN						
D302.00	TS_DEMOLITION WORK_CROSS SECTION A_B						
D303.00	TS_DEMOLITION WORK_ELEVATION_STOREFRONT 1	<input checked="" type="checkbox"/>					
D303.01	TS_DEMOLITION WORK_ELEVATION_STOREFRONT 2	<input checked="" type="checkbox"/>					

[LIST OF DRAWING]		REQUIRED PACKAGE	REVISION SET B33				
DWG NO.	DRAWING TITLE		A	B	C	D	E
			12/09 2019	17/09 2019			
ARCHITECTURAL PLANS_CONSTRUCTION WORK							
C400.00	TS_CONSTRUCTION WORK_HOARDING INSTALLATION STOREFRONT 1	<input checked="" type="checkbox"/>					
C400.01	TS_CONSTRUCTION WORK_HOARDING DEVELOPMENT STOREFRONT 2	<input checked="" type="checkbox"/>					
C401.00	TS_CONSTRUCTION WORK_DRYWALL PLAN						
C402.00	TS_CONSTRUCTION WORK_FINISHING PLAN						
C402.01	TS_CONSTRUCTION WORK_DRYWALL/FINISHING SECTION A_B						
C402.02	TS_CONSTRUCTION WORK_DRYWALL/FINISHING SECTION C_D						
C403.00	TS_CONSTRUCTION WORK_CEILING PLAN						
C404.00	TS_CONSTRUCTION WORK_FLOORING PLAN						
C405.00	TS_CONSTRUCTION WORK_INSTALLATION PLAN						
C406.00	TS_CONSTRUCTION WORK_INSTALLATION PLAN						
C406.01	TS_CONSTRUCTION WORK_FURNITURE_SECTION PLAN A,B						
C406.02	TS_CONSTRUCTION WORK_FURNITURE_SECTION PLAN C,D						
C407.00	TS_CONSTRUCTION WORK_STOREFRONT 1	<input checked="" type="checkbox"/>					
C407.01	TS_CONSTRUCTION WORK_STOREFRONT 2	<input checked="" type="checkbox"/>					
ELECTRICAL							
E500.00	TS_ELECTRICAL_INSTALLATION PLAN_GROUND FLOOR						
E501.00	TS_ELECTRICAL_LIGHTING PLAN_GROUNDFLOOR						
E502.00	TS_ELECTRICAL_WIRING SCHEME						

[LIST OF DRAWING]		REQUIRED PACKAGE	REVISION SET B33				
DWG NO.	DRAWING TITLE		A	B	C	D	E
			12/09 2019	17/09 2019			
HVAC							
H600.00	TS_INSTALLATION PLAN						
AUDIO SYSTEM							
FIRE PROTECTION SYSTEM							
FPS801.00	TS FIRE PROTECTION SYSTEM_SMOKE DETECTORS PLAN						
INTRUDER ALARM SYSTEM							
TAGGING ANTENNA SYSTEM							



[GENERAL NOTES]

[1.0 REGULATORY REQUIREMENTS]

1.1 [WORK BE PERFORMED UNDER THIS CONTRACT IS DEFINED BY THE DOCUMENTS INDEXED-NOTE THAT MECHANICAL, ELECTRICAL AND FIRE PROTECTION CONTRACTS ARE TO BE AWARDED ON A DESIGN/BUILD BASIS AND MECHANICAL, ELECTRICAL AND FIRE PROTECTION ENGINEERS AND CONTRACTORS SHALL BE RESPONSIBLE FOR THE PREPARATION OF THEIR OWN CONTRACT/CONSTRUCTION DOCUMENTS SHALL BE PREPARED UNDER THE DIRECTION OF LICENSED PROFESSIONALS, THE EXTENT REQUIRED BY THE APPLICABLE LAWS, BY-LAWS, CODES AND REGULATIONS APPLICABLE THE CITY OR STATE]

1.2 [BUILDING CLASSIFICATION ON ALL CONSTRUCTION SHALL BE GOVERNED BY THE LATEST EDITION OF THE APPLICABLE STATE BUILDING CODE WITH ALL OR INCLUSIVE OF ANY REVISIONS OR ADDENDUM ALL WORK TO BE CONSTRUCTED AND INSTALLED PER THE APPLICABLE REQUIREMENTS OF THE CITY AND ALL AUTHORITIES HAVING JURISDICTION]

1.3 [ALL LABOR MATERIALS FINISHED EQUIPMENT AND THE FINAL FINISHED PROJECT AS INDICATED BY THE CONTRACT DOCUMENTS, SHALL BE PROVIDED BY THE CONTRACTORS PER CITY AND LOCAL CODES AND ANY OTHER APPLICABLE RESTRICTIONS AND CODES, THE WORK SHALL INCLUDE ALL SITE DEVELOPMENT, DETECTION SYSTEM, FIRE PROTECTION SYSTEM AND ANY AND ALL WORKSAS REQUIRED BY THE AGENCIES HAVING RESTRICTION]

1.4 [ALL WORKS AND ARCHITECTURAL DRAWINGS TO BE APPROVED BY LANDLORD PRIOR TO START OF INSTALLATION (IF REQUIRED)]

1.5 [PRIOR TO THE START OF CONSTRUCTION, THE GENERAL CONTRACTORS SHALL MEET WITH APPROPRIATE REPRESENTATIVE OF LANDLORD AUTHORITY AND OTHERS OF THE DIRECTION. CONTRACTOR SHALL COMPLY WITH ALL REQUIREMENTS FOR BARRICADES, SAFETY, WORK, HOURS, ETC.]

1.6 [EACH SUBCONTRACTORS SHALL COORDINATE THEIR WORK WITH THAT OF OTHERS AND BE AWARE OF ALL RELATED WORK TO BE PERFORMED BY OTHERS, VIA THE TENANT'S CONTRACTOR]

1.7 [CONTRACTOR AND EACH SUBCONTRACTORS SHALL BE THOROUGHLY FAMILIAR WITH THE WORK SHOWN ON THE DRAWINGS AND ON OTHER CONTRACT DOCUMENT]

[2.0 REGULATORY REQUIREMENTS]

2.1 [DO NOT SCALE THE DRAWINGS, ALL EXISTING AND PROPOSED DIMENSIONS SHALL BE VERIFIED IN FIELD PRIOR TO CONSTRUCTION AND PRIOR THE FABRICATION AND INSTALLATION OF ANY BUILT-IN FIXTURES OR EQUIPMENT. THE GENERAL CONTRACTOR TO NOTIFY ARCHITECT OF ANY DISCREPANCY PRIOR TO PROCEEDING WITH THE PROPOSED WORK]

2.2 [THE CONTRACT DOCUMENTS INDICATE WORK FOR THE SPECIFIC PROJECT LOCATION NOTED, THESE DOCUMENTS REMAIN THE PROPERTY OF THE TENANT AND MAY NOT BE USED FOR ANY OTHER PROJECT OR PURPOSE WITHOUT EXECUTION OF A WRITTEN AGREEMENT WITH ARCHITECT]

[3.0 EXISTING CONDITION]

3.1 [PRIOR TO SUBMITTING THE BID PROPOSALS, THE GENERAL CONTRACTOR AND EACH SUBCONTRACTOR SHALL VISIT THE PROPOSED SPACE AND FAMILIARIZE THEMSELVES WITH ALL EXISTING CONDITION, TAKE FIELD MEASUREMENTS AND RECORD ALL INFORMATION NEEDED TO PROVIDE A COMPLETE SCOPE OF WORK]

3.2 [THE GENERAL CONTRACTOR SHALL THOROUGHLY REVIEW ALL EXISTING CONDITIONS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY BOTH ARCHITECT AND THE TENANT WHEN ANY EXISTING CONDITION CONFLICTS WITH OR IS NOT COVERED BY PROJECT DOCUMENTS. NOTIFICATION TO BE IN WRITING WITHIN 24 HOURS. CONTRACT TO CLARIFY WITH ARCHITECT ANY DISCREPANCIES IN DOCUMENTATION PRIOR TO CONSTRUCTION, PURCHASE OF MATERIALS OR INSTALLATION]

3.3 [ALL DIMENSIONS INDICATED ARE TO THE FINISHED FACE OF ITEM UNLESS NOTED OR CLEARLY INDICATED OTHERWISE]

3.4 [EXISTING CONDITION TAKE PRECEDENCE OVER DRAWINGS AND SPECIFICATIONS FOR DIMENSION]

[4.0 MODIFICATIONS AND SUBSTITUTES]

4.1 [DO NOT SUBSTITUTE MATERIALS, EQUIPMENT OR METHODS UNLESS SUCH SUBSTITUTION HAS BEEN APPROVED SPECIFICALLY IN WRITING BY ARCHITECT AND THE TENANT]

4.2 [ALTERNATIVE PROPOSALS WILL BE ACCEPTED OR REJECTED BEFORE ISSUANCE OF CONTRACTS. NO CHANGES PERMITTED AFTER CONTRACT IS SIGNED]

[5.0 MODIFICATIONS AND SUBSTITUTES]

5.1 [ALL EXISTING ACCESSORIES, HANGING SYSTEM AND HARDWARE ALONG WITH ALL LIGHTING, ELECTRICAL AND MECHANICAL EQUIPMENT, SUSPENDED CEILING SYSTEMS AND ALL OTHER ITEMS ARE THE PROPERTY OF TENANT. REMOVAL OF ELEMENTS NOT USED MUST BE COORDINATED BETWEEN G.C. AND TENANT]

5.2 [PROVIDE DUST CONTROL ENCLOSURES AND PROTECTION FOR OCCUPANTS (IF REQUIREMENTS)]

5.3 [THE CONTRACTOR SHALL MAINTAIN THE WORK SITE IN AN ORDERLY MANNER FREE OF ACCUMULATED DEBRIS, WITH MATERIALS STORED IN ORDER TO MINIMIZE INTERFERENCE WITH WORK BEING PERFORMED, THE CONCLUSION OF THE WORK THE PROJECT SHALL BE CLEANED TO THE TENANT'S SATISFACTION]

5.4 [THE GENERAL CONTRACTOR BEFORE DEMOLITION SHALL INSPECT AND VERIFY CONDITIONS OF ALL MECHANICAL (VENTILATION, PLUMBING, DRAINAGE ETC..) AND SYSTEMS SO HAS NOT TO DAMAGE FUNCTIONING EXISTING SYSTEMS]

5.5 [ALL DEMOLITION WORK, STOREFRONT GLAZING, ETC. WHICH CAN AFFECT THE STRUCTURAL STABILITY OF THE EXISTING STRUCTURE IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR, SPECIAL ATTENTION SHOULD BE GIVEN TO THE AREA OF THE STOREFRONT WINDOWS FOR LATERAL LOADS AND MOVEMENTS]

[6.0 WORK NOTES]

6.1 [GC TO VERIFY EXISTING CONCRETE SLAB FOR APPARENT CRACKS OR OTHER CONDITIONS THAT MAY CAUSE POTENTIAL DAMAGE TO NEW FLOOR INSTALLATION AND NOTIFY ARCHITECT]

6.2 [ONE SET OF THE LATEST LANDLORD APPROVED DRAWINGS, CITY APPROVED PERMIT DOCUMENTS AND LANDLORD'S CONSTRUCTION GUIDELINES TO BE KEPT ON SITE AND AVAILABLE FOR VERIFICATION AT ALL THE TIME]

6.3 [GENERAL CONTRACTOR SHALL FURNISH TO TENANT, AT COMPLETION OF WORK, ONE (1) COPY OF AS BUILTS, WARRANTIES FOR ALL EQUIPMENT FURNISHED AND A LIST OF ALL SUBCONTRACTORS]

6.4 [REVIEW OF SHOP DRAWINGS SHALL BE FOR CONFORMITY WITH THE DESIGN INTENT INDICATED BY THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL QUANTITIES AND DIMENSIONS INCLUDING VERIFICATION OF, AND COORDINATION WITH FIELD CONDITIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FABRICATION PROCESSES AND THE MEANS, METHODS TECHNIQUES, SEQUENCES AND PROCEDURES OF CONSTRUCTION AND FOR COORDINATION OF THE WORK OF ALL RELATED TRADES]

6.5 [THE GENERAL CONTRACTOR SHALL COORDINATE WITH THE MILLWORK CONTRACTOR ON THE LAYOUT AND DIMENSIONS OF THE PERIMETER WALLS WHICH ARE TO BE BACK-UP FOR THE INSTALLATION OF THE LAMINATE WALL PANELS, STANDARDS, SHELVING AND OTHER PERIMETER WALL FIXTURES, AND ALSO ALLOWABLE TOLERANCES IN CONNECTION WITH SOFFIT OR CEILING HEIGHT REQUIREMENTS]

6.6 [ALL SUBCONTRACTORS SHALL BE RESPONSIBLE FOR VERIFYING THE LEAD TIME OF THEIR FURNISHED ITEMS WORK AS PER SPECIFIED PROJECT SCHEDULE]

David Clulow OPTICIANS

PROJECT LOCATION:
HAMPSTEAD

73 & Hampstead High St, London NW3 1QX | UK |

PROJECT ID NO.:
1584 | GBNELOHA |

REVISION NO.:
Rev B

STATUS:
SUBMISSION
 Approved By: _____ Date: _____
 Approved By: _____ Date: _____
 Approved By: _____ Date: _____

REVISION LOG:

REV	DATE	DESIGNER
REV_A	12/09/2019	G.V.
REV_B	17/09/2019	G.V.

Location: INTERIOR LOCATION
 EXTERIOR LOCATION
 HOST LOCATION

Type: NEW
 REMODEL
 RELOCATION

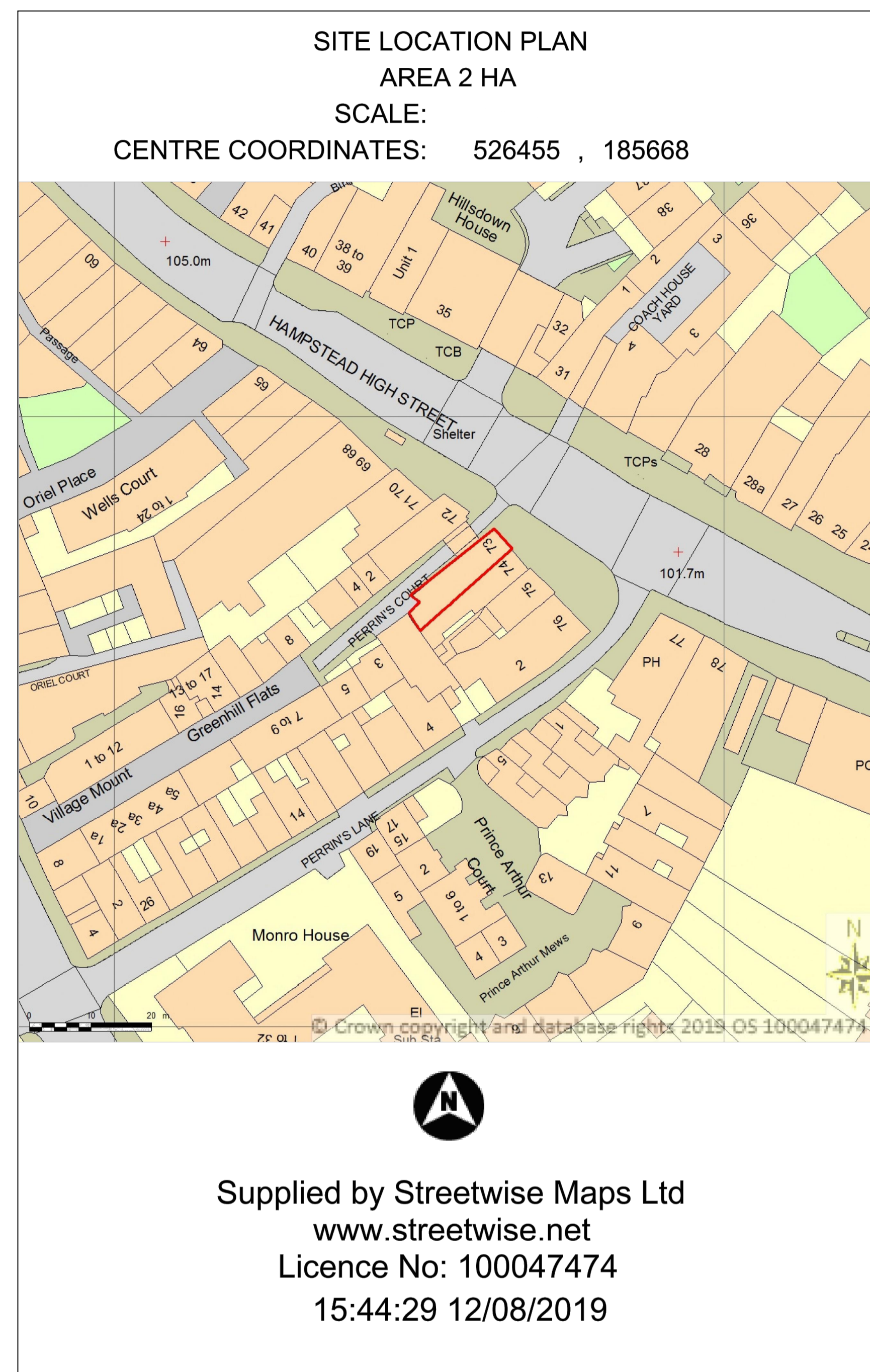
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TITLE:
TS_INDEX

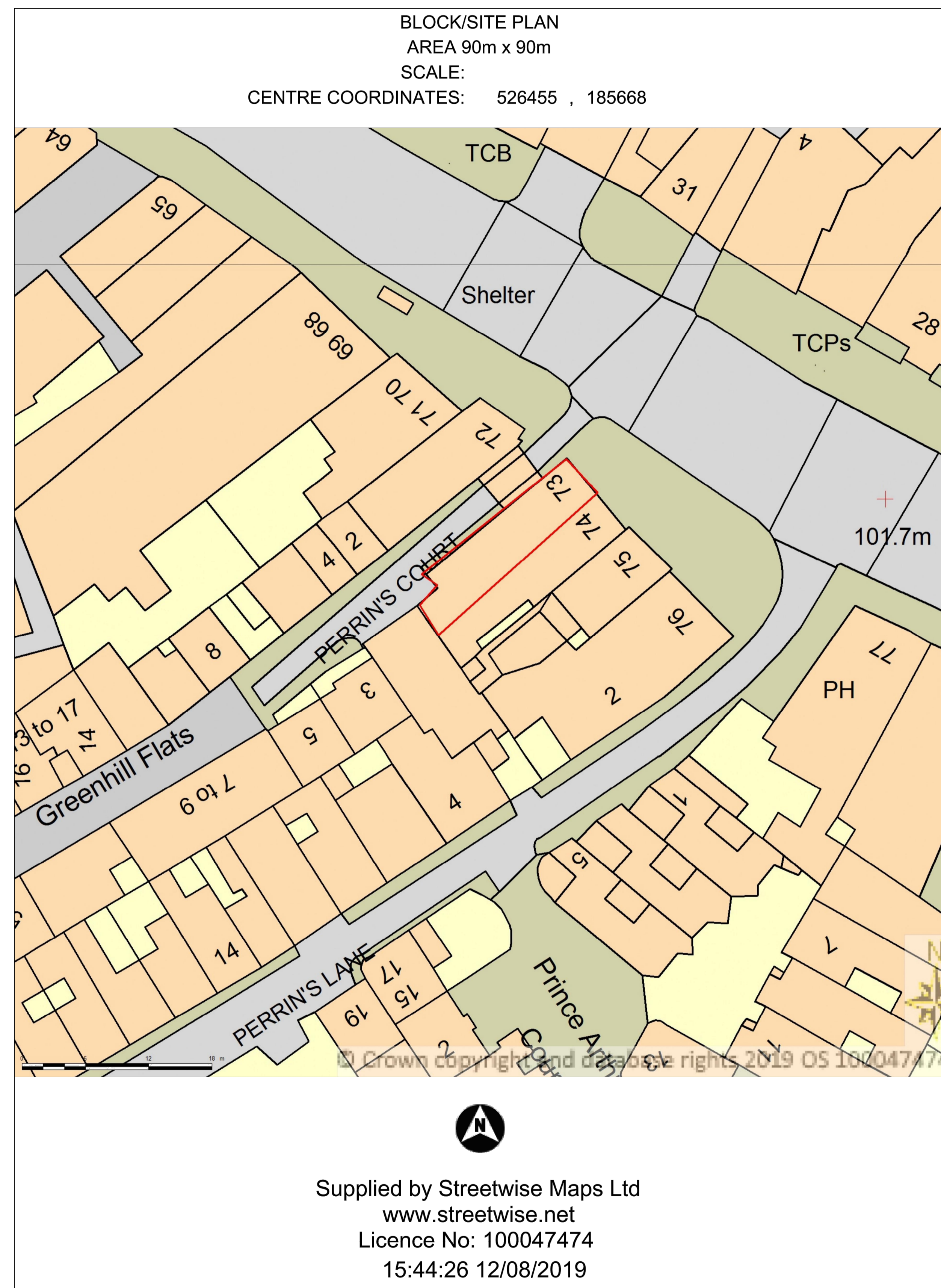
DATE: 17/09/2019 SHEET:
G000.01

DRAWN BY: G.V.

SCALE: as show @ A3



1 SITE PLAN
 G000.02 | SCALE 1:1250 |



2 LOCATION PLAN
 G000.02 | SCALE 1:500 |

David Clulow OPTICIANS

PROJECT LOCATION:
HAMPSTEAD
 73 Hampstead High St, London NW3 1QX | UK |
 PROJECT ID NO.:
 | 1584 | GBNELOHA |

REVISION NO.:
Rev B

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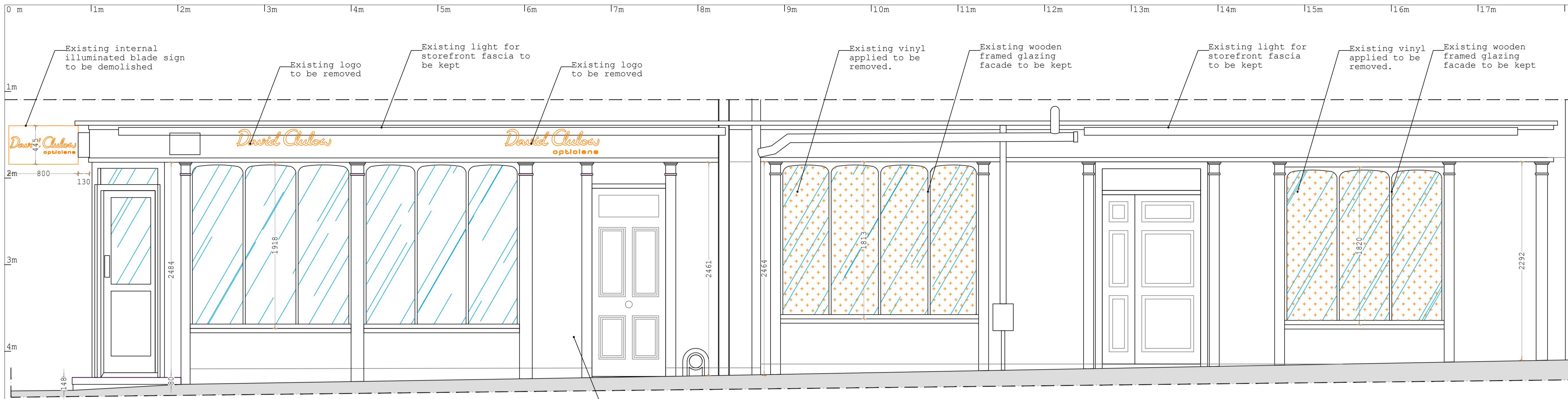
REVISION LOG:

REV	DATE	DESIGNER
REV_A	12/09/2019	G.V.
REV_B	17/09/2019	G.V.

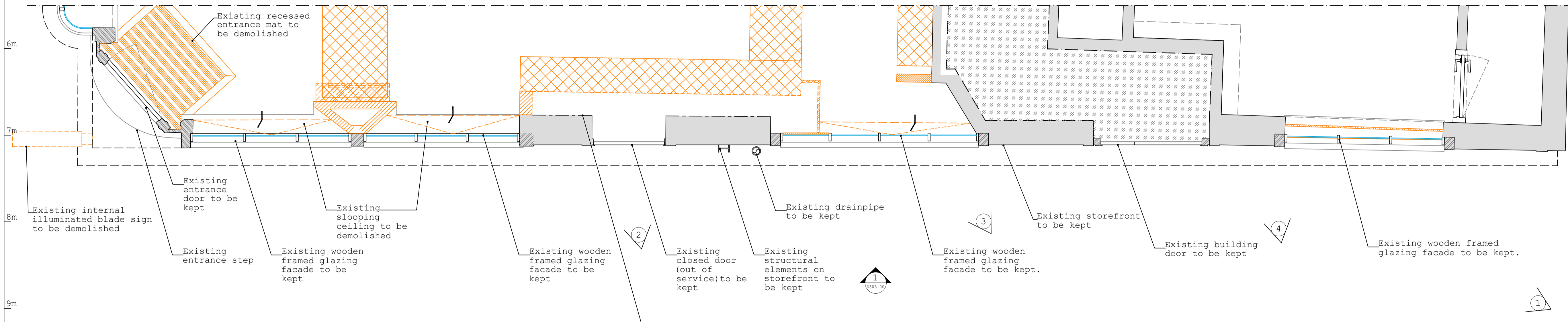
Location: INTERIOR LOCATION
 EXTERIOR LOCATION
 HOST LOCATION
 Type: NEW
 REMODEL
 RELOCATION
 Volume: mq

TITLE: **TS_Site plan location plan**

DATE: 17/09/2019 SHEET:
 DRAWN BY: G.V. **G000.02**
 SCALE: as show @ A3



1 STOREFRONT ELEVATION
 | SCALE 1:50 |



1 STOREFRONT PLAN
 | SCALE 1:50 |

SYMBOL LEGEND	
	Existing wall. Exact position and dimension behind existing wall furniture to be verified on site after demolition works by GC
	Existing timber panel.
	Existing furniture to be removed
	Existing graphic and vinyl to be removed.
	Existing dividing wall to be demolished. Exact position and dimension to be verified on site after demolition works by GC.
	Dashed line of wall behind wall furniture. Exact position and dimensions to be verified on site after demolition works by GC

NOTE 1: Please verify all dimension after the demolition works.
 NOTE 2: Please verify position and dimension of any structural elements after the demolition works.



David Clulow OPTICIANS
 PROJECT LOCATION:
HAMPSTEAD
 73 & nbsp, Hampstead High St, London NW3 1QX | UK |
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1584 | GBNELOHA |
 STORE NO.:

REVISION NO.:
Rev B

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REV_A	12/09/2019	G.V.
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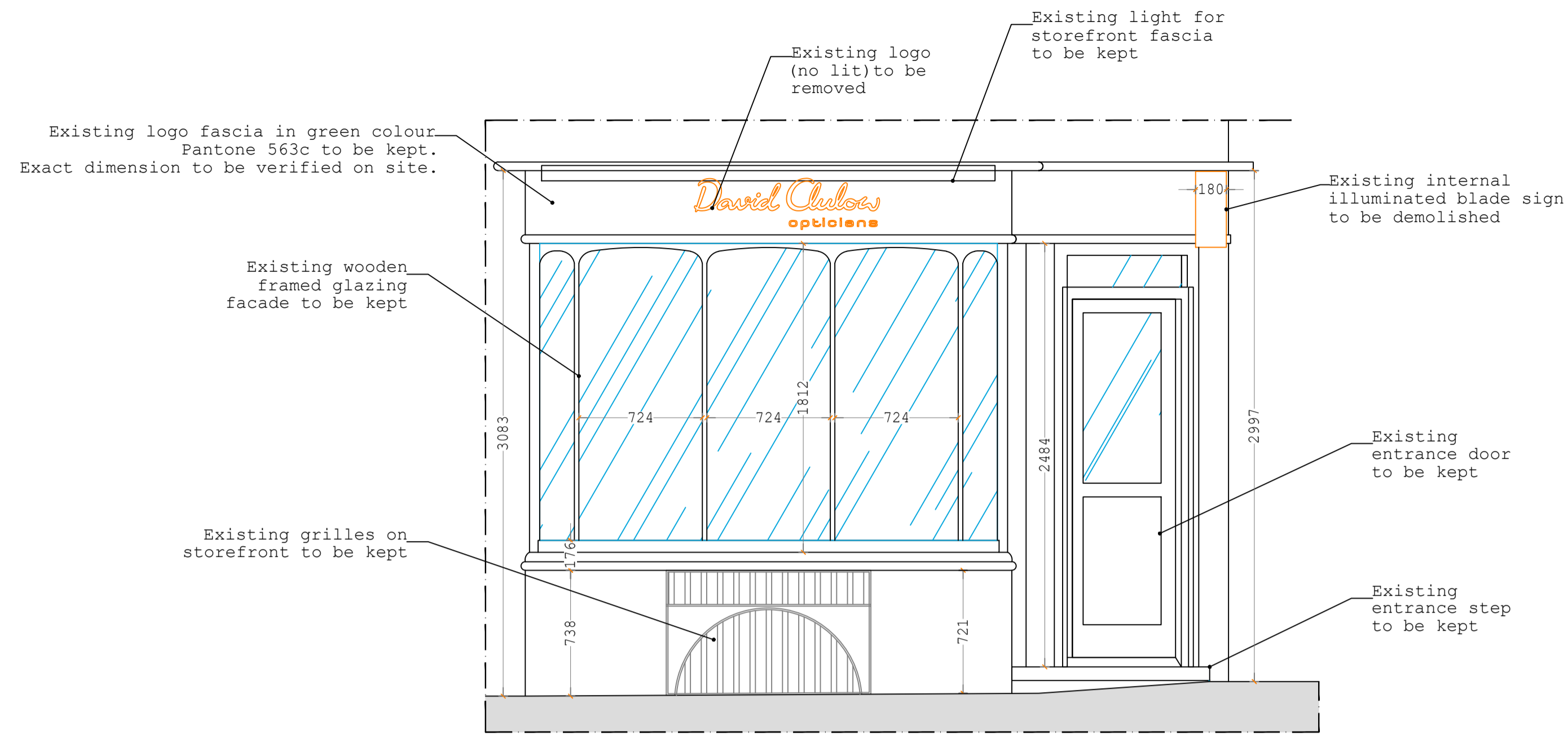
Location: INTERIOR LOCATION
 EXTERIOR LOCATION
 HOST LOCATION
 Type: NEW
 REMODEL
 RELOCATION
 Volume: mq

TITLE: **TS DEMOLITION WORKS STOREFRONT 1**

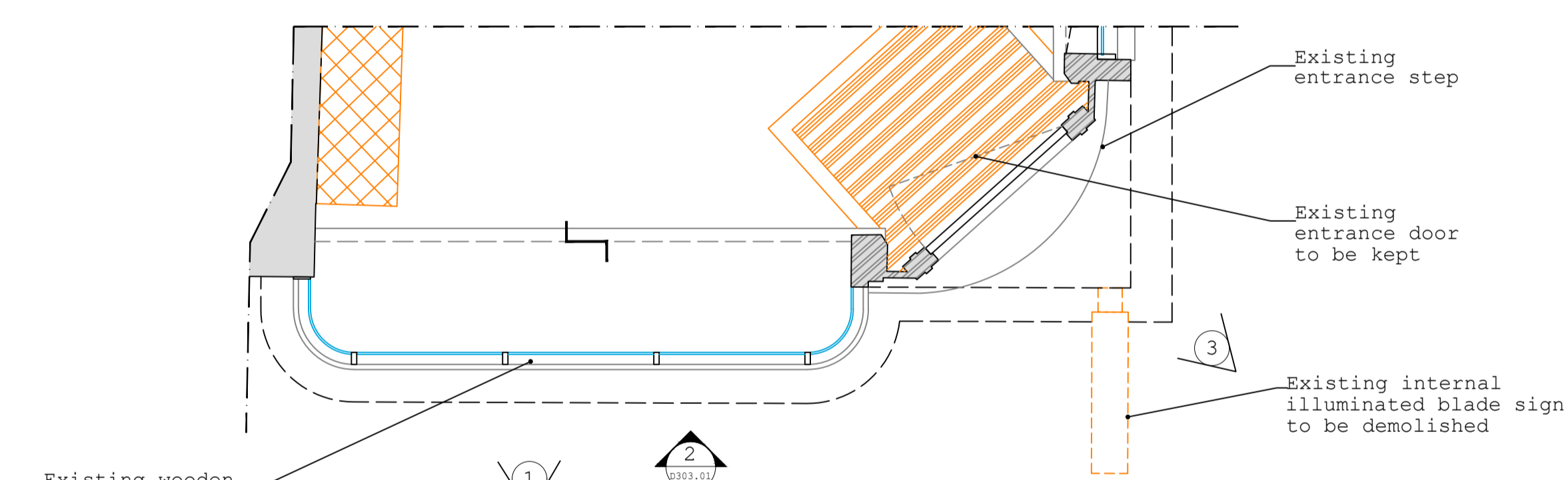
DATE: 17/09/2019 SHEET:
 DRAWN BY: G.V. **D303.00**
 SCALE: as show @ A3

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1m
2m
3m
4m
5m
6m
7m
8m
9m

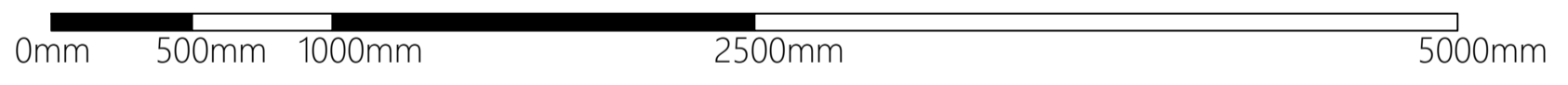


2 STOREFRONT ELEVATION
D303.01 | SCALE 1:50 |



1 2 3
- STOREFRONT PLAN
D303.01 | SCALE 1:50 |

SYMBOL LEGEND	
	Existing wall. Exact position and dimension behind existing wall furniture to be verified on site after demolition works by GC
	Existing timber panel.
	Existing furniture to be removed
	Existing dividing wall to be demolished. Exact position and dimension to be verified on site after demolition works by GC.
	Dashed line of wall behind wall furniture. Exact position and dimensions to be verified on site after demolition works by GC



REFERENCE PICTURES



David Clulow OPTICIANS
PROJECT LOCATION:
HAMPSTEAD
73 Hampstead High St, London NW3 1QX | UK |
STORE NO.:
1584 | GBNELOHA |

REVISION NO.:
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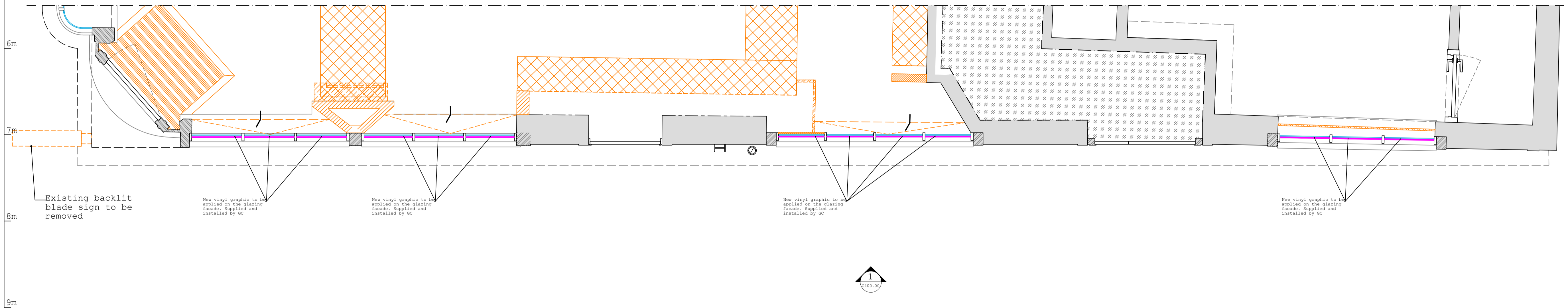
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 HOST LOCATION
Type: NEW
 REMODEL
 RELOCATION
Volume: mq _____

TITLE: **TS DEMOLITION WORKS STOREFRONT 2**
DATE: 17/09/2019 SHEET:
DRAWN BY: G.V. **D303.01**
SCALE: as show @ A3

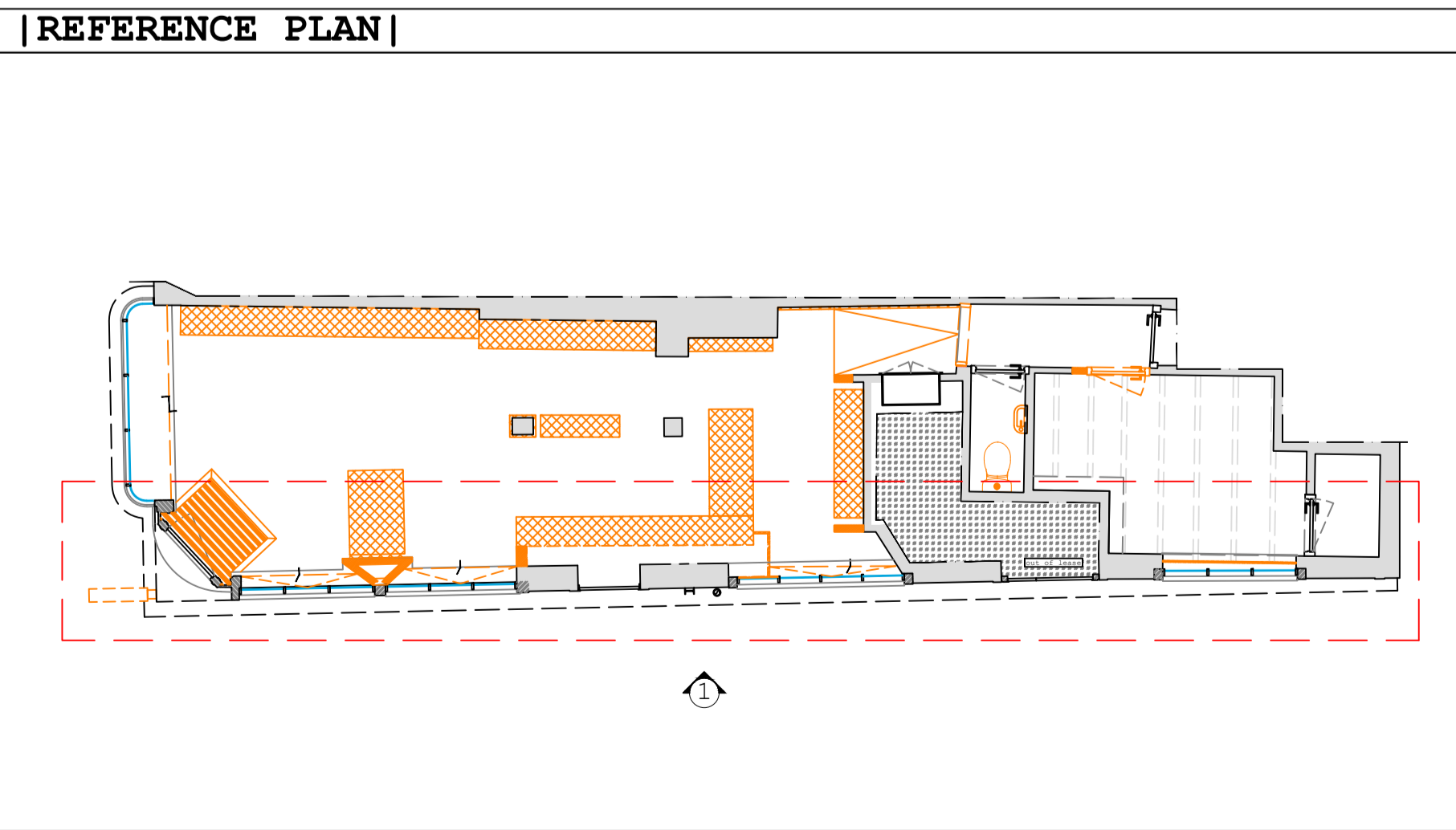
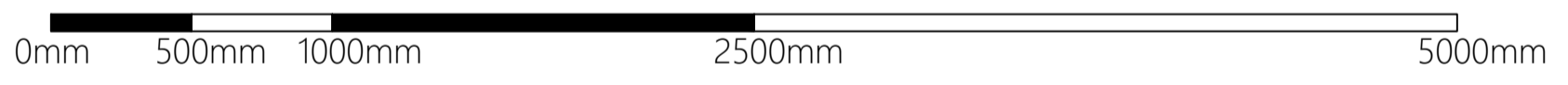
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1 STOREFRONT ELEVATION
| SCALE 1:50 |



1 STOREFRONT PLAN
| SCALE 1:50 |



SYMBOL LEGEND	
	Existing wall. Exact position and dimension behind existing wall furniture to be verified on site after demolition works by GC
	Supply and installation of the vinyl graphic on the existing glazed panels. Graphic image in high resolution supplied by Luxottica. GC to print and install.
	Existing to be removed/demolished.

NOTE 1: Please verify all dimension after the demolition works.
NOTE 2: Please verify position and dimension of any structural elements after the demolition works.

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Location: INTERIOR LOCATION
 EXTERIOR LOCATION
 HOST LOCATION
Type: NEW
 REMODEL
 RELOCATION
Volume: mq _____

TITLE:
CONSTRUCTION WORKS
STOREFRONT 1

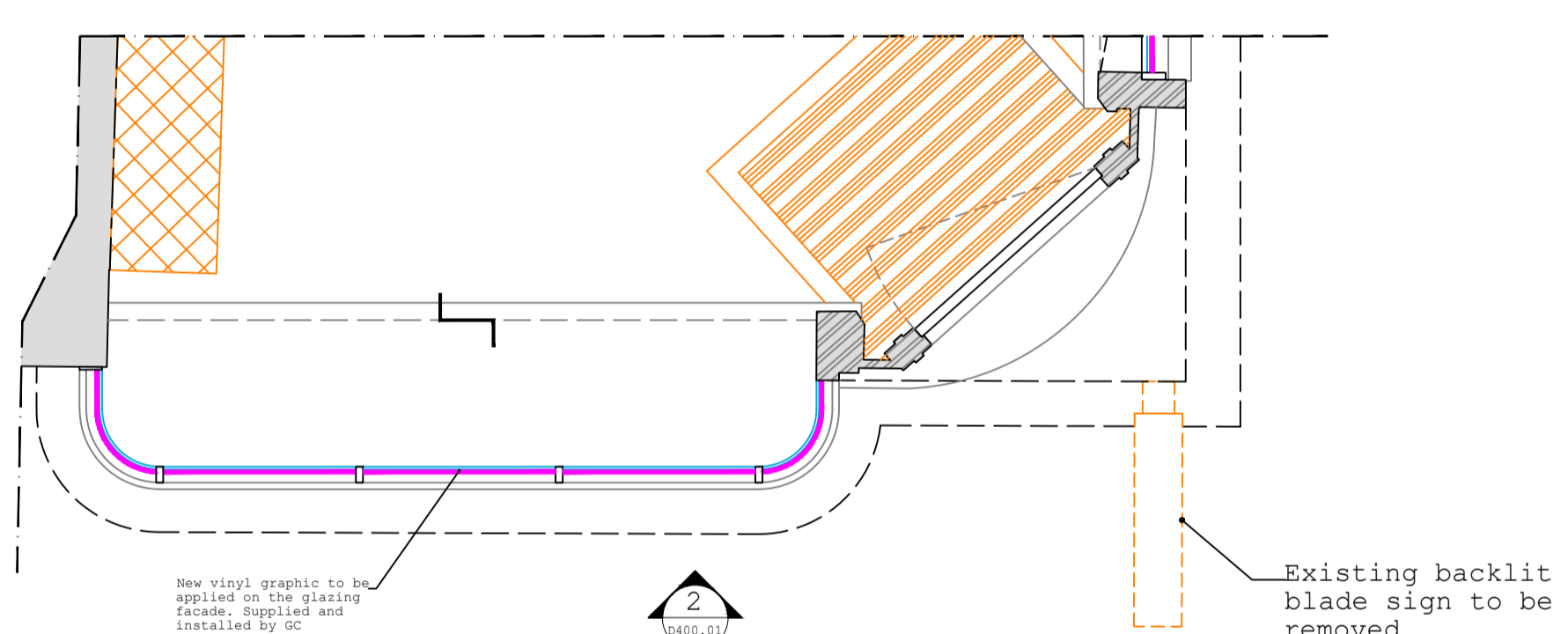
DATE: 17/09/2019 SHEET:
DRAWN BY: G.V. **C400.00**
SCALE: as show @ A3

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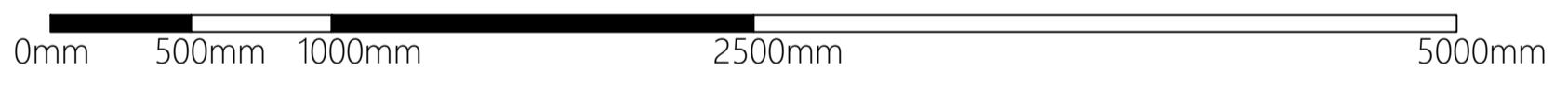
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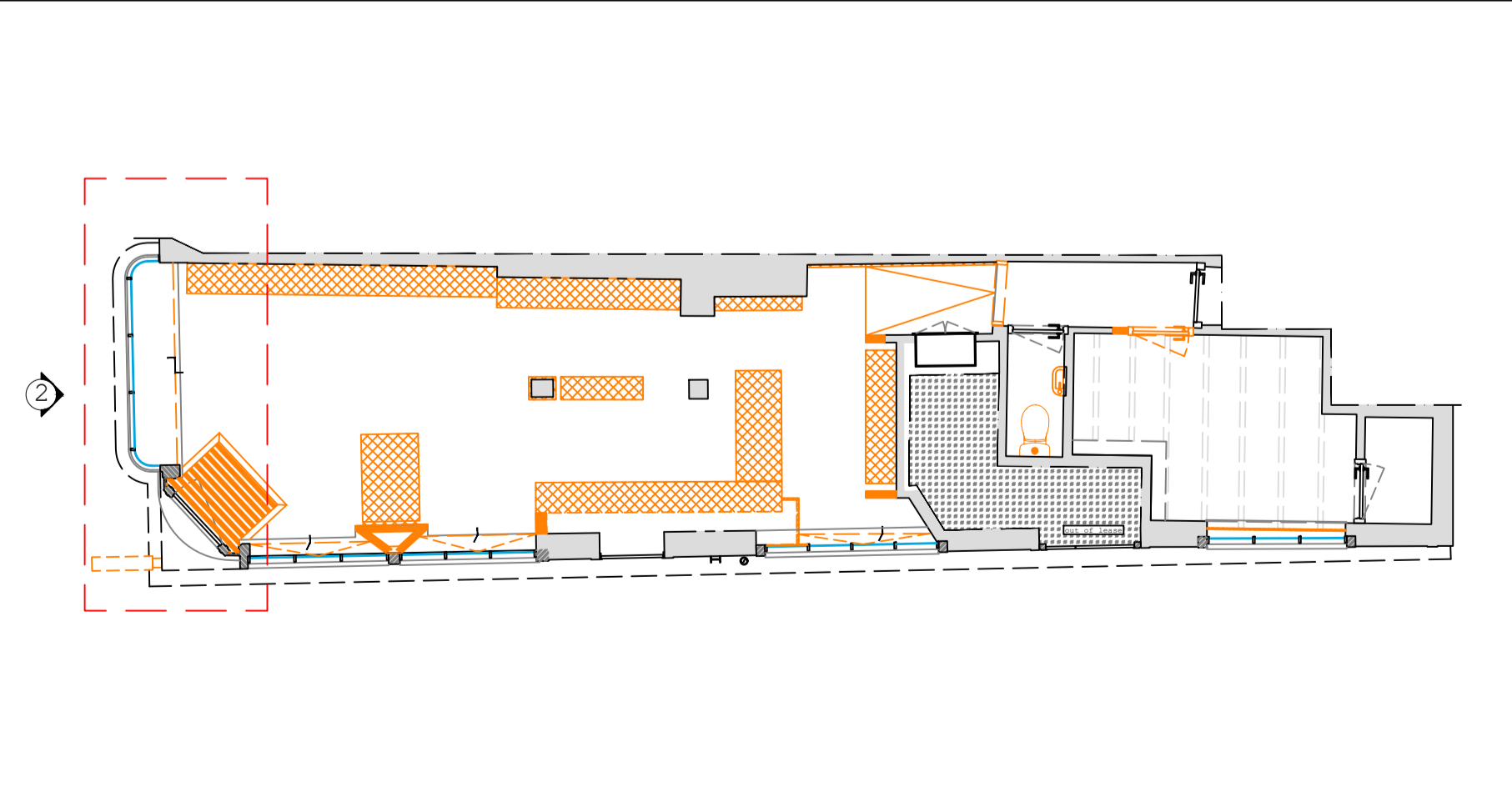
2 STOREFRONT ELEVATION
C400.01 | SCALE 1:50 |



- STOREFRONT PLAN
C400.01 | SCALE 1:50 |



REFERENCE PLAN



SYMBOL LEGEND

	Existing wall. Exact position and dimension behind existing wall furniture to be verified on site after demolition works by GC
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	Existing to be removed/demolished.

NOTE 1: Please verify all dimension after the demolition works.
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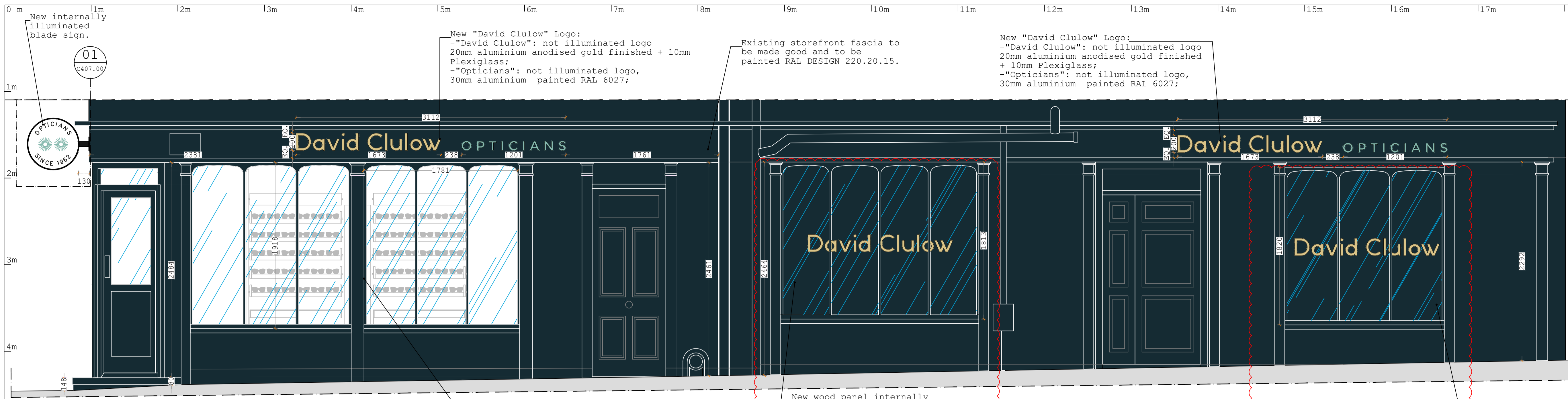
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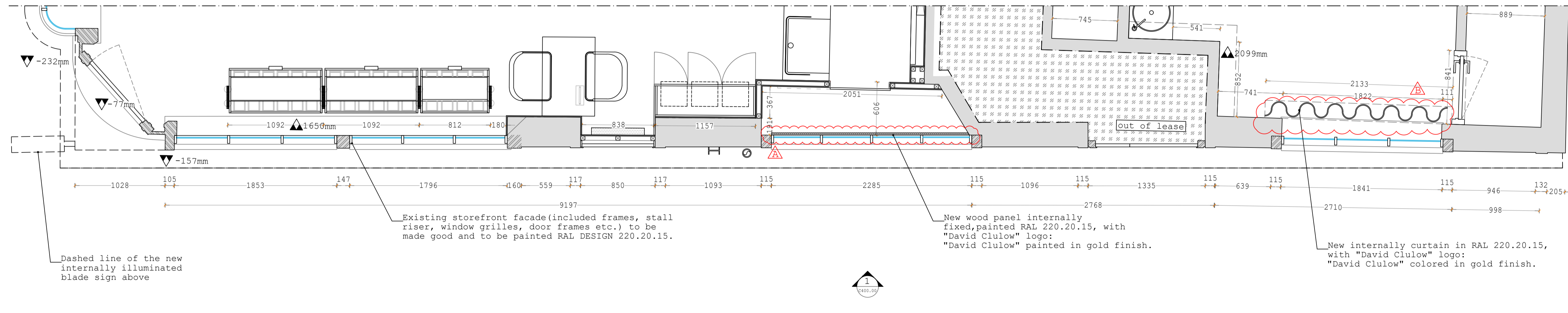
Location: INTERIOR LOCATION
 EXTERIOR LOCATION
 HOST LOCATION
Type: NEW
 REMODEL
 RELOCATION
Volume: m²

TITLE:
CONSTRUCTION WORKS
STOREFRONT 2
DATE: 17/09/2019 SHEET:
DRAWN BY: G.V. **C400.01**
SCALE: as show @ A3

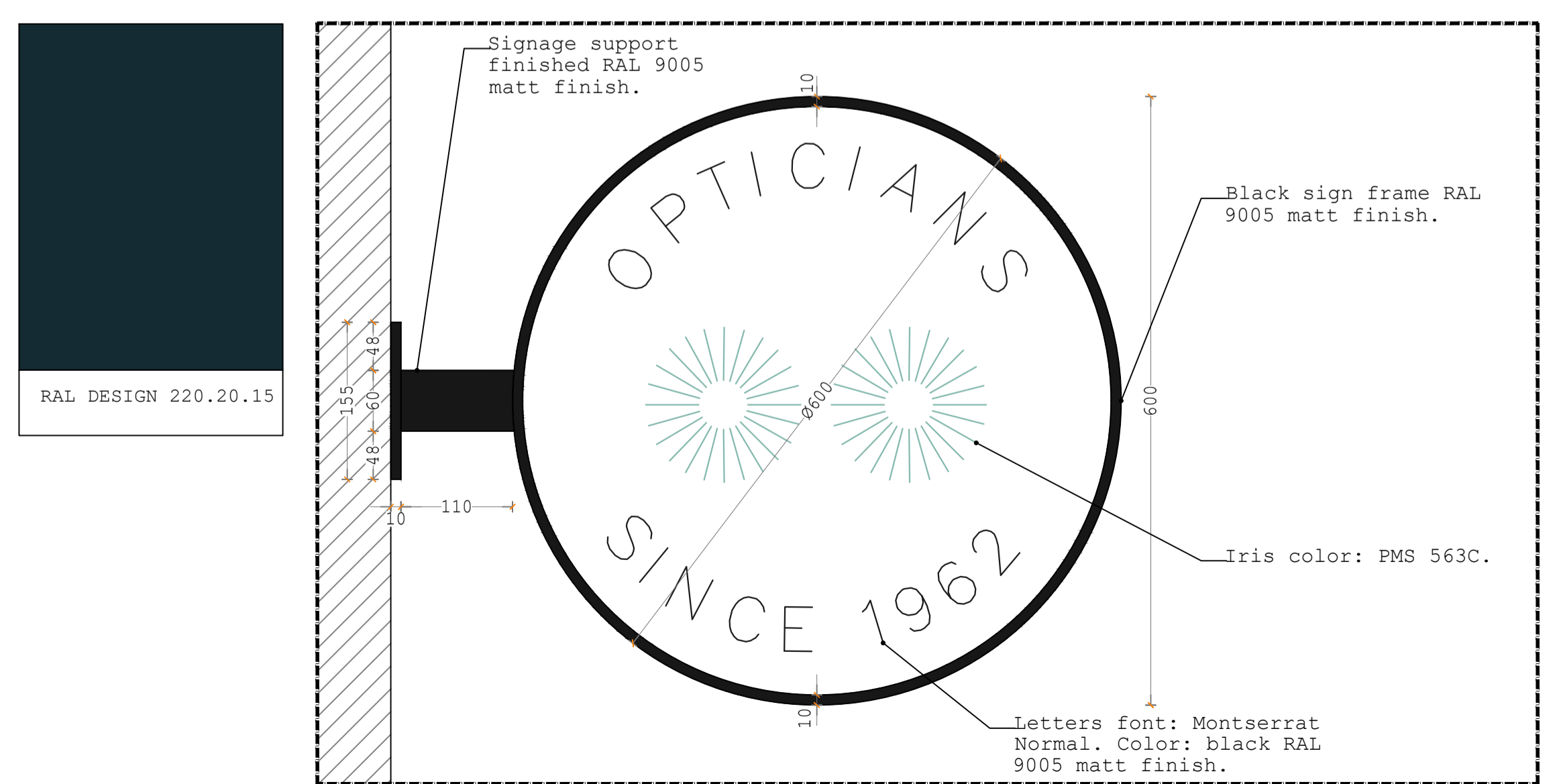
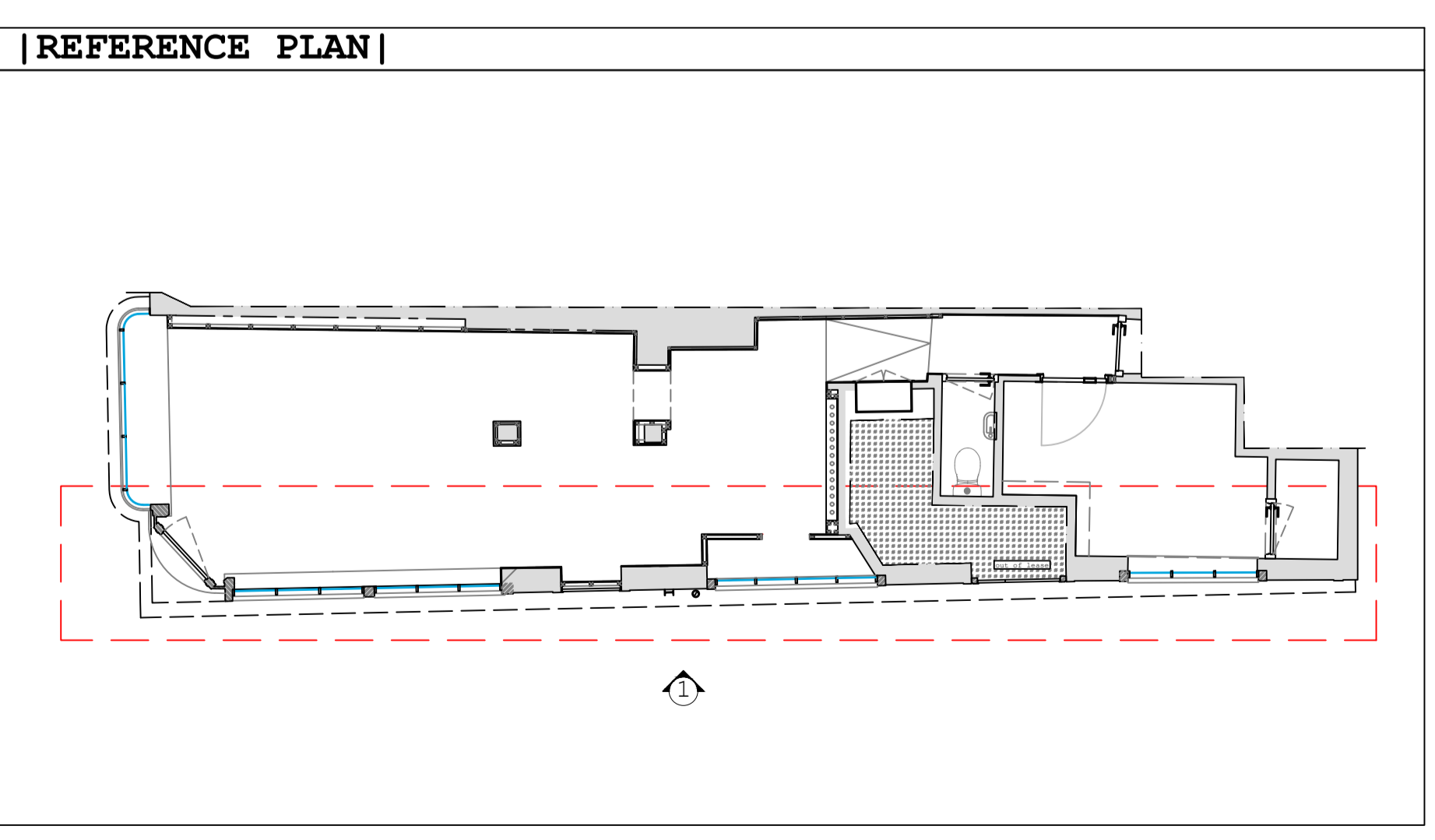
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1 STOREFRONT ELEVATION
 |SCALE 1:50|



— STOREFRONT PLAN
 |SCALE 1:50|



01 BLADE SIGN DETAILS
 |SCALE 1:10|

David Clulow OPTICIANS
 PROJECT LOCATION:
HAMPSTEAD
 73 & nbsp, Hampstead High St, London NW3 1QX | UK |
 PROJECT ID NO.:
1584 | GBNELOHA |
 STORE NO.:

REVISION NO.:
Rev B
 STATUS:
SUBMISSION
 Approved By: _____ Date: _____
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REVISION LOG:

REV	DATE	DESIGNER
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REV_B	17/09/2019	G.V.

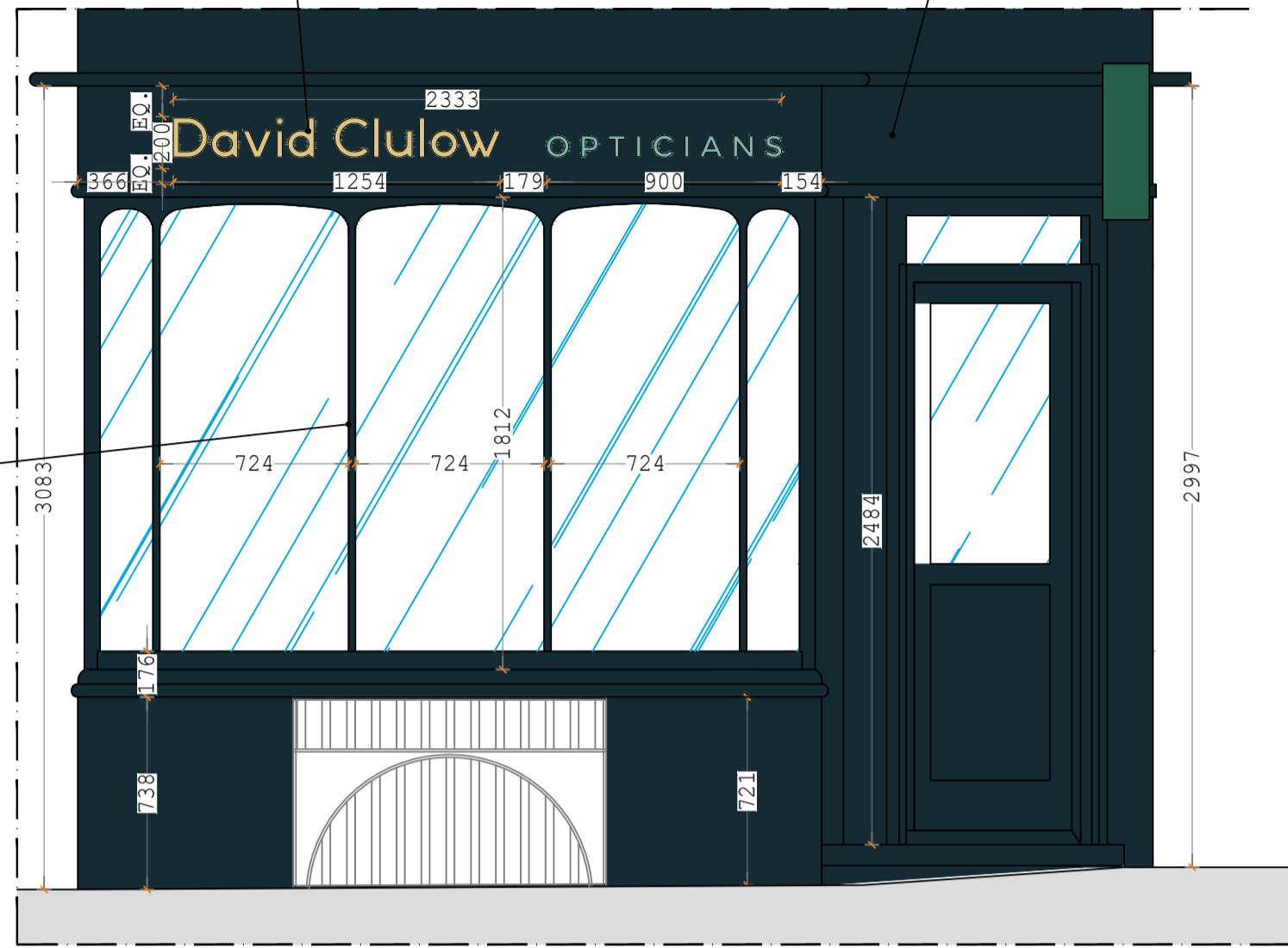
Location: INTERIOR LOCATION
 EXTERIOR LOCATION
 HOST LOCATION
 Type: NEW
 REMODEL
 RELOCATION
 Volume: m²

TITLE: **CONSTRUCTION WORKS**
Storefront 1
 DATE: 17/09/2019 SHEET:
 DRAWN BY: G.V. **C407.00**
 SCALE: as show @ A3

0 m 1m 2m 3m 4m 5m 6m 7m 8m 9m 10m 11m 12m 13m 14m 15m 16m 17m

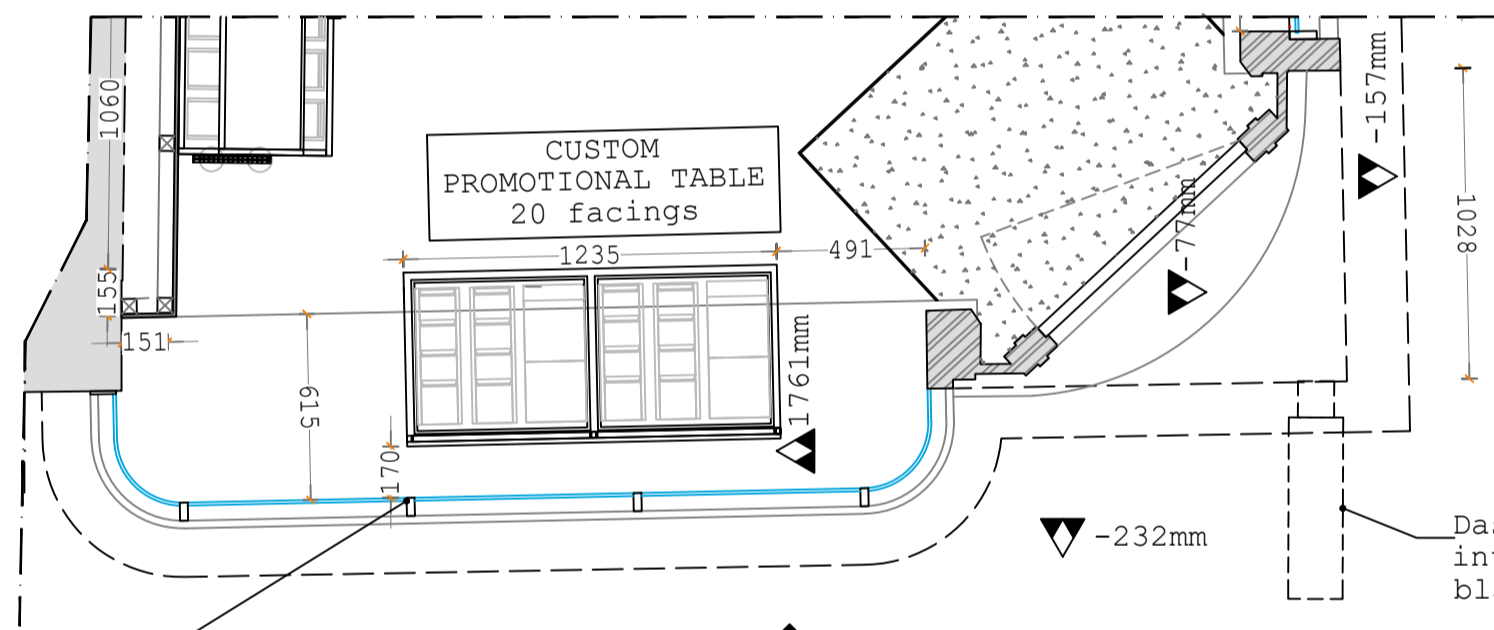
New "David Clulow" Logo:
 -"David Clulow": not illuminated logo
 20mm aluminium anodised gold finished
 + 10mm Plexiglass;
 -"Opticians": not illuminated logo,
 30mm aluminium painted RAL 6027;
 Existing storefront fascia to
 be made good and to be
 painted RAL DESIGN 220.20.15.

Existing storefront facade (included
 frames, stall riser, window grilles,
 door frames etc.) to be made good
 and to be painted RAL DESIGN
 220.20.15.



2 STOREFRONT ELEVATION
 C407.01 | SCALE 1:50 |

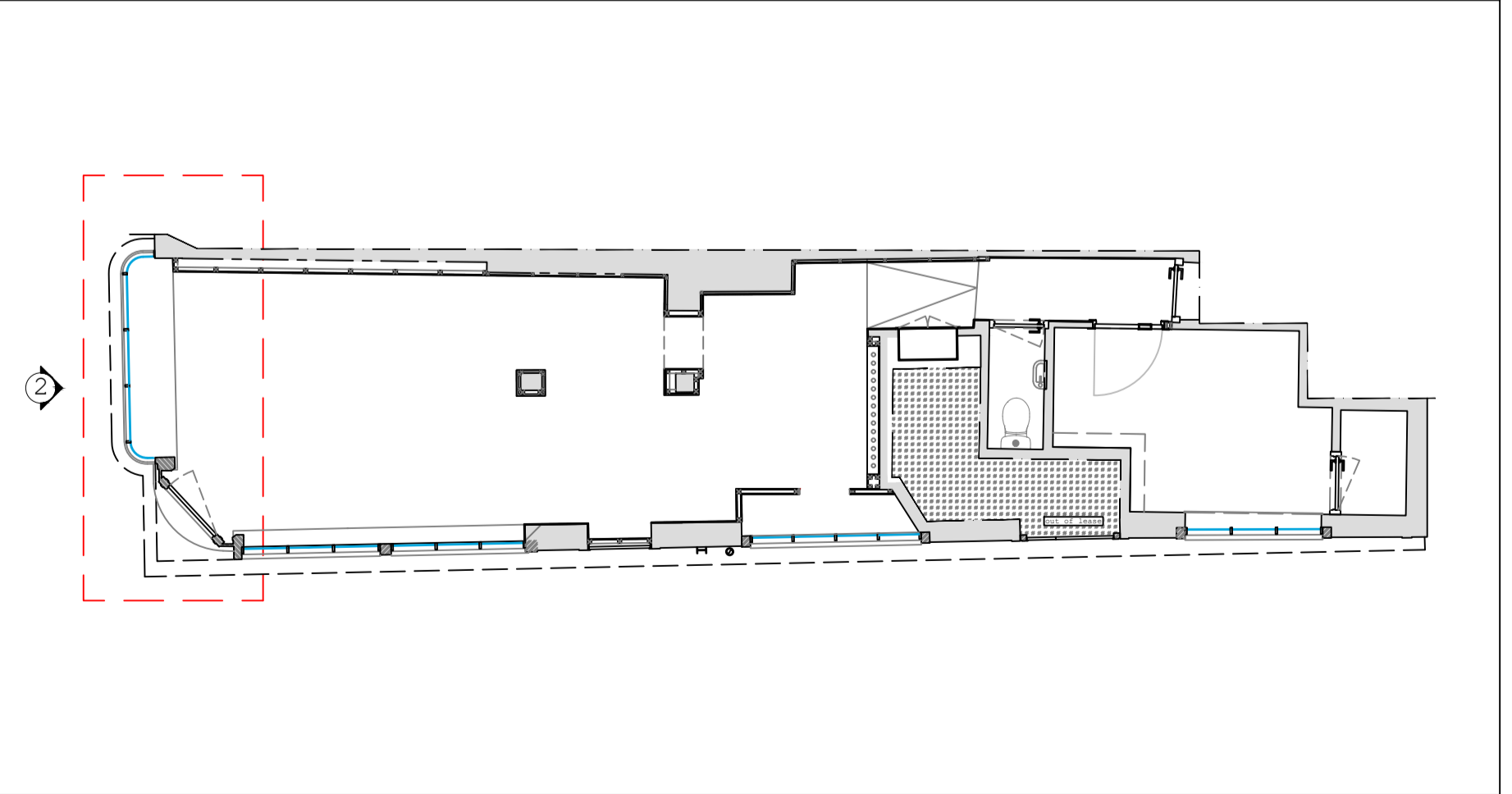
Existing storefront facade (included
 frames, stall riser, window grilles,
 door frames etc.) to be made good
 and to be painted RAL DESIGN
 220.20.15.



STOREFRONT PLAN
 C407.01 | SCALE 1:50 |



REFERENCE PLAN



David Clulow OPTICIANS

PROJECT LOCATION:
HAMPSTEAD
 73 Hampstead High St, London NW3 1QX | UK |
 STORE NO.:
1584 | GBNELOHA |

REVISION NO.:
Rev B

STATUS:
SUBMISSION
 Approved By: _____ Date: _____
 Approved By: _____ Date: _____

REVISION LOG:

REV	DATE	DESIGNER
REV_A	12/09/2019	G.V.
REV_B	17/09/2019	G.V.

Location: INTERIOR LOCATION
 EXTERIOR LOCATION
 HOST LOCATION
 Type: NEW
 REMODEL
 RELOCATION
 Volume: m² _____

TITLE: CONSTRUCTION WORKS
Storefront 2

DATE: 17/09/2019 SHEET:
 DRAWN BY: G.V. **C407.01**
 SCALE: as show @ A3

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